

# PROJECT: City View Tower at Court Square

ADDRESS:  
23-15 44 DRIVE  
LONG ISLAND CITY, NY, 11101

OWNER:  
CITYVIEW TOWER LLC

Architect  
**Hill West Architects, LLP**  
11 Broadway New York, NY 10004  
Tel: 212.213.8007

Structural Engineer  
**Desimone, Consulting Engineers**  
18 West 18th Street, 10th FL, New York, NY 10011  
Tel: 212.532.2211

MEP Engineer  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL, New York, NY 10121  
Tel: 212.615.3996

Interior Design  
**Whitehall Interiors**  
11 Broadway New York, NY 10004  
Tel: 212.908.4940

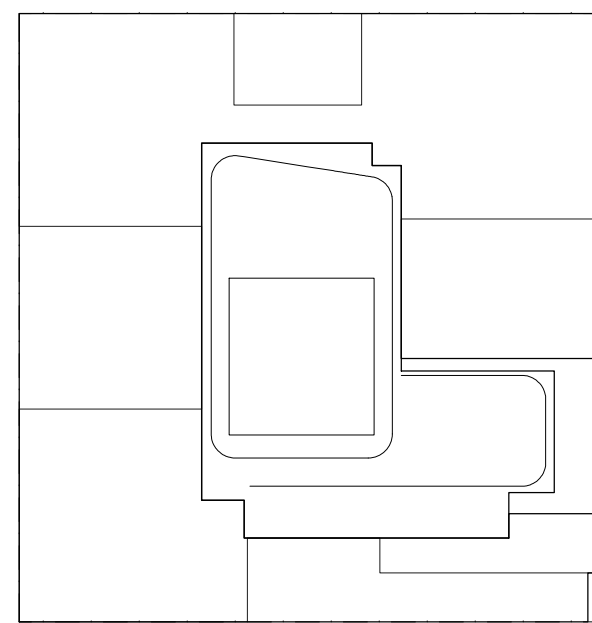
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007











# KEY PLAN

## NOTES:

## NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET AND #3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FAÇADE PAINTING SET
11/01/2016	100% INFORMATION AND SET
10/12/2016	ISSUED FOR DOB
05/09/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number:	Date:	Revision:
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Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

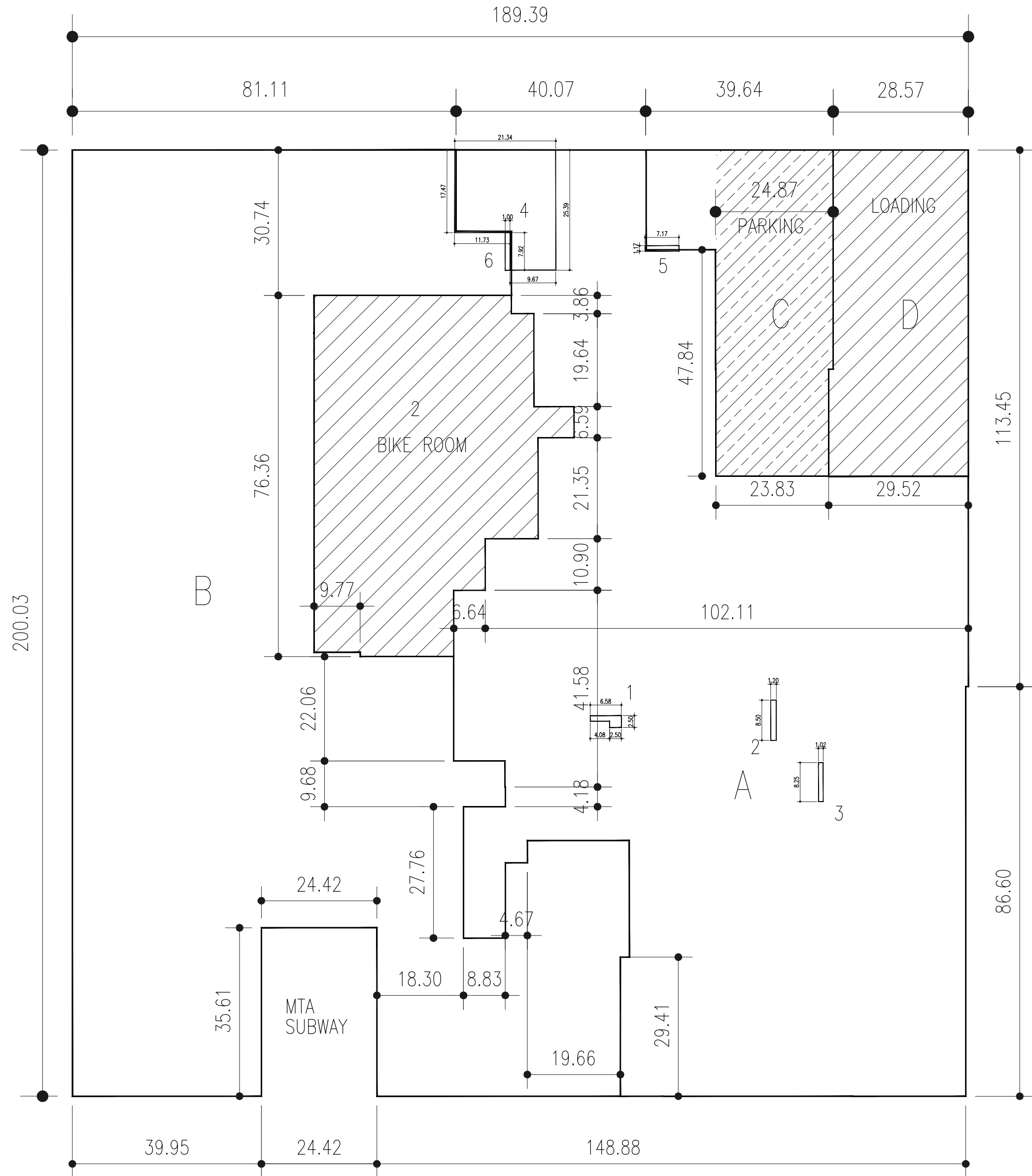
Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
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Consultant:  
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140 Broadway 25th Floor  
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**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:  
**ZONING DEDUCTION PLANS**

SEAL & SIGNATURE:  
**RED STEPHEN WILSON**  
DATE: 10/08/2017  
PROJECT # 14436  
SCALE: 1/8" = 1'-0"  
**Z-002.00**  
DWG NO. 003 OF 105

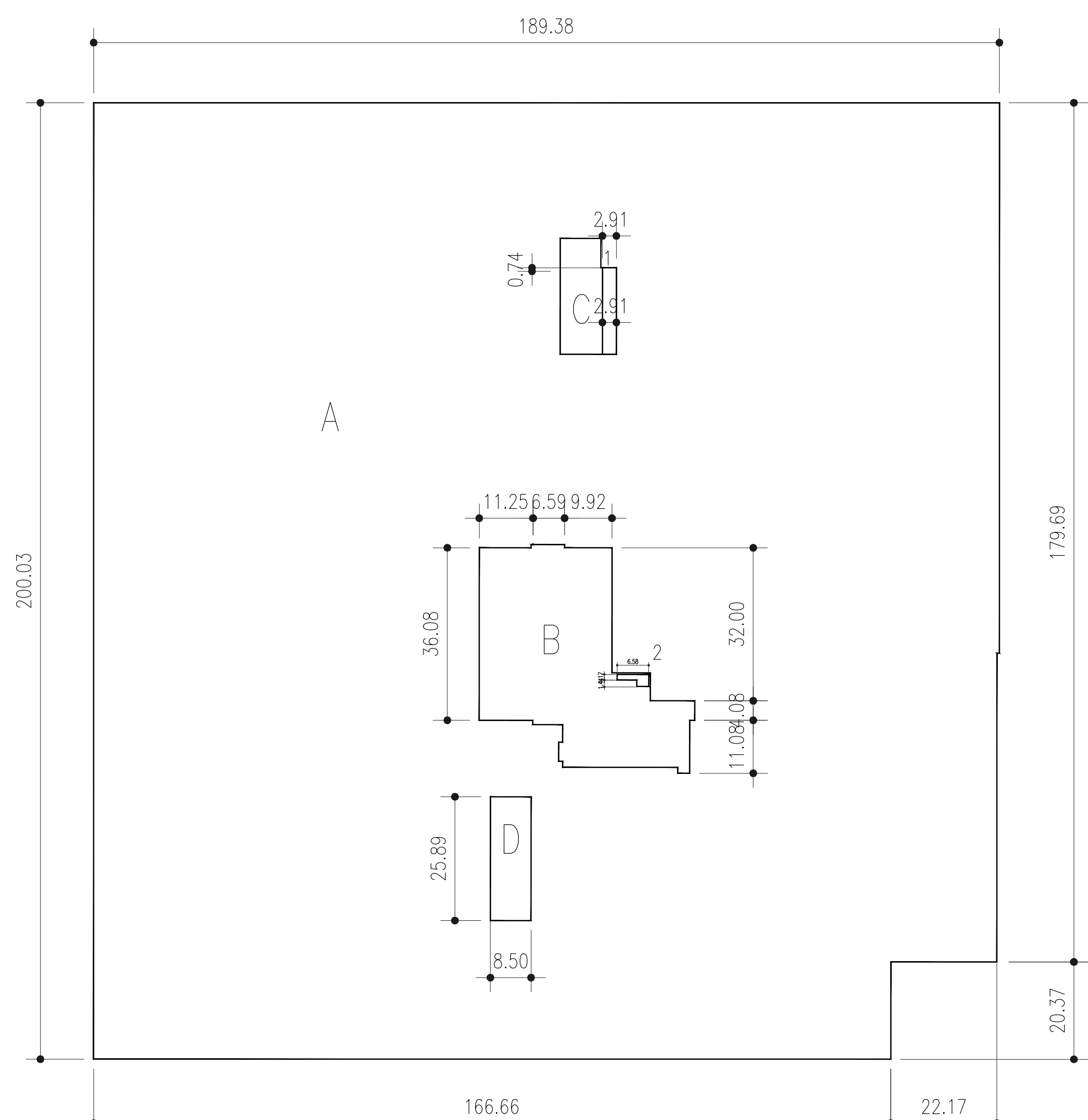


GROSS FLOOR AREA	
1ST FLOOR	17925.44 SQ. FT.
A RESIDENTIAL	15051.51 SQ. FT.
B COMMERCIAL	2000.34 SQ. FT.
C ACCESSORY PARKING	1993.09 SQ. FT.
D LOADING BERTH	36970.4 SQ. FT.
TOTAL	36970.4 SQ. FT.

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	11.01 SQ. FT.
2	P	10.12 SQ. FT.
3	P	8.35 SQ. FT.
4	M	449.83 SQ. FT.
5	P	8.36 SQ. FT.
6	P	1.94 SQ. FT.
TOTAL		495.70 SQ. FT.

DEDUCTIONS PARKING		
LOCATION	TYPE	AREA
D	LOADING	792.00 SQ. FT.
C	PARKING	1686.20 SQ. FT.
TOTAL		2478.20 SQ. FT.

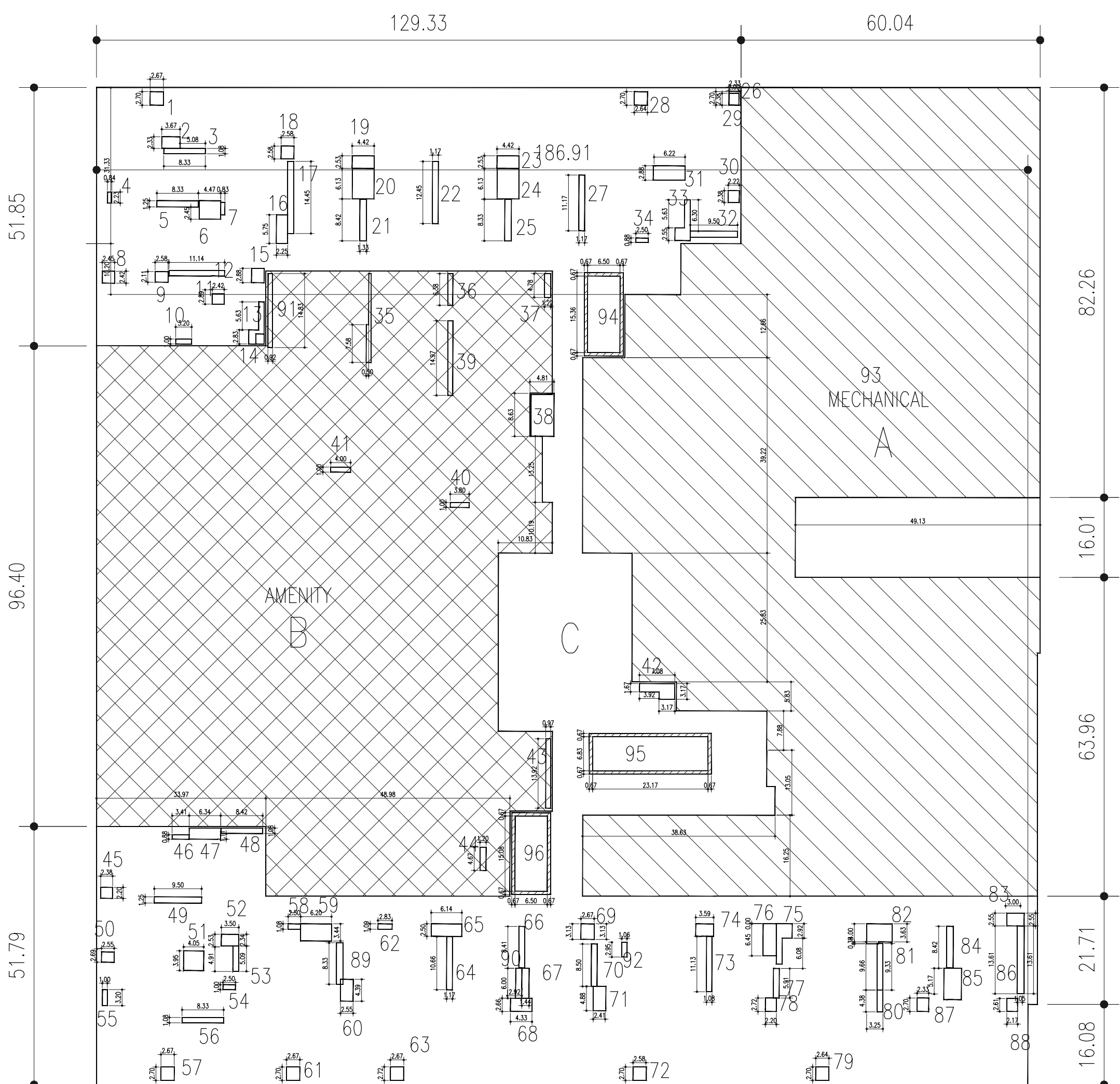
DEDUCTIONS BICYCLE PARKING		
LOCATION	TYPE	AREA
2	BIKE PARKING	3248.27 SQ. FT.
TOTAL		3248.27 SQ. FT.



GROSS FLOOR AREA	
2ND FLOOR	37383.31 SQ. FT.
A GROSS AREA	1396.72 SQ. FT.
B RESIDENTIAL CORE	265.03 SQ. FT.
C EXIT STAIRS	220.17 SQ. FT.
D EXIT STAIRS	35501.28 SQ. FT.
NET PARKING AREA	35501.28 SQ. FT.

DEDUCTIONS PARKING		
LOCATION	TYPE	AREA
A	PARKING	35501.28 SQ. FT.
TOTAL		35501.28 SQ. FT.

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	52.74 SQ. FT.
2	M	11.01 SQ. FT.
3		
TOTAL		63.75 SQ. FT.



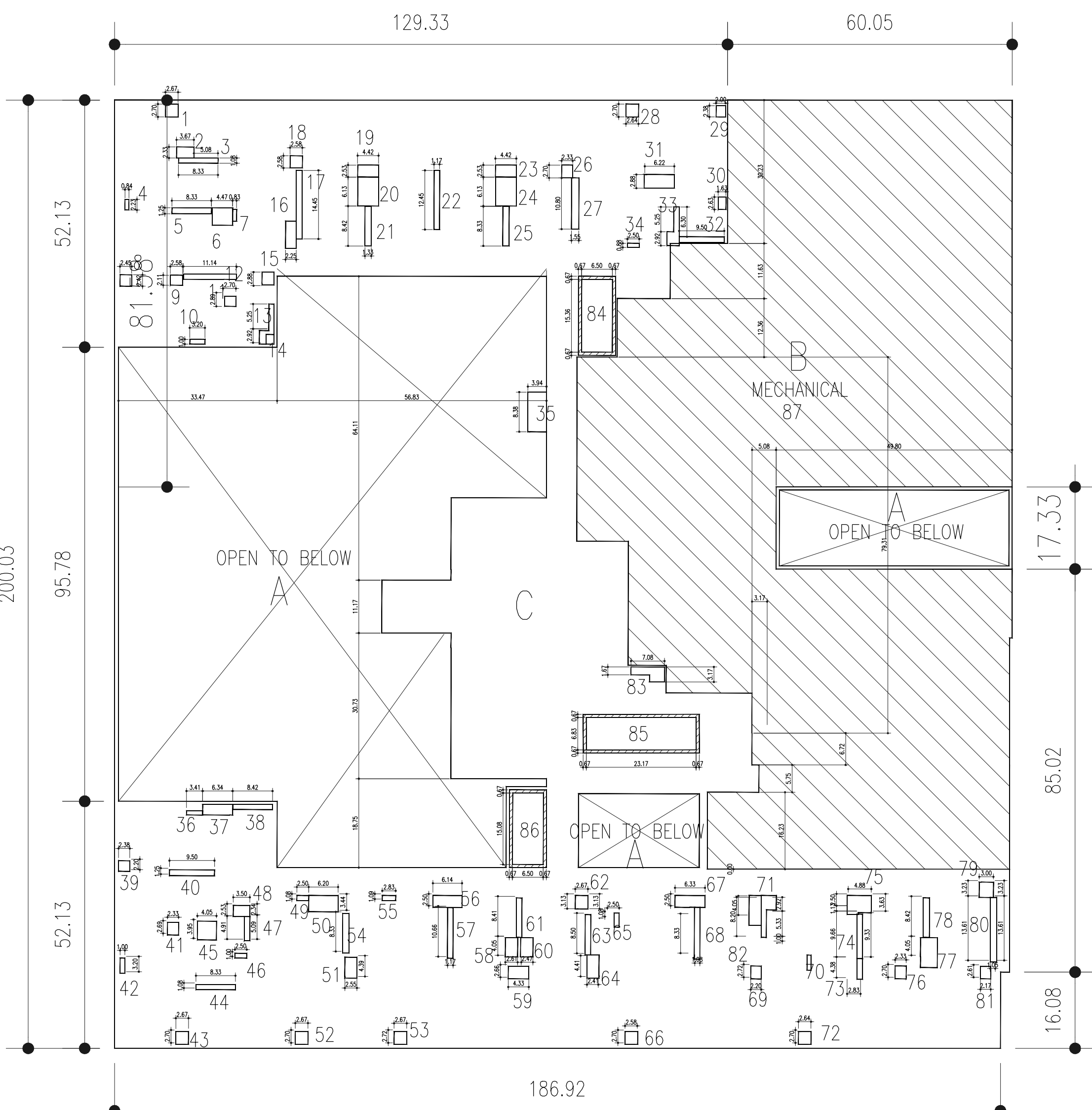
GROSS FLOOR AREA	
3RD FLOOR	11632.91 SQ. FT.
A MECHANICAL	9891.30 SQ. FT.
B AMENITY	16277.89 SQ. FT.
C RESIDENTIAL	37862.2 SQ. FT.
TOTAL	37862.2 SQ. FT.

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	7.22 SQ. FT.
2	P	6.96 SQ. FT.
3	M	9.03 SQ. FT.
4	P	1.87 SQ. FT.
5	M	10.42 SQ. FT.
6	M	16.01 SQ. FT.
7	P	2.08 SQ. FT.
8	M	5.94 SQ. FT.
9	P	5.47 SQ. FT.
10	M	5.09 SQ. FT.
11	M	12.18 SQ. FT.
12	P	5.05 SQ. FT.
13	M	11.48 SQ. FT.
14	M	14.42 SQ. FT.
15	P	7.26 SQ. FT.
16	P	12.93 SQ. FT.
17	M	18.07 SQ. FT.
18	P	6.86 SQ. FT.
19	M	11.19 SQ. FT.
20	M	26.77 SQ. FT.
21	M	11.11 SQ. FT.
22	M	14.52 SQ. FT.
23	P	11.19 SQ. FT.
24	P	26.77 SQ. FT.
25	M	11.11 SQ. FT.
26	P	6.31 SQ. FT.
27	M	13.03 SQ. FT.
28	P	7.22 SQ. FT.
29	P	4.75 SQ. FT.
30	P	5.26 SQ. FT.
31	M	18.34 SQ. FT.
32	P	11.48 SQ. FT.
33	M	14.38 SQ. FT.
34	P	2.18 SQ. FT.
35	M	12.71 SQ. FT.
36	P	6.37 SQ. FT.
37	P	5.83 SQ. FT.
38	P	41.79 SQ. FT.
39	M	14.97 SQ. FT.
40	P	3.79 SQ. FT.
41	M	3.96 SQ. FT.
42	P	16.93 SQ. FT.
43	M	13.51 SQ. FT.
44	P	5.64 SQ. FT.
45	P	5.25 SQ. FT.
46	P	3.01 SQ. FT.
47	M	14.12 SQ. FT.
48	M	9.03 SQ. FT.
49	M	11.68 SQ. FT.
50	P	5.24 SQ. FT.
51	M	16.00 SQ. FT.
52	P	8.18 SQ. FT.
53	M	5.96 SQ. FT.
54	P	2.50 SQ. FT.
55	M	3.21 SQ. FT.
56	P	9.03 SQ. FT.
57	P	7.22 SQ. FT.
58	P	2.71 SQ. FT.
59	M	21.30 SQ. FT.
60	P	11.14 SQ. FT.
61	M	7.22 SQ. FT.
62	P	3.08 SQ. FT.
63	M	7.25 SQ. FT.
64	P	12.43 SQ. FT.

65	P	15.39 SQ. FT.
66	P	9.71 SQ. FT.
67	M	6.64 SQ. FT.
68	M	11.92 SQ. FT.
69	M	8.31 SQ. FT.
70	M	9.92 SQ. FT.
71	M	13.38 SQ. FT.
72	P	7.22 SQ. FT.
73	M	12.05 SQ. FT.
74	M	6.98 SQ. FT.
75	M	10.37 SQ. FT.
76	P	17.19 SQ. FT.
77	M	6.89 SQ. FT.
78	P	6.89 SQ. FT.
79	P	7.17 SQ. FT.
80	P	5.10 SQ. FT.
81	M	10.92 SQ. FT.
82	M	14.42 SQ. FT.
83	M	6.87 SQ. FT.
84	P	11.11 SQ. FT.
85	M	22.27 SQ. FT.
86	P	16.89 SQ. FT.
87	P	6.32 SQ. FT.
88	M	5.66 SQ. FT.
89	P	11.10 SQ. FT.
90	P	7.46 SQ. FT.
91	M	13.76 SQ. FT.
92	M	3.14 SQ. FT.
TOTAL		803.98 SQ. FT.

DEDUCTIONS MECH. ROOM		
LOCATION	TYPE	AREA
93	MECH. ROOM	11632.91 SQ. FT.
TOTAL		11632.91 SQ. FT.

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
94	STAIR	30.93 SQ. FT.
95	STAIR	41.79 SQ. FT.
96	STAIR	30.53 SQ. FT.
TOTAL		103.25 SQ. FT.



GROSS FLOOR AREA	
4TH FLOOR	37,803.55 SQ. FT.
PERIMETER	9932.47 SQ. FT.
A OPEN TO BELOW	9932.47 SQ. FT.
GROSS FLOOR AREA	27,870.89 SQ. FT.

GROSS FLOOR AREA	
B MECHANICAL	11091.06 SQ. FT.
C RESIDENTIAL	16,779.82 SQ. FT.
TOTAL	27870.9 SQ. FT.

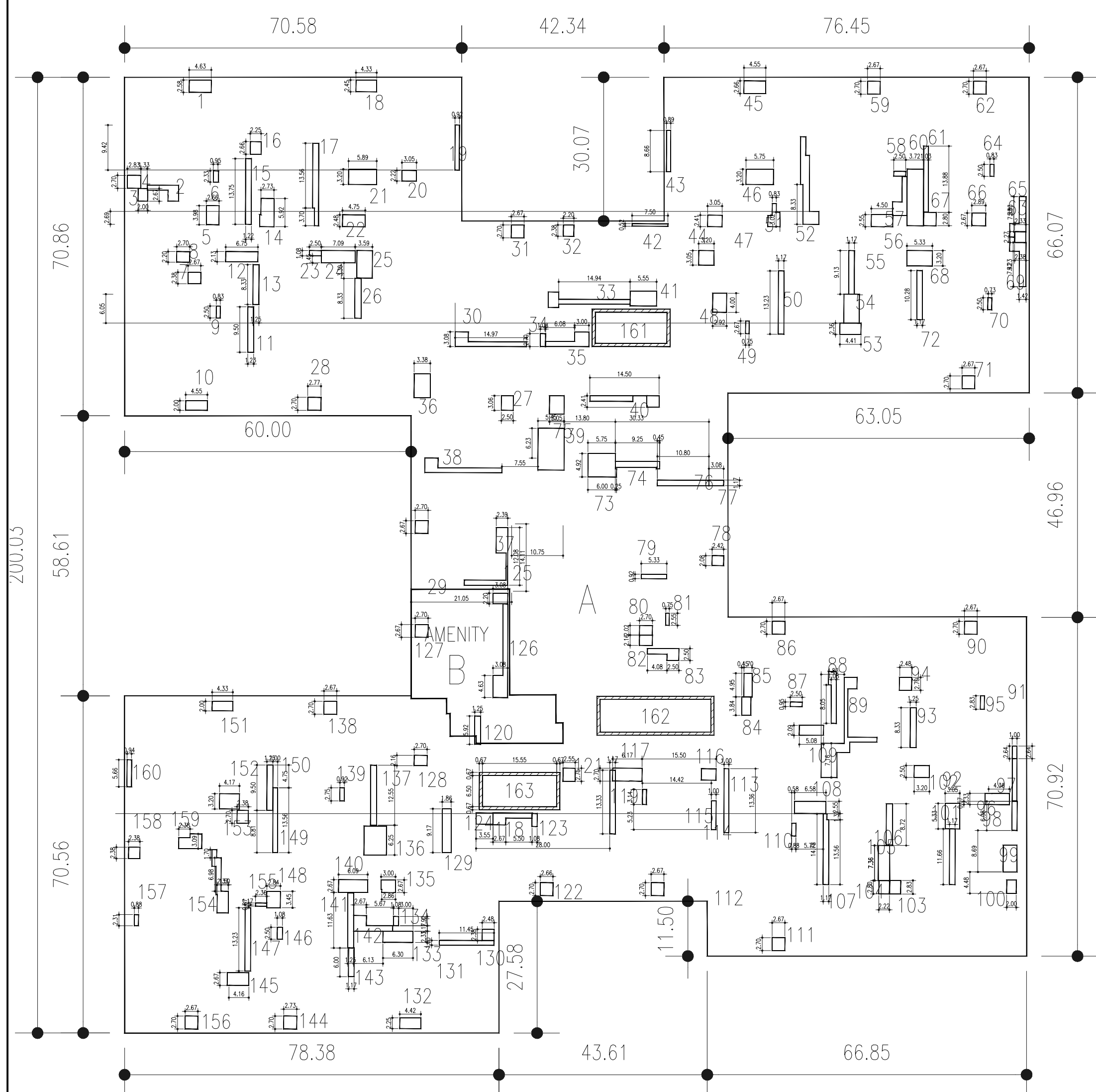
DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	7.22 SQ. FT.
2	P	6.96 SQ. FT.
3	M	9.03 SQ. FT.
4	P	1.87 SQ. FT.
5	M	10.42 SQ. FT.
6	M	16.01 SQ. FT.
7	P	2.08 SQ. FT.
8	M	5.94 SQ. FT.
9	P	5.47 SQ. FT.
10	M	5.09 SQ. FT.
11	M	12.18 SQ. FT.
12	P	5.05 SQ. FT.
13	M	11.47 SQ. FT.
14	M	14.42 SQ. FT.
15	P	7.26 SQ. FT.
16	P	12.93 SQ. FT.
17	M	18.07 SQ. FT.
18	P	6.86 SQ. FT.
19	M	11.19 SQ. FT.
20	M	26.77 SQ. FT.
21	M	11.11 SQ. FT.
22	M	14.52 SQ. FT.
23	P	11.19 SQ. FT.
24	P	26.77 SQ. FT.
25	M	11.11 SQ. FT.
26	P	6.31 SQ. FT.
27	M	16.64 SQ. FT.
28	P	7.22 SQ. FT.
29	P	4.75 SQ. FT.
30	P	4.93 SQ. FT.
31	M	18.34 SQ. FT.
32	P	11.48 SQ. FT.
33	M	13.66 SQ. FT.
34	P	2.18 SQ. FT.
35	M	32.92 SQ. FT.
36	P	3.01 SQ. FT.
37	P	14.12 SQ. FT.
38	P	6.03 SQ. FT.
39	M	5.25 SQ. FT.
40	P	11.69 SQ. FT.
41	M	6.25 SQ. FT.
42	P	2.17 SQ. FT.
43	M	7.22 SQ. FT.
44	P	9.03 SQ. FT.
45	P	16.00 SQ. FT.
46	M	7.25 SQ. FT.
47	M	5.95 SQ. FT.
48	M	8.18 SQ. FT.
49	M	5.71 SQ. FT.
50	P	21.30 SQ. FT.
51	M	11.14 SQ. FT.
52	P	7.22 SQ. FT.
53	M	7.25 SQ. FT.
54	P	11.10 SQ. FT.
55	M	3.08 SQ. FT.
56	P	15.39 SQ. FT.
57	P	12.43 SQ. FT.
58	P	10.92 SQ. FT.
59	M	11.62 SQ. FT.
60	P	10.62 SQ. FT.
61	M	9.17 SQ. FT.
62	P	7.55 SQ. FT.
63	M	9.92 SQ. FT.
64	P	12.37 SQ. FT.

65	P	3.14 SQ. FT.
66	P	7.22 SQ. FT.
67	M	16.85 SQ. FT.
68	M	12.80 SQ. FT.
69	M	6.00 SQ. FT.
70	P	2.64 SQ. FT.
71	M	16.00 SQ. FT.
72	P	7.17 SQ. FT.
73	M	5.10 SQ. FT.
74	P	10.92 SQ. FT.
75	M	19.42 SQ. FT.
76	P	6.32 SQ. FT.
77	M	22.29 SQ. FT.
78	P	11.11 SQ. FT.
79	P	6.87 SQ. FT.
80	P	18.48 SQ. FT.
81	M	5.66 SQ. FT.
82	M	16.08 SQ. FT.
83	M	16.55 SQ. FT.
TOTAL		854.67 SQ. FT.

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
84	STAIR	30.93 SQ. FT.
85	STAIR	41.79 SQ. FT.
86	STAIR	30.53 SQ. FT.
TOTAL		103.25 SQ. FT.

DEDUCTIONS MECH. ROOM		
LOCATION	TYPE	AREA
87	MECH. ROOM	11091.06 SQ. FT.
TOTAL		11091.06 SQ. FT.



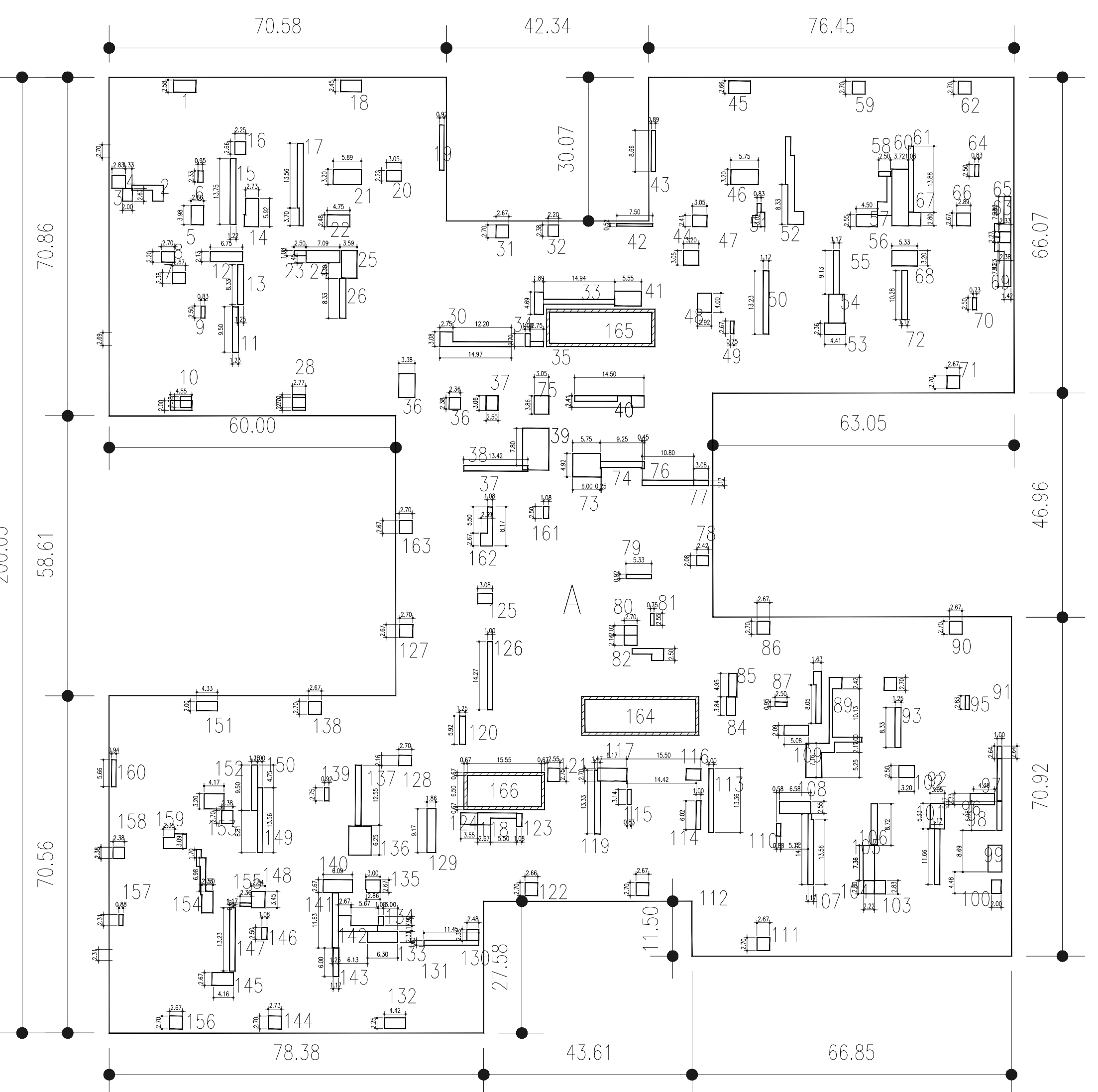


GROSS FLOOR AREA		
FLOOR	AREA	UNIT
7TH FLOOR	27125.18 SQ. FT.	
A RESIDENTIAL	27125.18 SQ. FT.	
B AMENITY	686.58 SQ. FT.	
TOTAL	27811.8 SQ. FT.	

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	11.92 SQ. FT.
2	P	11.79 SQ. FT.
3	M	11.79 SQ. FT.
4	P	5.32 SQ. FT.
5	M	10.61 SQ. FT.
6	M	2.35 SQ. FT.
7	P	5.95 SQ. FT.
8	M	6.33 SQ. FT.
9	P	2.08 SQ. FT.
10	M	9.08 SQ. FT.
11	M	11.79 SQ. FT.
12	P	14.35 SQ. FT.
13	M	10.42 SQ. FT.
14	M	16.83 SQ. FT.
15	P	16.83 SQ. FT.
16	P	5.98 SQ. FT.
17	M	20.22 SQ. FT.
18	P	10.63 SQ. FT.
19	M	6.73 SQ. FT.
20	M	6.75 SQ. FT.
21	M	18.88 SQ. FT.
22	M	11.81 SQ. FT.
23	P	2.71 SQ. FT.
24	P	18.83 SQ. FT.
25	M	18.88 SQ. FT.
26	P	11.81 SQ. FT.
27	M	7.06 SQ. FT.
28	P	7.50 SQ. FT.
29	P	7.22 SQ. FT.
30	P	20.98 SQ. FT.
31	M	7.22 SQ. FT.
32	P	5.24 SQ. FT.
33	M	21.86 SQ. FT.
34	P	2.83 SQ. FT.
35	M	16.71 SQ. FT.
36	P	16.88 SQ. FT.
37	P	24.51 SQ. FT.
38	P	21.30 SQ. FT.
39	M	47.75 SQ. FT.
40	P	4.21 SQ. FT.
41	M	17.19 SQ. FT.
42	P	3.86 SQ. FT.
43	M	7.65 SQ. FT.
44	P	7.34 SQ. FT.
45	M	12.26 SQ. FT.
46	P	18.46 SQ. FT.
47	M	9.76 SQ. FT.
48	M	11.67 SQ. FT.
49	M	2.00 SQ. FT.
50	P	15.44 SQ. FT.
51	M	8.53 SQ. FT.
52	P	32.49 SQ. FT.
53	M	10.41 SQ. FT.
54	P	19.40 SQ. FT.
55	M	10.84 SQ. FT.
56	P	11.44 SQ. FT.
57	P	13.82 SQ. FT.
58	P	2.80 SQ. FT.
59	M	7.22 SQ. FT.
60	P	40.66 SQ. FT.
61	M	13.79 SQ. FT.
62	P	7.22 SQ. FT.
63	M	5.30 SQ. FT.
64	P	2.08 SQ. FT.
65	P	14.86 SQ. FT.
66	P	7.72 SQ. FT.
67	M	7.26 SQ. FT.
68	M	17.11 SQ. FT.
69	M	17.87 SQ. FT.

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
143	M	7.00 SQ. FT.
144	P	7.41 SQ. FT.
145	P	12.00 SQ. FT.
146	M	3.71 SQ. FT.
147	P	15.44 SQ. FT.
148	P	9.84 SQ. FT.
149	M	13.47 SQ. FT.
150	M	11.88 SQ. FT.
151	M	8.83 SQ. FT.
152	M	13.33 SQ. FT.
153	P	6.39 SQ. FT.
154	M	21.50 SQ. FT.
155	P	1.99 SQ. FT.
156	P	7.22 SQ. FT.
157	M	3.02 SQ. FT.
158	P	5.83 SQ. FT.
159	P	13.06 SQ. FT.
160	M	9.29 SQ. FT.
161		
TOTAL		1764.29 SQ. FT.

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
161	STAIR	30.43 SQ. FT.
162	STAIR	41.78 SQ. FT.
163	STAIR	31.16 SQ. FT.
TOTAL		103.37 SQ. FT.



GROSS FLOOR AREA		
FLOOR	AREA	UNIT
8TH FLOOR	27811.79 SQ. FT.	
A RESIDENTIAL	27811.79 SQ. FT.	
TOTAL	27811.8 SQ. FT.	

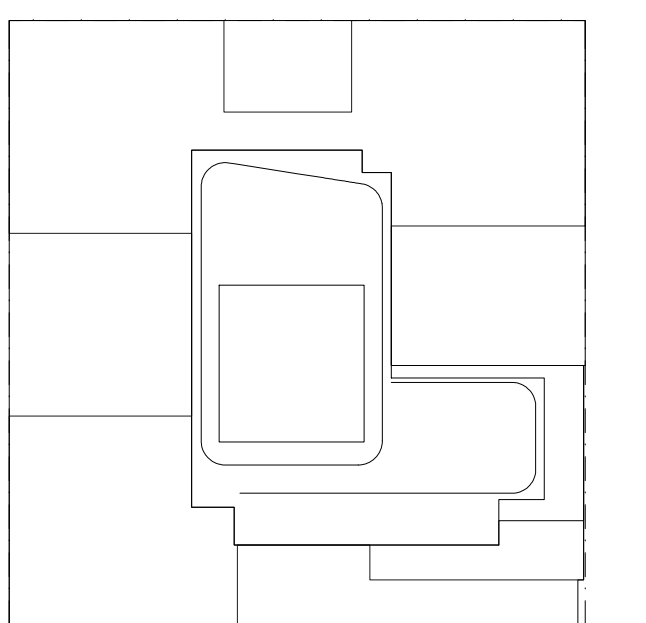
DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	11.92 SQ. FT.
2	P	11.79 SQ. FT.
3	M	11.79 SQ. FT.
4	P	5.32 SQ. FT.
5	M	10.61 SQ. FT.
6	M	2.35 SQ. FT.
7	P	5.95 SQ. FT.
8	M	6.33 SQ. FT.
9	P	2.08 SQ. FT.
10	M	9.08 SQ. FT.
11	M	11.79 SQ. FT.
12	P	14.35 SQ. FT.
13	M	10.42 SQ. FT.
14	M	16.83 SQ. FT.
15	P	16.83 SQ. FT.
16	P	5.98 SQ. FT.
17	M	20.22 SQ. FT.
18	P	10.63 SQ. FT.
19	M	6.73 SQ. FT.
20	M	6.75 SQ. FT.
21	M	18.88 SQ. FT.
22	M	11.81 SQ. FT.
23	P	2.71 SQ. FT.
24	P	18.83 SQ. FT.
25	M	18.88 SQ. FT.
26	P	11.81 SQ. FT.
27	M	7.06 SQ. FT.
28	P	7.50 SQ. FT.
29	P	7.22 SQ. FT.
30	P	20.98 SQ. FT.
31	M	7.22 SQ. FT.
32	P	5.24 SQ. FT.
33	M	21.86 SQ. FT.
34	P	2.83 SQ. FT.
35	M	16.71 SQ. FT.
36	P	16.88 SQ. FT.
37	P	24.51 SQ. FT.
38	P	21.30 SQ. FT.
39	M	47.75 SQ. FT.
40	P	4.21 SQ. FT.
41	M	17.19 SQ. FT.
42	P	3.86 SQ. FT.
43	M	7.65 SQ. FT.
44	P	7.34 SQ. FT.
45	P	12.26 SQ. FT.
46	P	18.46 SQ. FT.
47	M	9.76 SQ. FT.
48	M	11.67 SQ. FT.
49	M	2.00 SQ. FT.
50	P	15.44 SQ. FT.
51	M	8.53 SQ. FT.
52	P	32.49 SQ. FT.
53	M	10.41 SQ. FT.
54	P	19.40 SQ. FT.
55	M	10.84 SQ. FT.
56	P	11.44 SQ. FT.
57	P	13.82 SQ. FT.
58	P	2.80 SQ. FT.
59	M	7.22 SQ. FT.
60	P	40.66 SQ. FT.
61	M	13.79 SQ. FT.
62	P	7.22 SQ. FT.
63	M	5.30 SQ. FT.
64	P	2.08 SQ. FT.
65	P	14.86 SQ. FT.
66	P	7.72 SQ. FT.
67	M	7.26 SQ. FT.
68	M	17.11 SQ. FT.
69	M	17.87 SQ. FT.
70	P	2.80 SQ. FT.
71	M	7.22 SQ. FT.

GROSS FLOOR AREA		
FLOOR	AREA	UNIT
8TH-38TH FLOORS	1986.26 SQ. FT.	
A RESIDENTIAL	1986.26 SQ. FT.	
TOTAL	1986.3 SQ. FT.	

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
1	M	4.77 SQ. FT.
2	P	13.83 SQ. FT.
3	M	5.34 SQ. FT.
4	P	10.52 SQ. FT.
5	M	8.65 SQ. FT.
6	M	10.03 SQ. FT.
7	P	10.17 SQ. FT.
8	M	6.44 SQ. FT.
9	P	4.48 SQ. FT.
10	M	10.86 SQ. FT.
11	M	17.89 SQ. FT.
12	P	40.45 SQ. FT.
13	M	6.64 SQ. FT.
14	M	2.88 SQ. FT.
15	P	7.05 SQ. FT.
16	P	3.36 SQ. FT.
17	M	14.65 SQ. FT.
18	P	16.52 SQ. FT.
19	M	3.21 SQ. FT.
20	M	11.49 SQ. FT.
21	M	2.21 SQ. FT.
22	M	3.44 SQ. FT.
23	P	7.00 SQ. FT.
24	P	13.11 SQ. FT.
25	M	6.23 SQ. FT.
26	P	6.88 SQ. FT.
27	M	13.10 SQ. FT.
28	P	7.00 SQ. FT.
29	P	8.99 SQ. FT.
30	P	14.89 SQ. FT.
31	P	5.33 SQ. FT.
32	P	1.51 SQ. FT.
33	M	12.74 SQ. FT.
34	P	10.84 SQ. FT.
35	M	16.75 SQ. FT.
36	P	17.44 SQ. FT.
37	P	2.71 SQ. FT.
38	P	11.72 SQ. FT.
39	M	3.34 SQ. FT.
40	P	5.44 SQ. FT.
41	M	7.39 SQ. FT.
42	P	10.65 SQ. FT.
43	M	7.73 SQ. FT.
44	P	10.66 SQ. FT.
45	P	7.73 SQ. FT.
46	P	3.48 SQ. FT.
47	M	4.96 SQ. FT.
48	M	16.03 SQ. FT.
49	M	6.70 SQ. FT.
50	P	5.80 SQ. FT.
51	M	7.11 SQ. FT.
52	P	8.94 SQ. FT.
53	M	13.30 SQ. FT.
54	P	2.38 SQ. FT.
55	M	2.70 SQ. FT.
56	P	17.20 SQ. FT.
57	P	16.02 SQ. FT.
58	P	8.75 SQ. FT.
59	M	14.85 SQ. FT.
60	P	7.11 SQ. FT.
61	M	7.97 SQ. FT.
62	P	5.27 SQ. FT.
63	M	2.07 SQ. FT.
64	P	7.35 SQ. FT.

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
65	P	9.90 SQ. FT.
66	P	6.81 SQ. FT.
67	M	7.71 SQ. FT.
68	M	6.12 SQ. FT.
69	M	2.71 SQ. FT.
70	P	3.48 SQ. FT.
71	M	10.30 SQ. FT.
72	P	9.89 SQ. FT.
73	M	8.38 SQ. FT.
74	P	9.87 SQ. FT.
75	M	5.86 SQ. FT.
76	P	13.80 SQ. FT.
77	M	8.99 SQ. FT.
78	P	11.18 SQ. FT.
79	M	21.13 SQ. FT.
80	P	11.18 SQ. FT.
81	M	14.99 SQ. FT.
82		
TOTAL		768.10 SQ. FT.

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
82	STAIR	41.78 SQ. FT.
TOTAL		41.78 SQ. FT.



KEY PLAN

NOTES:

DEDUCTIONS RESIDENTIAL		
LOCATION	TYPE	AREA
164	STAIR	41.78 SQ. FT.
165	STAIR	38.47 SQ. FT.
166	STAIR	31.16 SQ. FT.
TOTAL		111.41 SQ. FT.

NOT FOR CONSTRUCTION

Number	Date	Revision
01/06/2017	ISSUED FOR DOB	
01/10/2017	90% CD SET AND #3	
06/02/2017	65% CD SET	
03/04/2017	50% CD SET	
03/10/2017	ISSUED FOR DOB	
03/01/2017	ISSUED FOR DOB	
02/14/2017	ISSUED FOR DOB	
01/07/2017	SUPPLEMENTAL SET	
01/05/2017	ISSUED FOR DOB	
11/17/2016	FAÇADE PAINTING SET	
11/01/2016	100% INFORMATION HDS SET	
10/12/2016	ISSUED FOR DOB	
06/09/2016	ISSUED FOR DOB	
02/05/2016	DOB FILING SET	

Project: **City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect: **HILL | WEST ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

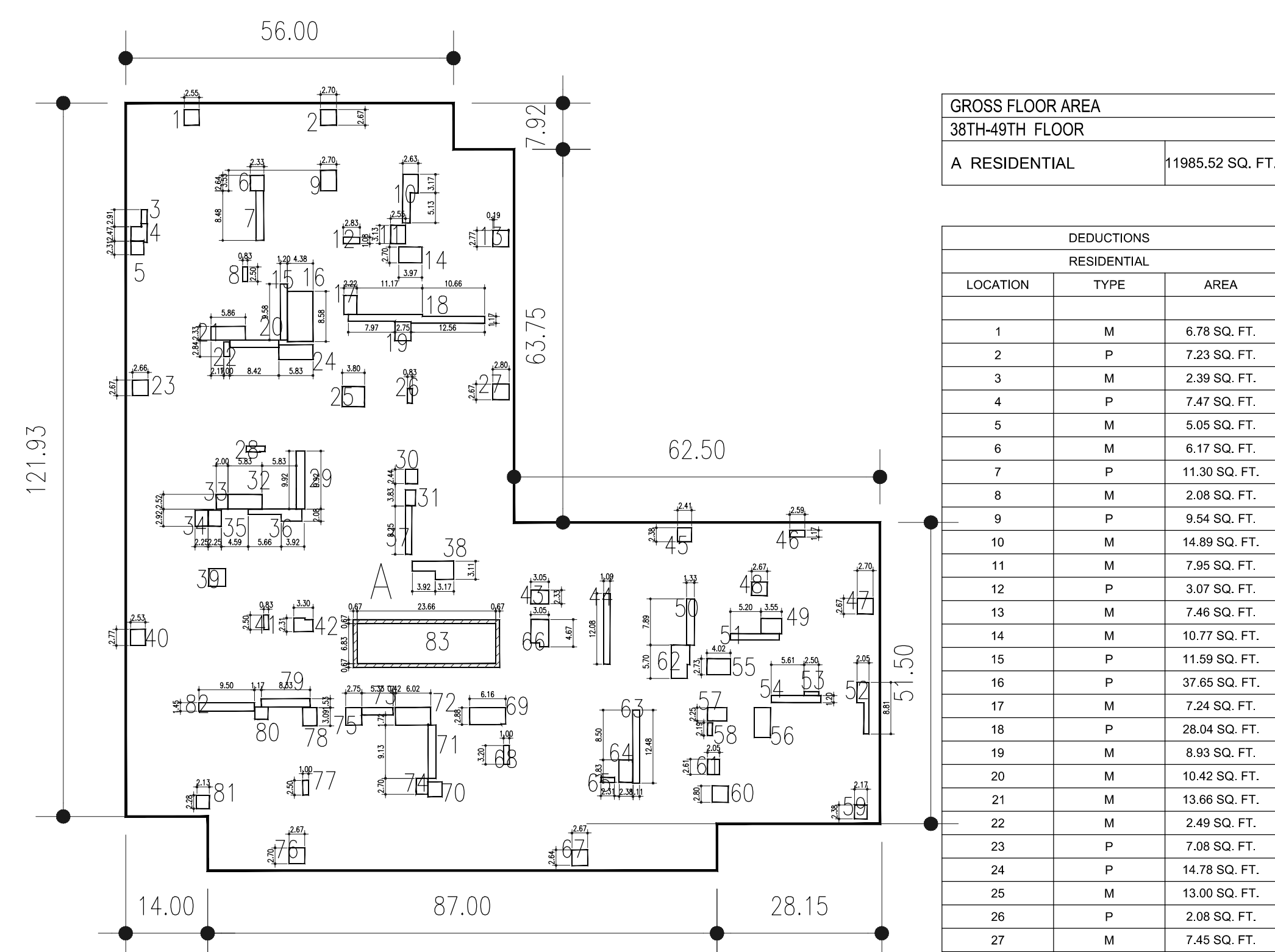
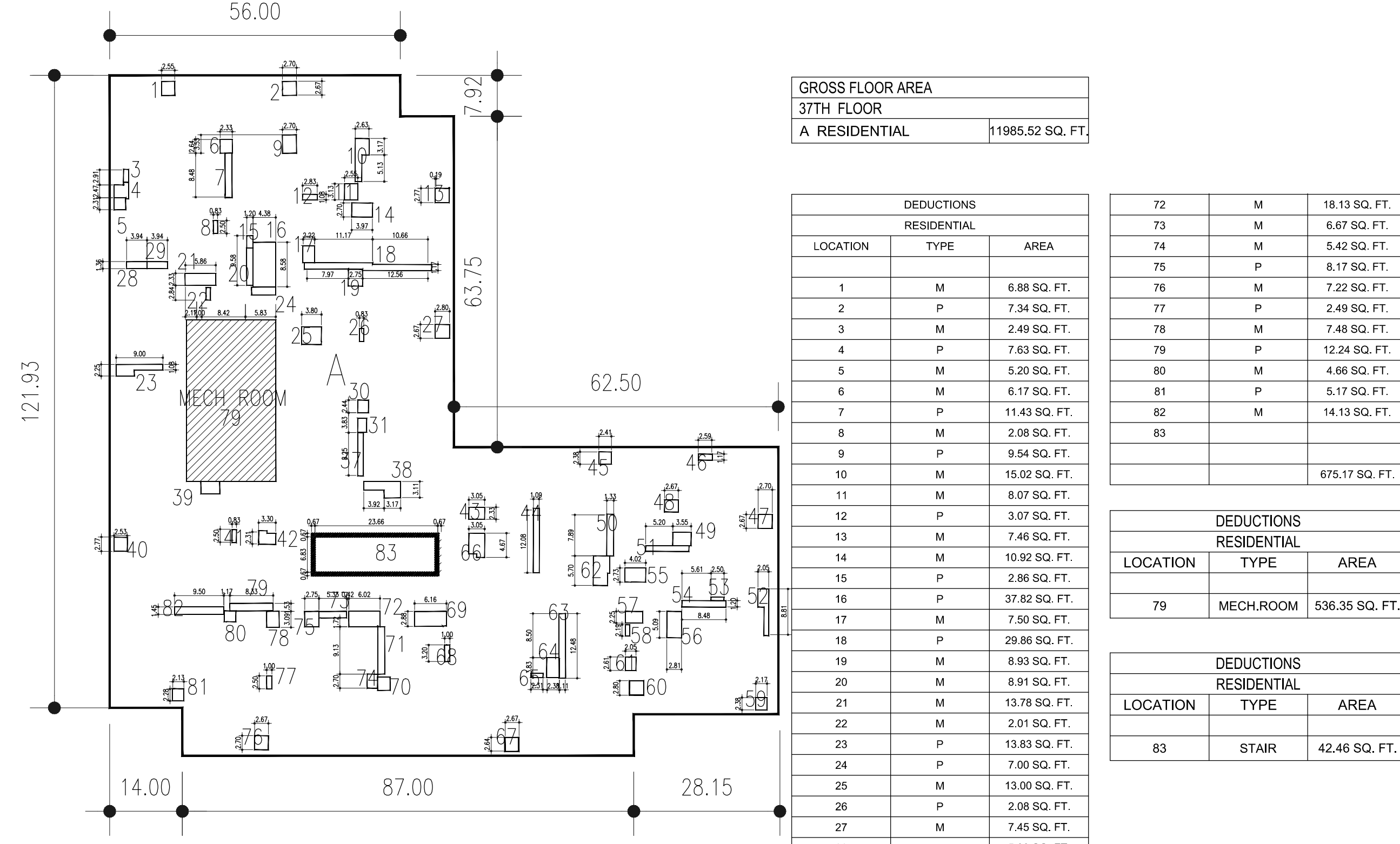
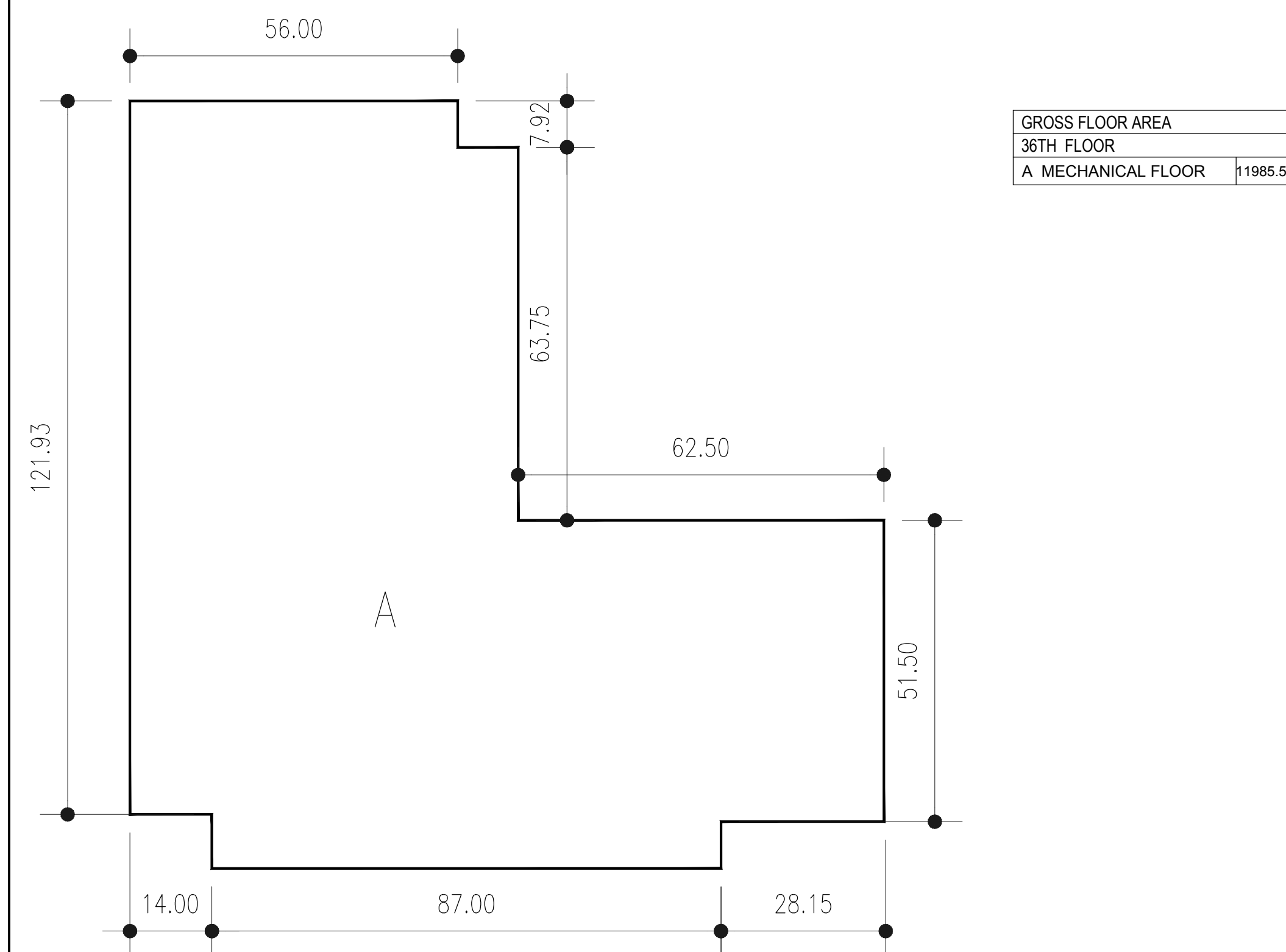
Consultant: **DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd Fl.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE: **ZONING DEDUCTION PLANS**

SEAL & SIGNATURE: **RED STEPHEN ARCHITECT**  
DATE: 10/8/2017  
PROJECT # **Z-003.00**  
SCALE: 1/8" = 1'-0"  
DWG NO. 004 OF 105



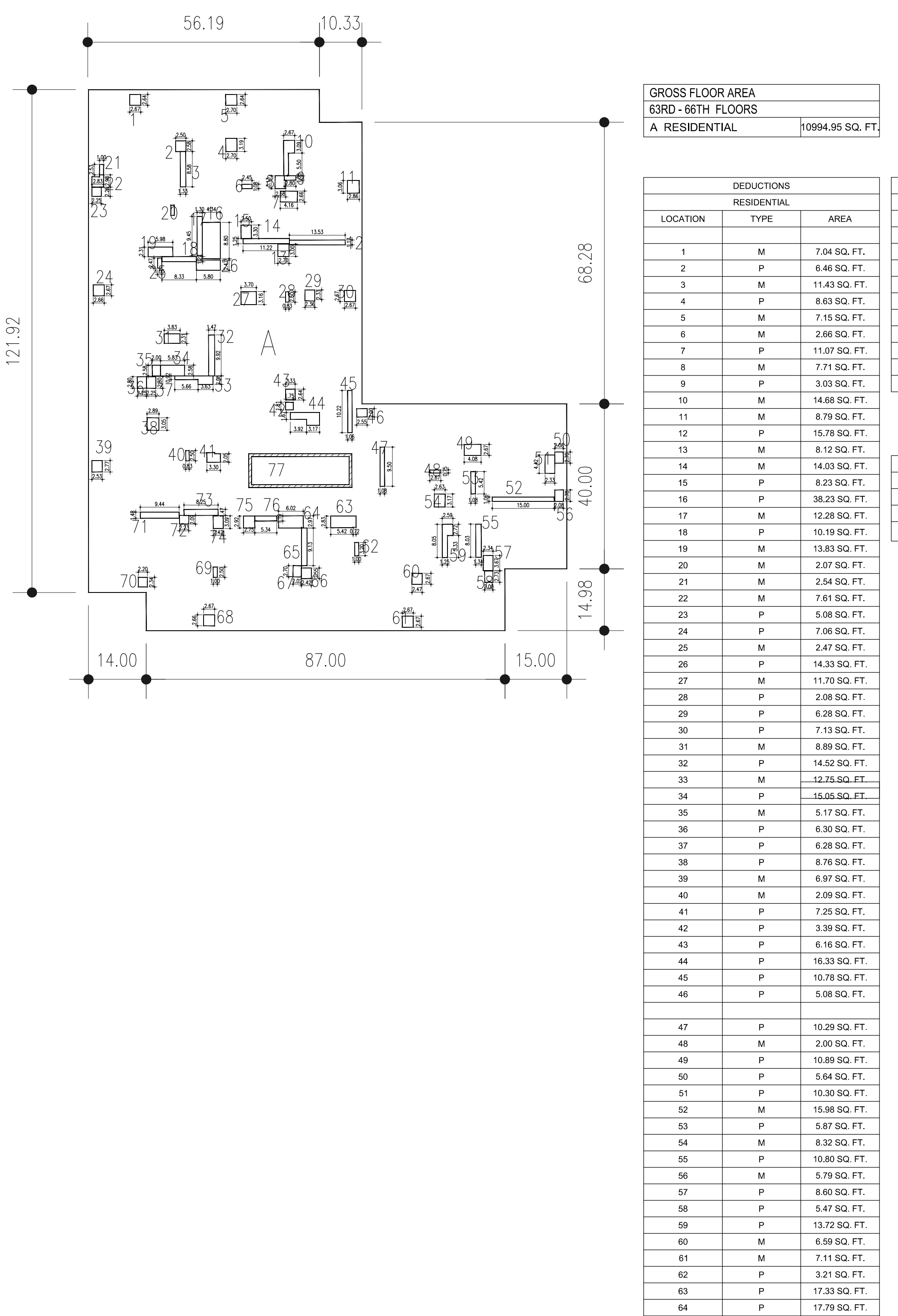
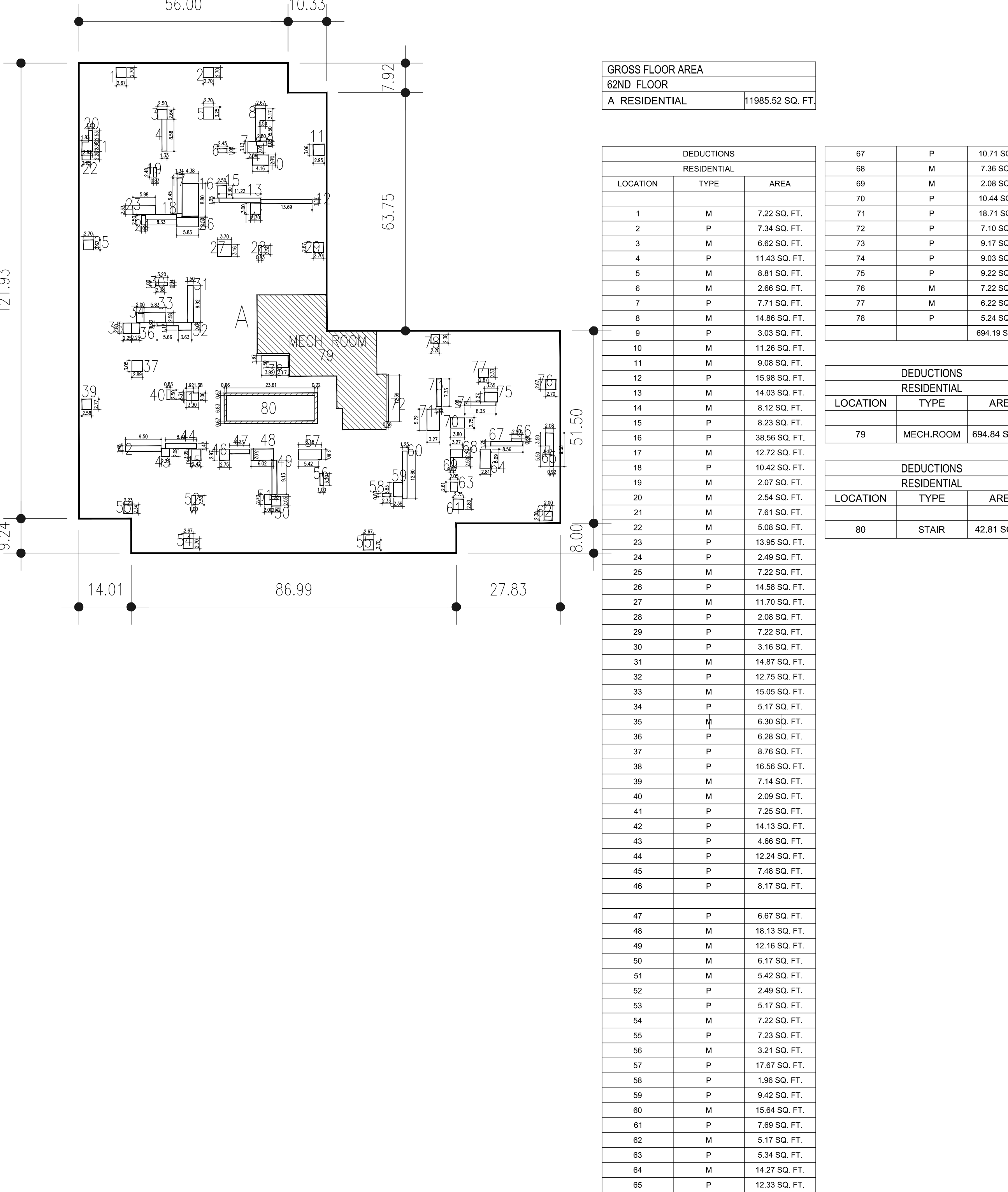
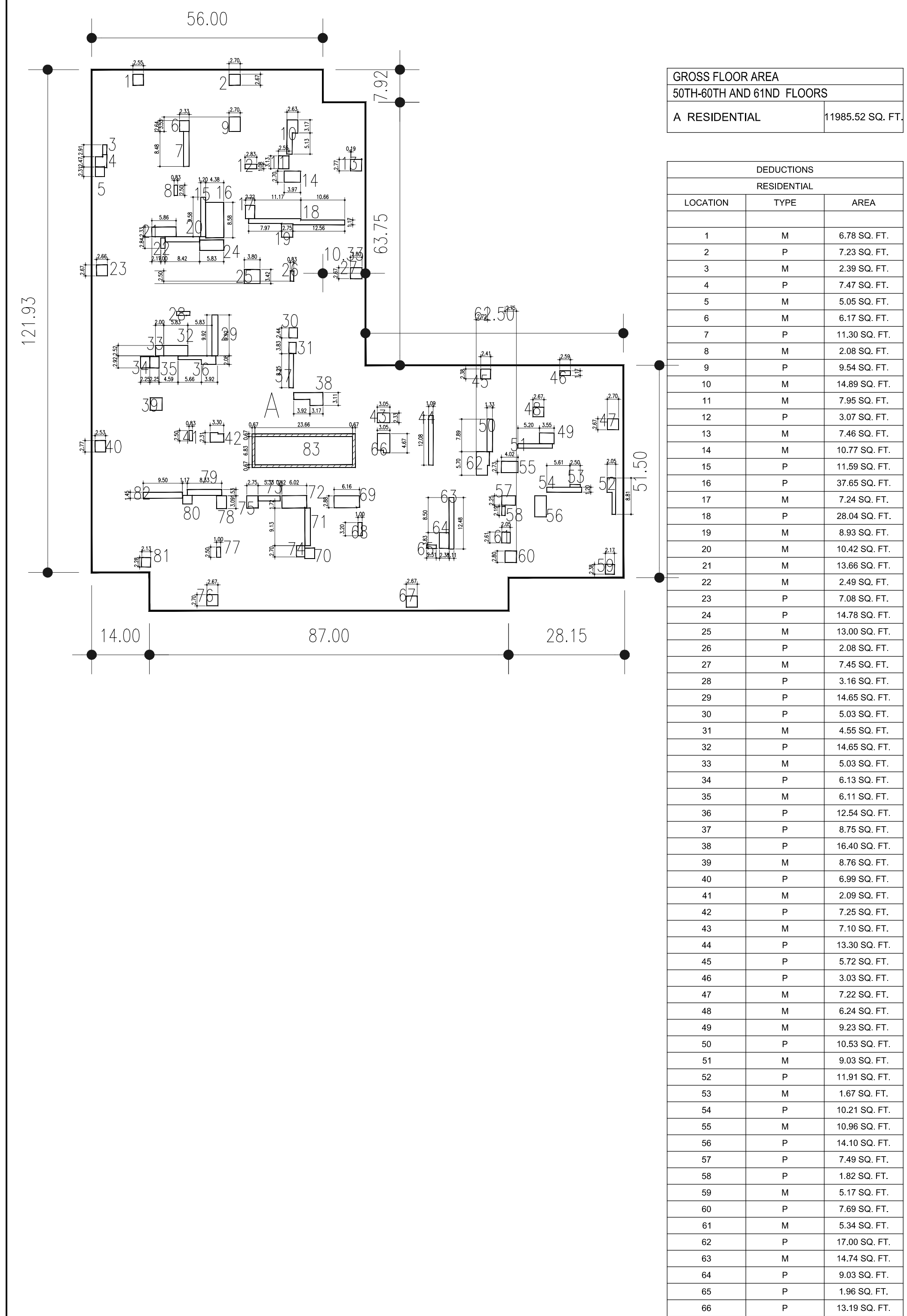


DEDUCTIONS		
LOCATION	TYPE	AREA
67	M	7.22 SQ. FT.
68	M	3.21 SQ. FT.
69	M	17.67 SQ. FT.
70	P	6.17 SQ. FT.
71	M	12.16 SQ. FT.
72	P	18.13 SQ. FT.
73	M	6.67 SQ. FT.
74	P	5.42 SQ. FT.
75	M	8.17 SQ. FT.
76	P	7.22 SQ. FT.
77	M	2.49 SQ. FT.
78	P	7.48 SQ. FT.
79	P	11.91 SQ. FT.
80	P	4.66 SQ. FT.
81	M	5.05 SQ. FT.
82	M	13.78 SQ. FT.
83		
729.77 SQ. FT.		

DEDUCTIONS		
LOCATION	TYPE	AREA
83	STAIR	42.46 SQ. FT.

KEY PLAN

NOTES:



DEDUCTIONS		
LOCATION	TYPE	AREA
65	P	12.16 SQ. FT.
66	P	6.17 SQ. FT.
67	P	9.42 SQ. FT.
68	M	7.39 SQ. FT.
69	M	2.49 SQ. FT.
70	P	5.17 SQ. FT.
71	P	14.03 SQ. FT.
72	P	4.66 SQ. FT.
73	P	12.13 SQ. FT.
74	M	7.48 SQ. FT.
75	P	8.02 SQ. FT.
76	P	6.37 SQ. FT.
670.37 SQ. FT.		

DEDUCTIONS		
LOCATION	TYPE	AREA
77	STAIR	42.44 SQ. FT.

NOT FOR CONSTRUCTION

10/06/2017  
08/10/2017  
06/02/2017  
03/04/2017  
03/10/2017  
03/01/2017  
02/14/2017  
01/07/2017  
01/05/2017  
11/17/2016  
11/01/2016  
10/12/2016  
06/09/2016  
02/05/2016

ISSUED FOR DOB  
95% CD SET AND #3  
65% CD SET  
50% CD SET  
ISSUED FOR DOB  
ISSUED FOR DOB  
ISSUED FOR DOB  
SUPERSTRUCTURE SET  
ISSUED FOR DOB  
FACADE PANELING SET  
100% INFORMATION HDS SET  
ISSUED FOR DOB  
ISSUED FOR DOB  
DOB FILING SET

Number: Date Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
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Architect:  
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ARCHITECTS  
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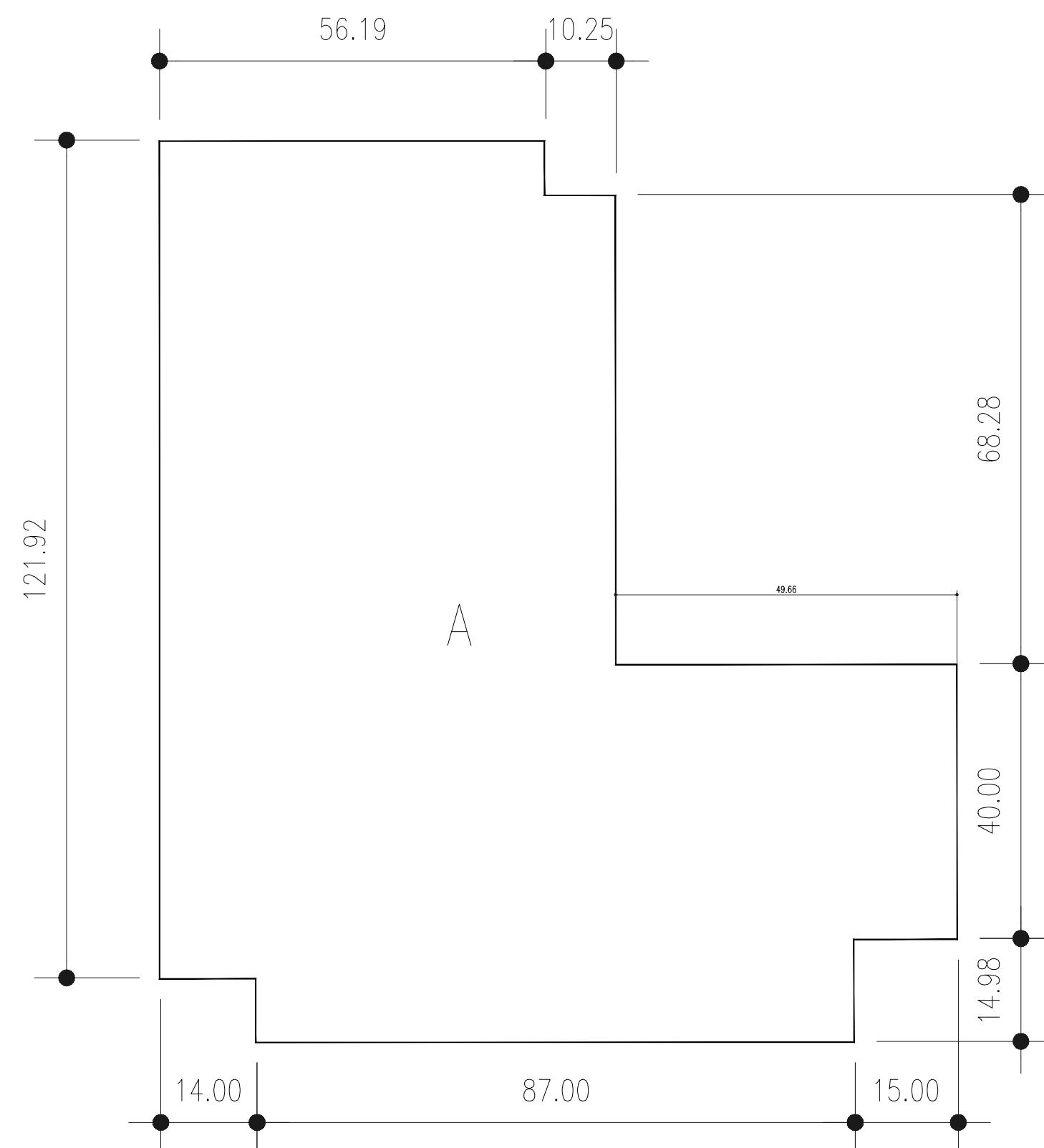
DOB STAMPS & SIGNATURES:

DWG TITLE:

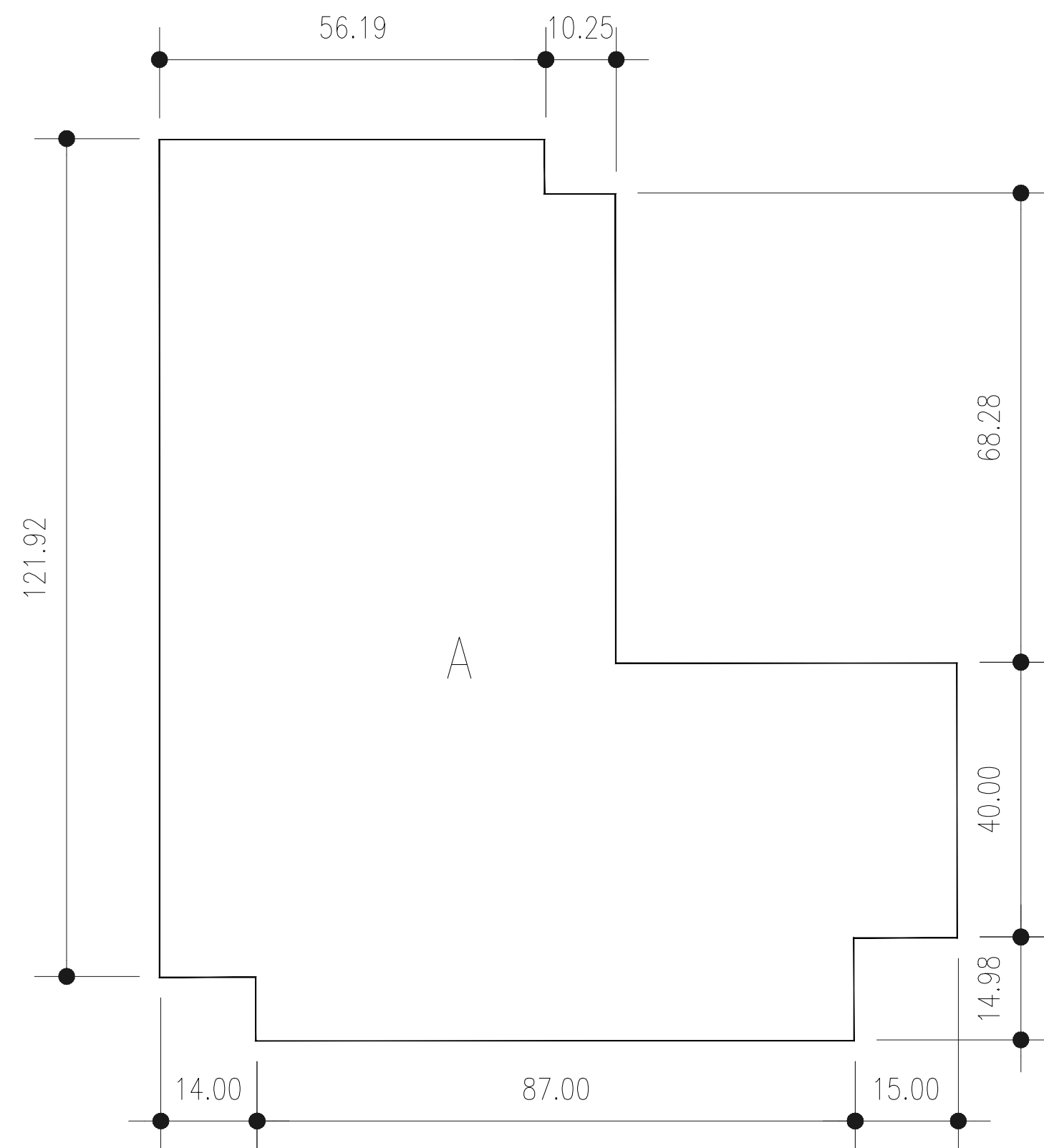
ZONING DEDUCTION PLANS

SEAL & SIGNATURE:  
REGISTERED ARCHITECT  
PROJECT #  
DATE: 10/08/2017  
SCALE: 1/8" = 1'-0"  
DWG NO. Z-004.00  
005 OF 105

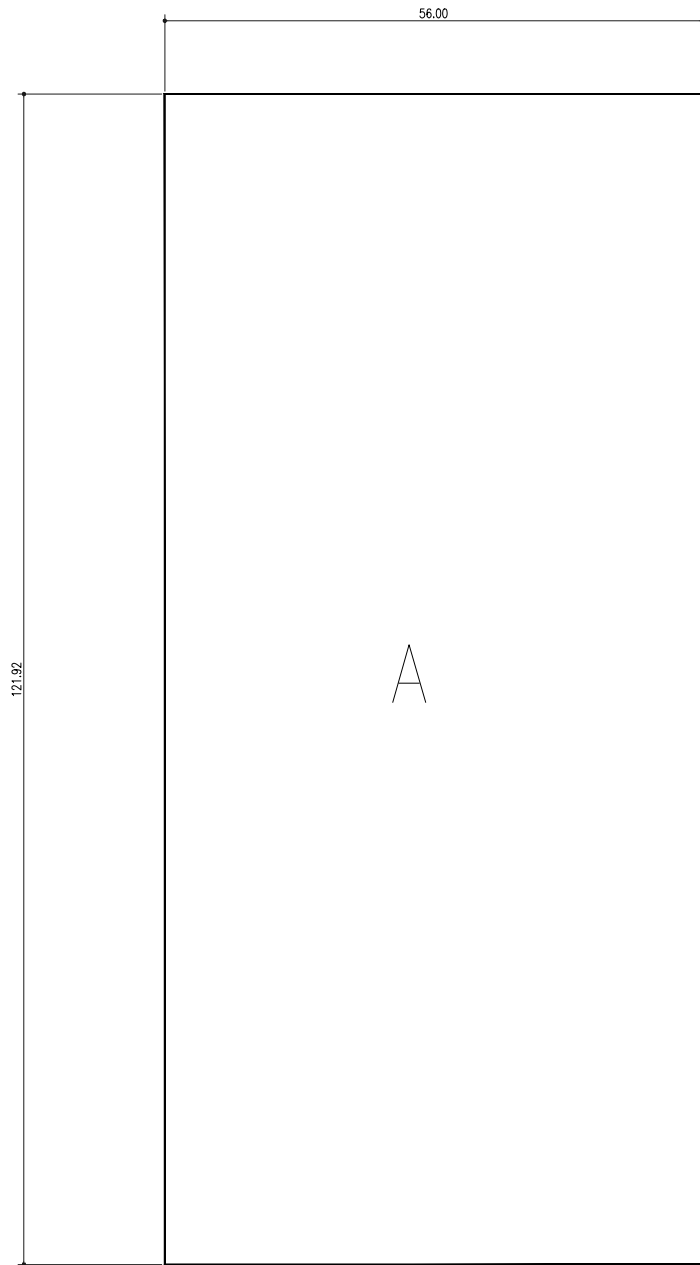




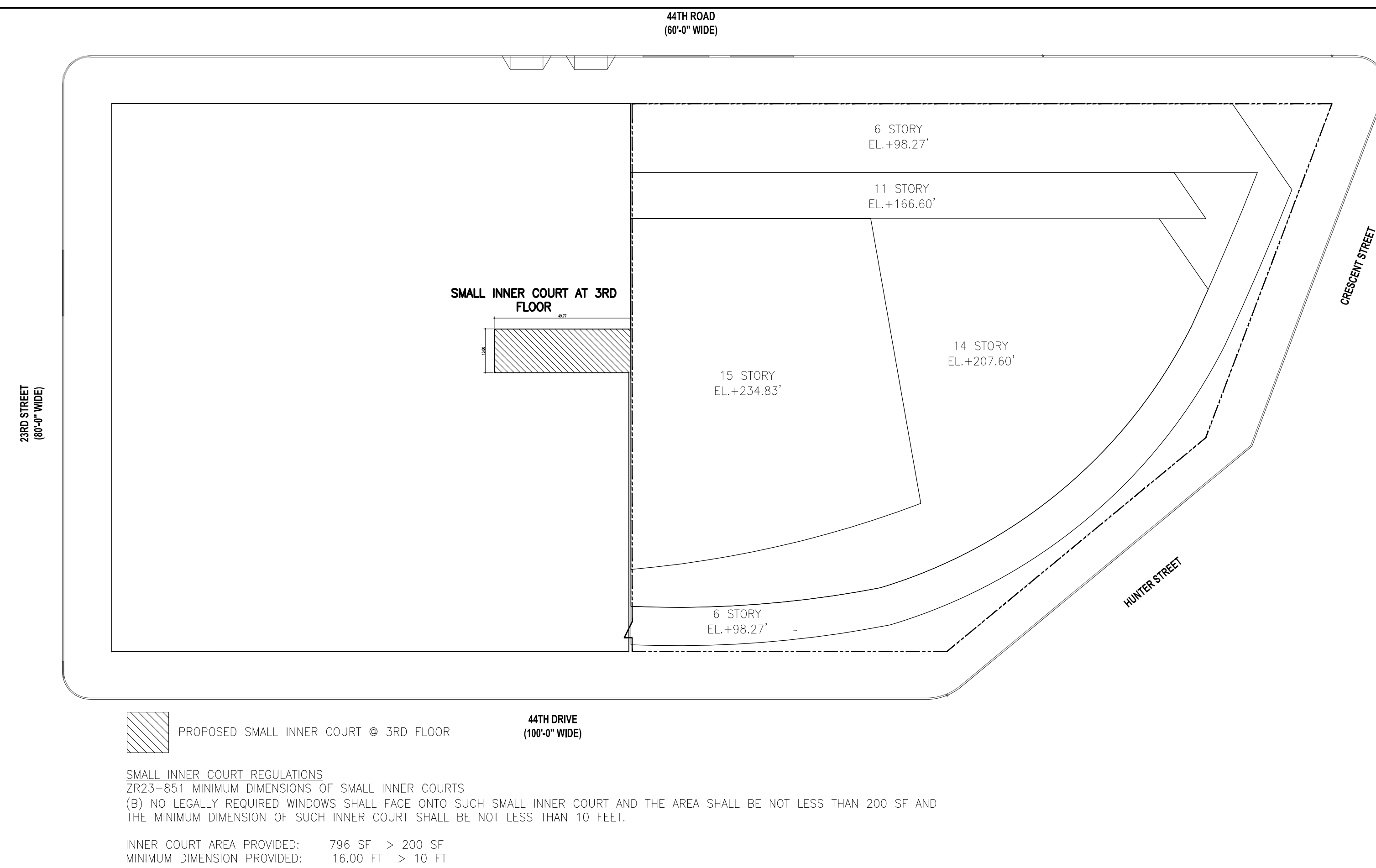
GROSS FLOOR AREA	
67TH FLOOR	
A MECHANICAL FLOOR	10994.95 SQ. FT.



GROSS FLOOR AREA	
68TH FLOOR	
A MECHANICAL FLOOR	10994.95 SQ. FT.

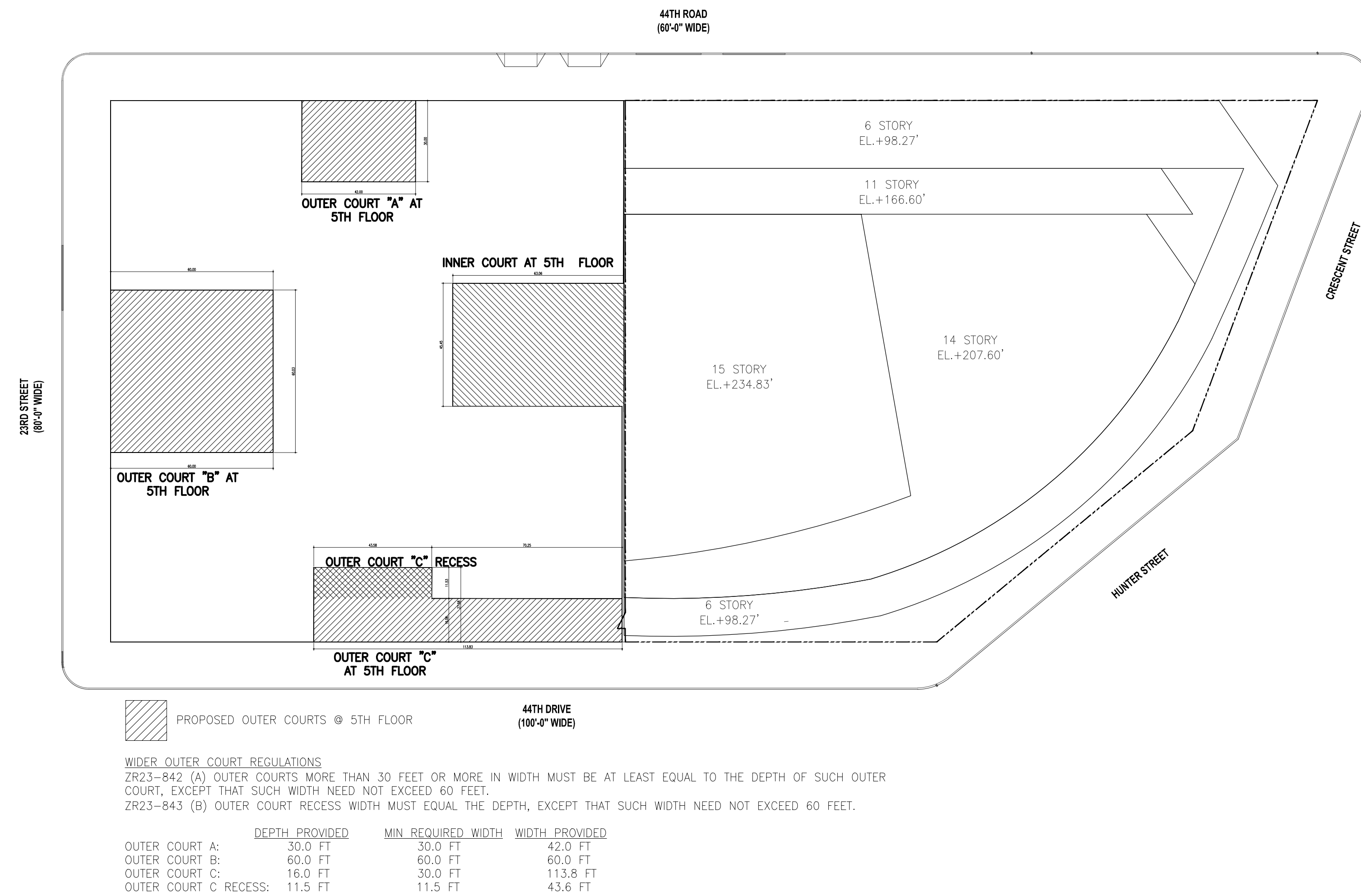


GROSS FLOOR AREA	
69TH FLOOR	
A MECHANICAL FLOOR	8827.47 SQ. FT.



SMALL INNER COURT REGULATIONS  
2923-851 MINIMUM DIMENSIONS OF SMALL INNER COURTS  
(B) NO LEGALLY REQUIRED WINDOWS SHALL FACE ONTO SUCH SMALL INNER COURT AND THE AREA SHALL BE NOT LESS THAN 200 SF AND THE MINIMUM DIMENSION OF SUCH INNER COURT SHALL BE NOT LESS THAN 10 FEET.  
INNER COURT AREA PROVIDED: 796 SF > 200 SF  
MINIMUM DIMENSION PROVIDED: 16.00 FT > 10 FT

## 1 COURT DIAGRAM @ ROOF OF 3RD FLOOR



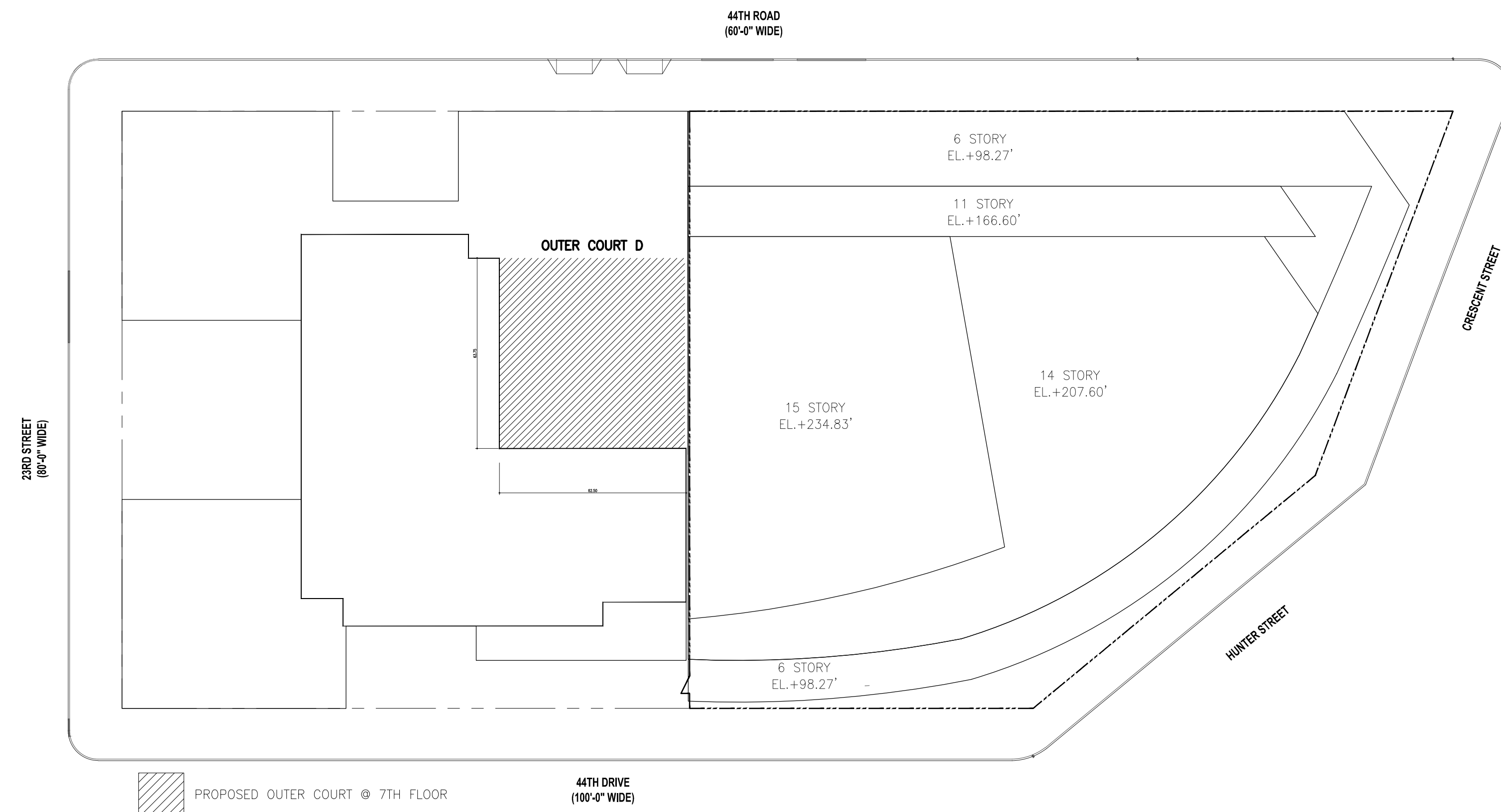
WIDER OUTER COURT REGULATIONS  
2923-842 (A) OUTER COURTS MORE THAN 30 FEET OR MORE IN WIDTH MUST BE AT LEAST EQUAL TO THE DEPTH OF SUCH OUTER COURT, EXCEPT THAT SUCH WIDTH NEED NOT EXCEED 60 FEET.  
2923-843 (B) OUTER COURT RECESS WIDTH MUST EQUAL THE DEPTH, EXCEPT THAT SUCH WIDTH NEED NOT EXCEED 60 FEET.

	DEPTH PROVIDED	MIN. REQUIRED WIDTH	WIDTH PROVIDED
OUTER COURT A:	30.0 FT	30.0 FT	42.0 FT
OUTER COURT B:	60.0 FT	60.0 FT	60.0 FT
OUTER COURT C:	16.0 FT	30.0 FT	113.8 FT
OUTER COURT C RECESS:	11.5 FT	11.5 FT	43.6 FT

PROPOSED INNER COURTS @ 5TH FLOOR

INNER COURT REGULATIONS  
2923-851 MINIMUM DIMENSIONS OF INNER COURTS  
(B) AN INNER COURT SHALL BE NOT LESS THAN 1,200 SF AND THE MINIMUM DIMENSION OF SUCH INNER COURT SHALL BE NOT LESS THAN 30 FEET.  
INNER COURT AREA PROVIDED: 2,866 SF > 1,200 SF  
MINIMUM DIMENSION PROVIDED: 45.45 FT > 30 FT

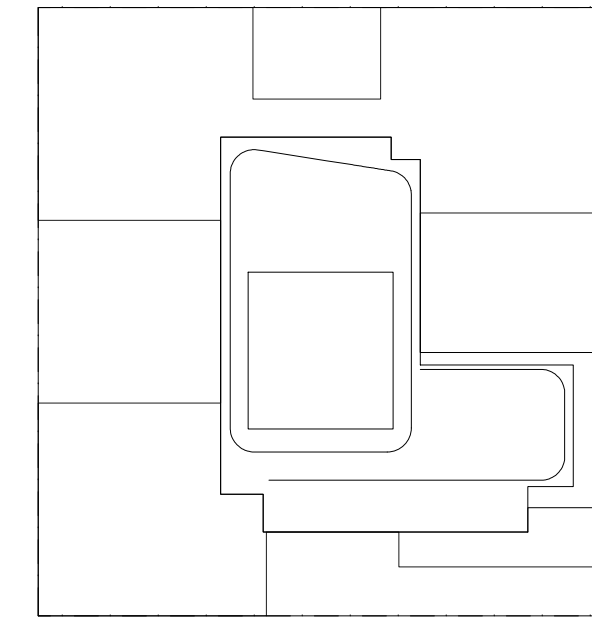
## 2 COURT DIAGRAM @ ROOF OF 5TH FLOOR



OUTER COURT REGULATIONS  
2923-842 (A) OUTER COURTS MORE THAN 30 FEET OR MORE IN WIDTH MUST BE AT LEAST EQUAL TO THE DEPTH OF SUCH OUTER COURT, EXCEPT THAT SUCH WIDTH NEED NOT EXCEED 60 FEET.

	DEPTH PROVIDED	MIN. REQUIRED WIDTH	WIDTH PROVIDED
OUTER COURT D:	63.7 FT	60.0 FT	62.5 FT

## 3 COURT DIAGRAM @ ROOF OF 7TH FLOOR



## KEY PLAN

## NOTES:

## NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
08/15/2017	90% CD SET AND #3
06/02/2017	65% CD SET
03/04/2017	90% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FAÇADE PAVING SET
11/01/2016	100% INFORMATION HOS SET
10/12/2016	ISSUED FOR DOB
06/09/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

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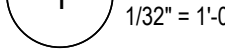
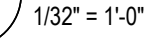
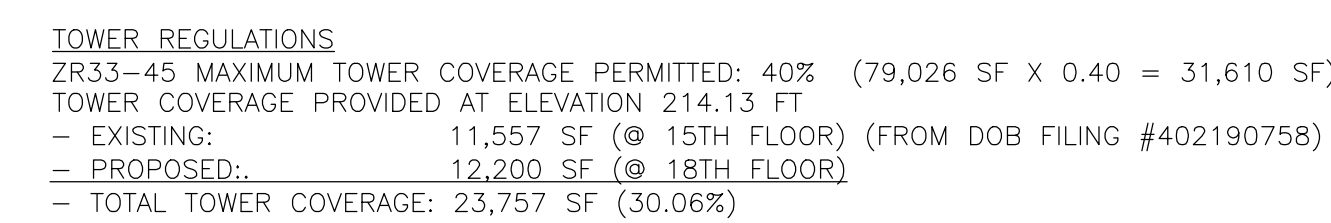
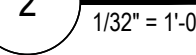
DOB STAMPS & SIGNATURES:

DWG TITLE:  
ZONING DIAGRAMS

SEAL & SIGNATURE:  
REGISTERED ARCHITECT  
PROJECT #  
DATE: 10/06/2017  
SCALE: 1/8" = 1'-0"  
Z-005.00  
DWG NO.  
006 OF 105



STREET	STREET FRONTAGE	MAX. PERMITTED RECESSED WIDTH	PROPOSED RECESSED WIDTH
44TH ROAD	190' FT	57.0 FT (30%)	190.0 FT (100%)
23RD STREET	200' FT	60.0 FT (30%)	200.0 FT (100%)
44TH DRIVE	190' FT	57.0 FT (30%)	190.0 FT (100%)













BUILDING INFORMATION:

LOCATION: 73-15 41 DRIVE, QUEENS NEW YORK 11101  
OCCUPANCY: R2  
CONSTRUCTION CLASSIFICATION: TYPE I C  
SEISMIC DESIGN CLASSIFICATION: C  
FLOOD ZONE: NONE  
FLOOD RESISTANCY: NONE

THIS BUILDING SHALL BE BUILT IN COMPLIANCE WITH THE NEW YORK CITY BUILDING CODE EFFECTIVE AT THE DATE OF FIRST FILING: 02 / 16 / 2016

GENERAL:

1. ALL NOTES HEREIN IN ADDITION TO THOSE ON THE VARIOUS DRAWINGS AND SPECIFICATIONS SHALL APPLY TO ALL DOCUMENTS AND FORM PART OF THE CONTRACT.

2. ALL CONSTRUCTION AND DEMOLITION WORK SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, RULES, AND REGULATIONS PERTAINING TO LABOR AND MATERIALS.

CONTRACTOR:

1. THE TERM "CONTRACTOR" SHALL APPLY TO ALL SUB CONTRACTORS AND/OR THEIR EMPLOYEES.  
2. ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE 2014 NEW YORK CITY BUILDING CODE. ANY WORK NOT CONFORMING TO CODE SHALL BE CURED AT THE EXPENSE OF THE CONTRACTOR RESPONSIBLE FOR THAT WORK.

3. THE PROVISIONS OF CHAPTER 33 OF THE 2014 NEW YORK CITY BUILDING CODE SHALL GOVERN THE CONDUCT OF ALL CONSTRUCTION AND DEMOLITION OPERATIONS WITH REGARD TO THE SAFETY OF THE PUBLIC AND PROPERTY.

4. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGES, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE. SEE CHAPTER 33 (BC 3301.1).  
5. DRAWINGS ARE NOT TO BE SCALED; WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE. ALL WORK SHALL BE Laid OUT BY DIMENSIONS; DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.

6. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

7. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, LOCATION AND DISPOSITION OF EXISTING UTILITIES AND EASEMENTS.

8. ALL MATERIALS, ASSEMBLIES, FORMS, AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM STANDARDS APPLICABLE, AND TO CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (AISC, AIA, ETC.) WHERE APPLICABLE. ALL MATERIALS INCORPORATED INTO THE WORK SHALL BE NEW AND SHALL COMPLY WITH THE REQUIREMENTS OF ARTICLE 113 OF THE GENERAL ADMINISTRATIVE PROCEDURES (GAP).

9. THE ARCHITECT SHALL NOT HAVE CONTROL NOR CHARGE OF OR BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION; FABRICATION, RECOMMENDATION, SUPPLY, DELIVERY OR INSTALLATION, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTORS, SUB-CONTRACTORS, SUPPLIERS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

10. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILL, AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

11. EACH CONTRACTOR SHALL PREPARE A PROPOSED CONSTRUCTION SCHEDULE AND SUBMIT SAME WITH THEIR BID. CONTRACTOR SHALL REFER ALL QUESTIONS AS TO THE MEANING OR RESOLUTION OF THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT FOR INTERPRETATION BEFORE START OF WORK.

12. ALL CONTRACTORS SHALL BE RESPONSIBLE TO COORDINATE THEIR WORK WITH THE WORK OF ALL OTHER CONTRACTORS, IN ORDER TO PRECLUDE ANY INTERFERENCE BETWEEN PIPING, WIRING, LIGHTING FIXTURES, AIR CONDITIONING DUCTING, PLUMBING, MECHANICAL EQUIPMENT, AND/OR CONSTRUCTION ASSEMBLIES, ETC.

13. INSPECTION DURING PROGRESS OF WORKS SHALL COMPLY WITH CHAPTER 1 ARTICLE 116 OF THE GENERAL ADMINISTRATIVE PROCEDURES.  
14. EACH CONTRACTOR SHALL PROVIDE LABOR, SUPERVISION, MATERIALS, EQUIPMENT & ACCESSORIES, AND COORDINATE, REMOVE, FABRICATE, DELIVER, ERECT OR INSTALL, INTERFERE WITH ANY NEW OR EXISTING WORK, START, TEST, ALL WORK AS PER COST AND CONSTRUCTION DOCUMENTS IN ORDER TO PROVIDE THE OWNER WITH A COMPLETE ASSEMBLY OF SYSTEM.  
15. CONTRACTOR TO FURNISH AND INSTALL ANY OTHER MATERIAL NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE INSTALLATION OF SPECIFIED PRODUCTS, MATERIALS OR SYSTEMS AS SELECTED BY THE CONTRACTOR AND SUBJECT TO APPROVAL OF THE ARCHITECT.

16. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS, CUTS AND SAMPLES OF ALL CONSTRUCTION ASSEMBLIES FOR REVIEW BY THE ARCHITECT BEFORE COMMENCING ANY WORK. NO WORK IS TO BE PERFORMED WITHOUT THE APPROVED DRAWING. THE ARCHITECT AND/OR OWNER RESERVE THE RIGHT TO REJECT ANY SUCH SUBMISSIONS.

17. THE CONTRACT DOCUMENTS CONSTITUTE A FINISHED PIECE OF WORK OF SUCH CHARACTER AND QUALITY AS REASONABLY INFERRABLE FROM THEM. THE CONTRACTOR ACKNOWLEDGES THAT THE CONTRACT INCLUDES AN ALLOWANCE OF MONEY SUFFICIENT TO MAKE THE PROJECT COMPLETE AND OPERATIONAL AND IN COMPLIANCE WITH GOOD PRACTICES AND AGREES THAT ANYOVERSIGHT, MINOR DISCREPANCIES OR OMISSIONS OR THE FAILURE TO SHOW DETAILS AS TO RESIST ANY PART OF THE CONTRACT DOCUMENTS REQUIRED OR NOTED ON ANY OTHER WORK SHALL BE THE CAUSE FOR ADDITIONAL CHARGES OF CLAIMS.

18. CONTRACTOR SHALL COMPLY WITH RECOMMENDATIONS OF MANUFACTURERS FOR INSTALLATION AND USE OF ALL PRODUCTS. IF RECOMMENDATIONS CONFLICT WITH DOCUMENTS, CONTRACTOR WILL NOTIFY ARCHITECT FOR RESOLUTION.

19. WHEREVER A PARTICULAR MANUFACTURER'S PRODUCT IS SPECIFIED HEREIN, IT IS TO BE USED, APPLIED, OR OTHERWISE INCORPORATED INTO THE WORK IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR SUCH USAGE.

20. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FLOOR FINISH MATERIALS TO ENSURE THAT THE TRANSITIONS BETWEEN FLOORING MATERIALS WILL BE SMOOTH AND IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE APPLICATION OF ANY PAINT OR WALL COVERING MATERIALS WILL CONSTITUTE ACCEPTANCE OF SURFACES BY EACH SPECIAL SUBCONTRACTOR AND ASSUMPTION OF RESPONSIBILITY FOR ALL SUBSEQUENT FINISHING AND RESULTS THEREOF.

21. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISH MATERIALS OR AS REQUIRED TO THE ARCHITECT FOR REVIEW AND ACKNOWLEDGMENT OF CONFORMANCE TO THE DESIGN INTENT PRIOR TO PROCEEDING.

22. CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL LIGHT SWITCHES, PANELS, LIGHT FIXTURES, OUTLETS, PLUMBING FIXTURES AND FITTINGS, THERMOSTATS AND DOOR BELLS IN ELEVATION WITH ARCHITECT.

23. THE CONTRACTOR SHALL PROMPTLY REMOVE FROM THE PREMISES ALL WORK CONDONED BY THE ARCHITECT AS FAILING TO CONFORM TO THE CONTRACT DOCUMENTS WHETHER INCORPORATED OR NOT, AND CONTRACTOR SHALL PROMPTLY REPAIR AND RE-EXECUTE HIS OWN WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS WITHOUT EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF MAKING GOOD ALL WORK OF OTHER CONTRACTORS DAMAGED BY SUCH REMOVAL OR REPLACEMENT.

24. CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS AND FORWARD COPIES OF ALL SIGN-OFFS AND CERTIFICATES OF OCCUPANCY (IF REQUIRED) TO THE ARCHITECT.

25. EACH CONTRACTOR WILL BE HELD STRICTLY RESPONSIBLE FOR THEIR WORK. ANY DISCREPANCIES IN THE PLANS OR DETAILS OR SPECIFICATIONS SHALL BE IMMEDIATELY CALLED TO THE ATTENTION OF THE ARCHITECT.

26. CONTRACTOR TO SCHEDULE AND COORDINATE ALL NECESSARY PERMITS FOR THE WORK AND ASSOCIATED INSPECTIONS PUSUANT TO THE CONTRACT DOCUMENTS AND THE ABOVE LISTED CODES. CONTRACTOR TO NOTIFY ARCHITECT OF ANY CHANGES REQUIRED TO THE APPROVED PERMIT DRAWINGS. ALL ALTERATION APPLICATIONS AND AMENDMENT CERTIFICATES OF OCCUPANCY (IF REQUIRED) WILL BE FILED AS PER THE 2014 NEW YORK CITY BUILDING CODE.

27. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS. ALL PERMITS ISSUED BY THE DEPARTMENT OF BUILDINGS SHALL BE POSTED IN A CONSPICUOUS PLACE OPEN TO PUBLIC INSPECTION FOR THE ENTIRE DURATION OF THE WORK, OF THE USE AND THE OPERATION OF THE EQUIPMENT OR UNTIL THE EXPIRATION OF THE PERMIT. CONTRACTOR SHALL FORWARD COPIES OF ALL BUILDING DEPARTMENT DOCUMENTS AND PERMITS TO THE ARCHITECT FOR RECORD. NO WORK AT THE SITE IS TO COMMENCE UNTIL THE PLANS HAVE BEEN APPROVED AND THE APPLICABLE PERMIT IS ISSUED BY THE APPROPRIATE GOVERNING ENTITY.

28. CONTRACTOR SHALL PREPARE A COMPLETE RECORD SET (DRAWINGS, SPECIFICATIONS, AGREAS, CHANGE ORDERS, RECORD OF APPROVED SHOP DRAWINGS, SAMPLES, AND SIMILAR) ON SITE. CONTRACTOR SHALL NOT MAKE ANY ALTERATIONS TO THE CONTRACT DOCUMENTS.

29. ALL ELEVATIONS SHALL BE REFERRED TO DATUM USED BY TOPOGRAPHICAL BUREAU, BUREAU PRESIDENT OF MANHATTAN, WHICH IS 2.72 ABOVE THE U.S. COAST AND GEODETIC SURVEY MEAN SEA LEVEL DATUM AT SANDY HOOK. ALL ELEVATIONS INDICATED ARE DATUM ELEVATIONS AND REFER TO DATUM USED BY TOPOGRAPHICAL BUREAU, BUREAU PRESIDENT OF GEOMETRIC MANHATTAN (GAP 28-104.76).

30. AT LEAST 24 HOUR WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER BEFORE COMMENCEMENT OF WORK (BC 3304.8 & 3306.3).

31. TEN DAYS PRIOR NOTICE SHALL BE GIVEN TO ADJOINING LOT OWNERS AFFECTED BY FOUNDATION, EXISTING, OR DEMOLITION WORK (BC 3304.3.2, 3306.3.2).

32. AN ACCURATE AND COMPLETE FINAL SURVEY, SIGNED AND SEALED BY A LICENSED SURVEYOR, SHALL BE SUBMITTED AFTER COMPLETION OF WORK SHOWING THE LOCATION OF ANY NEW BUILDING AND / OR ANY EXTENSION TO AN EXISTING BUILDING SHOWING ELEVATION OF FIRST FLOOR, FINISHED GRADES OF OPEN SPACES, ESTABLISHED CURB LEVEL, LOCATION OF OTHER STRUCTURE ON LOT, LOCATION AND BOUNDARIES OF LOT (GAP 28-118.4).

33. ZONING LOTS EXEMPTS, PARTLY HAVE RESTRICTIVE DECLARATION, AND EGRESS AGREEMENTS TO BE FILED AND RECORDED AT THE CITY REGISTER PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.

34. POSTED OCCUPANCY MAP. ALL BUILDINGS SHALL BE POSTED WITH A SIGN IN A PLACE PRESCRIBED BY THE DEPARTMENT OF BUILDINGS, PERMANENTLY ATTACHED, PLACED IN A CONSPICUOUS LOCATION IN PUBLIC HALL OR CORRIDOR, STATING LIVE LOADS AND OCCUPANTS LOADS IN THE BUILDING AND ALL PARTS THEREOF (GAP 28-118.3).

35. PER ALL PERMITS ISSUED BY THE DEPARTMENT OF BUILDINGS SHALL BE POSTED IN A CONSPICUOUS PLACE OPEN TO THE PUBLIC INSPECTION FOR THE ENTIRE TIME OF THE PROSECUTION OF THE WORK, OF THE USE AND OPERATION OF THE EQUIPMENT OR UNTIL THE EXPIRATION OF THE PERMIT.  
36. THE FOLLOWING ITEMS OF WORK SHALL BE SUBJECT TO CONTROLLED INSPECTION AND BE MADE AND WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF THE ARCHITECT OR ENGINEER RETAINED BY THE OWNER AND ACCEPTABLE TO ARCHITECT OF RECORD AND SATISFYING THE REQUIREMENTS OF GAP 11.5 SPECIAL INSPECTIONS. TEST REPORTS AND CERTIFICATE OF INSPECTION SHALL BE FILED WITH THE BUILDING DEPARTMENT (GAP 28-104.77):

- A. STRUCTURAL STEEL - WELDING (BC 1704.3.1 & 1704.3.2 TABLE 1704.3)
- B. STRUCTURAL STEEL - DETAILS (BC 1704.3.1 & 1704.3.2)
- C. STRUCTURAL STEEL - HIGH STRENGTH BOLTING (BC 1704.3.3 & 1704.3.4)
- D. CONCRETE - CAST-IN-PLACE (BC 1704.4 & 1704.4.1)
- E. MASONRY (BC 1704.5 & 1704.5.1)
- F. SUBGRADE INSPECTION (BC 1704.7.1)
- G. SUBSURFACE CONDITIONS - FILL, PLACEMENT AND IN-PLACE DENSITY (BC 1704.7.2, 1704.7.3)
- H. SUBSURFACE INVESTIGATIONS (BORINGS/TEST PITS) (BC 1704.7.4)
- I. DEEP FOUNDATION ELEMENTS (BC 1704.8)
- J. WALL PANELS, CURTAIN WALLS AND MEMBERS (BC 1704.10)
- K. SPRAYED FIRE RESISTANT MATERIALS (BC 1704.11)
- L. PLASTIC AND IMPREGNATED FIRE-RESISTANT COATINGS (BC 1704.12)
- M. EXTERIOR INSULATION AND FINISH SYSTEMS (IFPS) (BC 1704.13)
- N. SMOKE CONTROL SYSTEMS (BC 1704.15)
- O. MECHANICAL SYSTEMS (BC 1704.16 & NYC MECHANICAL CODE)
- P. HIGH-PRESSURE STEAM PIPING (WELDING) (BC 1704.18 & NYC MECHANICAL CODE)
- Q. HIGH TEMPERATURE HOT WATER PIPING (WELDING) (BC 1704.18)
- R. HIGH-PRESSURE FUEL-GAS PIPING (WELDING) (BC 1704.18 & NYC MECHANICAL CODE)
- S. EXCAVATIONS - SHEETING, SHORING AND BRACING (BC 1704.20.2)
- T. UNDERPINNING (BC 1704.20.3, BC 1704.21)
- U. MECHANICAL DEMOLITION (BC 1704.23)
- V. HEATING SYSTEMS (BC 1704.25)
- W. CHIMNEYS (BC 1704.26)
- X. FIRE RESISTANT PENETRATIONS AND JOINTS (BC 1704.27)
- Y. ALUMINUM WELDING (BC 1704.28)
- Z. MINIMUM EGRESS PATH REQUIREMENTS (BC 1704.29, BC 1004.8)
- AA. POST-TENSIONED ANCHORS (R01-014-014, R01-014-014) (BC 1704.32)
- AB. SEISMIC ISOLATION SYSTEMS (BC 1704.33)
- AC. CONCRETE DESIGN MIX (BC 1902.3, 1913.5)
- AD. CONCRETE SAMPLING AND TEST (BC 1902.6, BC 1913.10)
- AE. ENERGY CODE COMPLIANCE INSPECTION - 178
- AF. PROTECTION OF EXPOSED FOUNDATION INSULATION (241)
- AG. INSULATION BACKFILL AND REPAIRS (104)
- AH. PENETRATION THERMAL VALUES AND RATING RATINGS (104)
- AI. PENETRATION AND DOOR ASSEMBLY PRODUCT RATINGS FOR AIR LEAKAGE (224)
- AJ. FISHBATH AREAS (145)
- AK. SMOKE (104)
- AL. PROTECTION FACTORS (104)
- AM. BUILDING ENTRANCE VESTIBULES (104)
- AN. OUTDOOR AIR INTAKES AND EXHAUST OPENINGS (104)
- AO. HVAC SERVICE WATER HEATING AND POOL EQUIP. SIZING AND PERFORMANCE (104)
- AP. HVAC SYSTEM CONTROLS AND ECONOMIZERS AND SERVICE HOT WATER SYSTEM CONTROLS (104)
- AQ. ELECTRIC WIRING (104)
- AR. LIGHTING FIXING UNITS (104)
- AS. INTERIOR LIGHTING POWER (104)
- AT. EXTERIOR LIGHTING (104)
- AU. LIGHTING CONTROLS (104)
- AV. EXIT SIGNS (104)
- AW. ELECTRIC MOTORS (INCLUDING BUT NOT LIMITED TO FAN MOTORS) (104)
- AX. MAINTENANCE INFORMATION (104)

37. THE TECHNICAL RESPONSIBILITY REPORT FORMS (TR-1, TR-2, TR-3, ETC.) SHALL BE FILED PRIOR TO THE START OF WORK.

38. ALL MATERIALS, ASSEMBLIES AND METHODS OF CONSTRUCTION REGULATED BY THE CODE AND NOT LISTED ABOVE SHALL BE SUBJECT TO SEMI-CONTROLLED INSPECTION BY THE PERSON SUPERVISING THE CONSTRUCTION. SIGNED COPIES OF ALL TEST AND INSPECTION REPORTS SHALL BE FILED WITH THE BUILDING DEPARTMENT.  
39. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND REGULATING ALL QUANTITIES, DIMENSIONS, LISTED PARAGRAPHS AND TECHNIQUES FOR CONSTRUCTION. CONTRACTOR WILL COORDINATE THE WORK OF ALL OTHER TRADES AND SUBCONTRACTORS, AND ASSURE THAT ALL WORK IS PERFORMED IN A SAFE, COMPLETE AND SATISFACTORY MANNER.

- REQUIRED SURVEY APPLICATIONS:
  - A. APPLICATION FOR NEW BUILDING
  - B. APPLICATION FOR EXISTING BUILDING
  - C. APPLICATION FOR MECHANICAL SYSTEM VENTILATION
  - D. APPLICATION FOR SPRINKLERS
  - E. APPLICATION FOR STAIRWAYS
  - F. APPLICATION FOR ELEVATORS
  - G. APPLICATION FOR PUBLIC ASSEMBLY, IF ANY
  - H. HIGHWAY DEPARTMENT APPLICATION (PAVEMENT PLAN) (GAP 108)
  - I. FIRE PROTECTION PLAN (GAP 109)
  - J. APPLICATION FOR SMOKE
  - K. APPLICATION FOR FUEL OIL (IF ANY)
  - L. SITE SHED PLAN (IF REQUIRED) (GAP 110)
  - M. ASBESTOS INVESTIGATION (GAP 106)

40. ALL PLANS ARE SUBJECT TO REVIEW AND APPROVAL BY THE NEW YORK CITY DEPARTMENT OF BUILDINGS.

41. CONTRACTOR SHALL PROTECT ALL ADJOINING PROPERTIES AND THE ADJOINING PUBLIC RIGHT-OF-WAY. PROTECTION SHALL COMPLY WITH ALL REGULATIONS OF SECTION BC 3309.

42. SITE SAFETY MANAGER OR COORDINATOR SHALL BE DESIGNATED BY CONTRACTOR AS REQUIRED BY SECTION BC 3310 AND CHAPTER 4 OF TITLE 28 OF THE A.C.

43. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES (GAP 28-101.1).

44. THIS PROJECT DOES NOT INCLUDE MODULAR CONSTRUCTION.

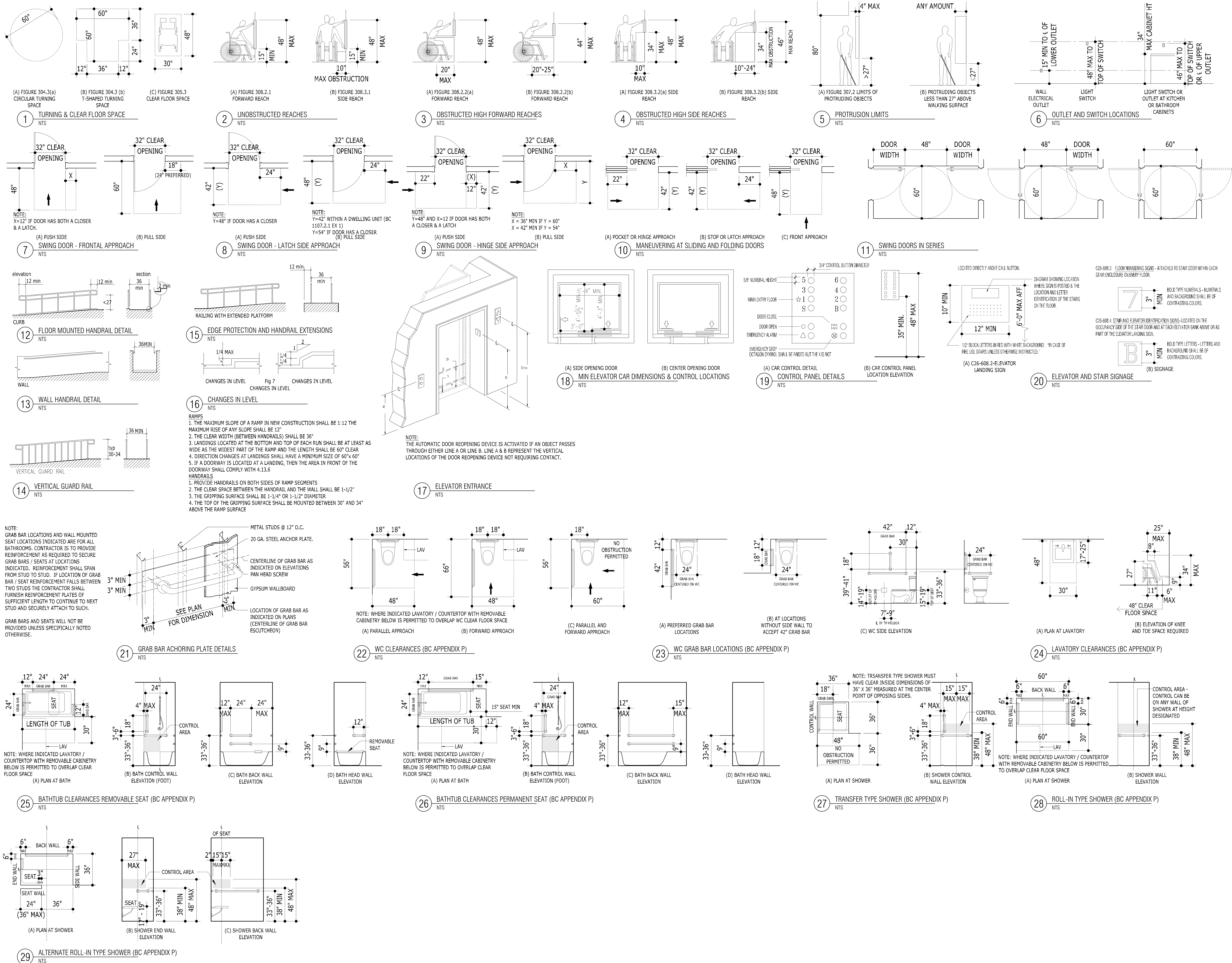
HIGH RISE

- 45. THIS BUILDING IS TALLER THAN 75FT AND COMPLIES WITH SECTION BC 403 - HIGH RISE BUILDINGS
- 46. AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT BUILDING (BC 403.3, 903.2.0.1). SPRINKLER SYSTEM SHALL COMPLY WITH BC 903.3
- 47. STANDPIPE SYSTEM SHALL BE INSTALLED AND SHALL COMBINE WITH AUTOMATIC SPRINKLER SYSTEM AS PER BC 905. (BC 405.10)
- 48. SMOKE DETECTOR SHALL BE PROVIDED PER (BC 403.4.1, BC 907.2.1.3.1)
- 49. EMERGENCY ONE-WAY VOICE COMMUNICATION SYSTEM SHALL BE PROVIDED BETWEEN THE FIRE-COMMAND CENTER AND THE REQUIRED EXIT STAIRS (EVERY OTHER FLOOR). INTERCOM SYSTEM WITH DWELLING UNITS (IF PROVIDED) SHALL HAVE FIRE-RESISTANT OVERHEAD FEATURE (BC 403.4.3, BC 907.2.3.2 EXCEPTION 3)
- 50. FIRE DETECTION/CONTROL SYSTEM NOT REQUIRED PER (BC 403.4.2 & BC 907.2.1.3.3 EXCEPTION)
- 51. FIRE COMMAND CENTER COMPLYING WITH BC 911 SHALL BE PROVIDED (BC 403.4.5)
- 52. ELEVATOR LOBBIES ARE NOT REQUIRED PER (BC 403.6.3, BC 708.14.1) EXCEPTION 5)
- 53. ELEVATOR SHAFTS AND STAIR ENCLOSURES SHALL BE CONSTRUCTED OF IMPACT RESISTANT WALLS (BC 403.2.3, 1 RCV 403-01)
- 54. ELEVATOR SHALL COMPLY WITH BC 1007.4 FOR EMERGENCY OPERATION AND SIGNALING DEVICE REQUIREMENTS AS PER SECTION 2.37 OF ASME A17.1 AND SECTION (BC 1109.6)
- 55. THIS BUILDING IS MORE THAN 125 FT AND WILL PROVIDE EMERGENCY POWER SYSTEM TO SUPPORT EXIT SIGNS AND EXGRESS ILLUMINATION, ONE ELEVATOR SERVING ALL FLOORS, EMERGENCY VOICE COMMUNICATION SYSTEM AND ELECTRICALLY POWERED FIRE PUMPS SHALL COMPLY WITH SECTION 2702.1 OF THE NEW YORK CITY BUILDING CODE (BC 403.3.2)
- 56. AUTOMATIC FAIL SAFE STAIR SIDE LOCKS ARE PERMITTED PROVIDED THEY COMPLY WITH RESTRICTIONS PER (BC 403.3.3)
- 57. SMOKE-PROOF EXIT ENCLOSURES ARE NOT PROVIDED PER (BC 403.3.4). OPERABLE WINDOWS SHALL BE PROVIDED PER (BC 916.4) EXCEPTION 1).
- 58. EXIT PATH PHOTO LUMINESCENT MARKINGS ARE NOT REQUIRED PER (BC 403.3.5) EXCEPTION
- 59. FIRE RESISTANCE:
  - A. THE OCCUPANCY CLASSIFICATION OF THE BUILDING IS OCCUPANCY GROUP R-2 AS PER BC 302. AND CLASS "A" MULTIPLE DWELLING 45 AS PER SECTION 4.8 MULTIPLE DWELLING LAW.
  - B. THE VARIOUS OCCUPANCIES REQUIRED TO BE SEPARATED FROM EACH OTHER BY FIRE SEPARATING AS PER (BC 508.4.4, TABLE 508.4) SHALL BE SO SEPARATED BY PARTITIONS HAVING THE REQUIRED FIRE RATING
  - C. THE CONSTRUCTION CLASSIFICATION OF THE BUILDING IS CONSTRUCTION GROUP 1B (BC 602) IN ACCORDANCE WITH AREA AND HEIGHT LIMITATIONS AS SPECIFIED IN TABLE 503. THE CONSTRUCTION ELEMENTS SHALL BE OF THE REQUIRED MINIMUM FIRE RESISTANCE RATINGS AS OUTLINED IN TABLE 601.
  - D. STRUCTURES OR PORTIONS OF STRUCTURES SHALL BE CLASSIFIED AS TO BUILDING PER BC 302. INCIDENTAL USE AREAS SHALL COMPLY WITH (BC 509, TABLE 509)
  - E. INCIDENTAL USE AREAS SHALL BE SEPARATED FROM THE REMAINDER OF THE BUILDING BY THE FIRE SEPARATION AND/OR SPRINKLER COVERAGE AS INDICATED IN SECTION (BC 509 & TABLE 509). IF SPRINKLER COVERAGE IS PERMITTED IN LEVEL OF THE FIRE SEPARATION THE INCIDENTAL USE AREA SHALL BE SEPARATED FROM THE REMAINDER OF THE BUILDING WITH CONSTRUCTION CAPABLE OF RESISTING THE PASSAGE OF SMOKE. (BC 509.4.2, BC SECTION 509.4.2.1) FIRE-SMOKE BARRIERS SHALL BE PROVIDED ON EACH FLOOR IN ALL CASES WHICH PENETRATE EXISTING USE AREAS. (BC 509.4.1, BC SECTION 700.7)
  - F. REQUIRED SEPARATION OF OCCUPANCIES AND INCIDENTAL USES EXCEPTED FROM (BC TABLE 508.4 & 509)
  - G. ROOMS CONTAINING FIRE PUMPS
    - 1. HIGH-PRESSURE STEAM OR WATER BOILER ROOM (>350,000 BTU PER HOUR) 2 HR
    - 2. HIGH-PRESSURE STEAM OR WATER BOILER ROOM (>350,000 BTU PER HOUR) 2 HR OR 1 HR AND AUTOMATIC FIRE-EXTINGUISHING SYSTEM
    - 3. HIGH-PRESSURE STEAM OR WATER BOILER ROOM (>350,000 BTU PER HOUR) 1 HR OR AUTOMATIC SPRINKLER SYSTEM
    - 4. LOW-PRESSURE STEAM OR WATER BOILER ROOM (LESS THAN 350,000 BTU PER HOUR) 1 HR OR AUTOMATIC SPRINKLER SYSTEM
    - 5. STEAM LAUNDRY OVER 125 SF 1 HR OR AUTOMATIC FIRE-EXTINGUISHING SYSTEM
  - H. FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS
    - 1. STAIR ENCLOSURE 2 HR (BC 1012.1) EXCEPTION 1
    - 2. ELEVATOR SHAFT 2 HR (BC 1012.1, BC 708.4 & CHAPTER 30)
    - 3. DUCT SHAFTS 2 HR (BC 1012.1, BC 708.4)
    - 4. SERVICE CHUTE ENCLOSURE 2 HR (BC 1012.1)
    - 5. PUBLIC HALL (CORRIDOR) 1 OR 2 HR (BC 1012.2 & 1018.4) EXCEPTION 4)
    - 6. ELEVATOR PASSAGEWAY (GRADE LEVEL) 2 HR (BC 1012.2)
    - 7. INTERIOR PARTITIONS AND FURNISHING 1 HR (TABLE 601)
    - 8. FLOOR CONSTRUCTION INCLUDING BEAMS 2 HR (TABLE 601)
    - 9. STRUCTURAL FRAMES, COLUMNS & GIRDERS 2 HR (TABLE 601)
    - 10. ROOF CONSTRUCTION INCLUDING BEAMS 1 HR (TABLE 601)
    - 11. EXTERIOR NON-LOAD BEARING WALLS OF LOFTS 2 HR (TABLE 601)
    - 12. EXTERIOR NON-LOAD BEARING WALLS 2 HR (TABLE 601)
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    - 151. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 152. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 153. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 154. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 155. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 156. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 157. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 158. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 159. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 160. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 161. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 162. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 163. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 164. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 165. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 166. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 167. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 168. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 169. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 170. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 171. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 172. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 173. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE 601)
    - 174. EXTENSION NON-LOAD BEARING WALLS 2 HR (TABLE



# ACCESSIBLE REQUIREMENTS

NOTE: ALL REFERENCES TO FIGURE NUMBER REFER TO ANSI 117.1-2003; ALL DIMENSIONS SHOWN ARE MINIMUM PERMITTED UNLESS NOTED OTHERWISE.



## NOTES:



## NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR RIB
09/19/2017	90% CD SET
08/02/2017	60% CD SET
03/02/2017	90% CD SET
03/01/2017	ISSUED FOR RIB
02/04/2017	ISSUED FOR RIB
01/07/2017	ISSUED FOR RIB
01/05/2017	ISSUED FOR RIB
11/17/2016	ISSUED FOR RIB
11/11/2016	ISSUED FOR RIB
10/12/2016	ISSUED FOR RIB
02/05/2016	DOB PLING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
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(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE: ADAPTABILITY NOTES

SEAL & SIGNATURE: DATE: 10/06/2017  
PROJECT #: 15412  
SCALE: AS NOTED  
DWG NO: A-004.00  
Q11 OF 105



DOOR SCHEDULE:											
TYPE:											
SIZE:	(A) (1) 3'-0"x 7'-6"x 1 3/4"	(B) (1) 3'-0"x 7'-6"x 1 3/4" (B1) (1) 3'-0"x 7'-6"x 1 3/4" (B2) (1) 3'-0"x 7'-6"x 1 3/4" (B3) (1) 3'-0"x 7'-6"x 1 3/4"	(C) 3'-0"x 7'-6"x 1 1/4"	(C1) 3'-7"x 7'-6"x 1 1/4"	(D) 3'-0"x 7'-6"x 1 3/4"	(E) (1) 3'-0"x 7'-6"x 1 3/4"	(F) (1) 1'-6"x 7'-6"x 1 3/4" (F1) (1) 2'-0"x 7'-6"x 1 3/4" (F2) (1) 2'-6"x 7'-6"x 1 3/4" (F3) (1) 3'-0"x 7'-6"x 1 3/4" (F4) (2) 1'-6"x 7'-6"x 1 3/4" (F5) (2) 2'-0"x 7'-6"x 1 3/4" (F6) (2) 2'-6"x 7'-6"x 1 3/4"	(G) (1) 2'-8"x 7'-6"x 1 3/4" (G1) (2) 2'-8"x 7'-6"x 1 3/4"	(H) SEE PLAN x 7'-6" H.	(J) (1) 3'-0"x 7'-6"x 1 3/4" (J1) (1) 3'-0"x 7'-6"x 1 3/4" (J2) (2) 3'-0"x 7'-6"x 1 3/4" (J3) (1) 3'-6"x 7'-6"x 1 3/4"	(K) (1) 3'-0"x 7'-6"x 1 3/4"
MATERIAL:	SOLID CORE WOOD	HOLLOW METAL	STAINLESS STEEL	STAINLESS STEEL	SOLID CORE WOOD	SOLID CORE WOOD	SOLID CORE WOOD	SOLID CORE WOOD	-	HOLLOW METAL	HOLLOW METAL
SADDLE:	STONE	SEE REMARKS	EXTRUDED ALUMINUM	EXTRUDED ALUMINUM	STONE	NONE, U.O.N.	NONE, U.O.N.	STONE	NONE, U.O.N.	SEE REMARKS	SEE REMARKS
BUCK:	METAL	METAL	STAINLESS STEEL	STAINLESS STEEL	METAL	METAL	METAL	METAL	-	METAL	METAL
LOCATION:	(A) PUBLIC CORRIDOR TO APARTMENT	EGRESS STAIRS EGRESS CORRIDOR	RESIDENTIAL PASSENGER ELEVATOR P.E. #1,2,3,5,6,7,8,9,10	RESIDENTIAL PASSENGER ELEVATOR S.E. #4,11	BATHROOMS AND POWDER ROOMS	BEDROOMS	CLOSETS	WASHER/DRYER CLOSET	SEE PLAN	COMPACTOR ROOM MECHANICAL ROOMS SUPER'S OFFICE / WORKSHOP STAFF LOCKER ROOM TOILET ROOMS	TENANT STORAGE REFUSE CLOSETS BOILER ROOM ELEVATOR MACHINE ROOM
HARDWARE SET:	(A) HARDWARE SET # 1	SEE PLANS AND SPECIFICATIONS	BY ELEVATOR CONTRACTOR	BY ELEVATOR CONTRACTOR	HARDWARE SET # 2	HARDWARE SET # 2	HARDWARE SET # 3 TYPE F1/F2/F3 HARDWARE SET # 4 TYPE F4/F5/F6/F7	HARDWARE SET # 3 TYPE G HARDWARE SET # 4 TYPE G1	N/A	SEE PLANS AND SPECIFICATIONS	SEE PLANS AND SPECIFICATIONS
REMARKS:	FLUSH PANEL F.P.S.C. 1 1/2 HR. TEST 35 STC RATING WELDED BUCK  WIRED PUSH BUTTON CHIME	FLUSH PANEL F.P.S.C. 1 1/2 HR. TEST WELDED BUCK NO LOCKING DEVICES EITHER SIDE U.O.N.  (B)(B1) STONE SADDLE (B2)(B3) ALUMINUM SADDLE (B)(B3) LOCKING DEVICE AT ONE SIDE	FLUSH PANEL F.P. 1 1/2 HR. TEST SINGLE SPEED SIDE DOOR  NOTE: SEE ELEVATOR DRAWINGS AND SPECIFICATIONS FOR FURTHER INFORMATION.	FLUSH PANEL F.P. 1 1/2 HR. TEST SINGLE SPEED SIDE DOOR  NOTE: SEE ELEVATOR DRAWINGS AND SPECIFICATIONS FOR FURTHER INFORMATION.	FLUSH PANEL KNOCK DOWN FRAME UNDERCUT DOOR 1/2" ABOVE TOP OF STONE SADDLE  PROVIDE MORTISED HINGE AND LATCH BLANKS TO ALLOW FOR FUTURE REVERSAL OF DOOR SWING AS INDICATED ON PLANS	FLUSH PANEL KNOCK DOWN FRAME UNDERCUT DOOR 1/2" ABOVE FINISHED FLOOR  PROVIDE MORTISED HINGE AND LATCH BLANKS TO ALLOW FOR FUTURE REVERSAL OF DOOR SWING AS INDICATED ON PLANS	FLUSH PANEL UNDERCUT DOOR 1/2" ABOVE FINISHED FLOOR	FLUSH PANEL FULL LOUVERED DOOR KNOCK-DOWN FRAME UNDERCUT DOOR 1/2" ABOVE STONE SADDLE	-	FLUSH PANEL F.P.S.C. 1 1/2 HR. TEST WELDED BUCK ALUM. SADDLE WHERE FACING PUBLIC CORRIDOR/ELEVATOR ALCOVE, TYP., U.O.N. STONE SADDLE WHERE FACING PUBLIC CORRIDOR/ELEVATOR ALCOVE, TYP., U.O.N. PROVIDE SELF-CLOSING DEVICE FOR ANY DOORS OPENING INTO PUBLIC CORRIDOR. PROVIDE 1 1/2 HR RATED ASTRAGAL WHERE DOUBLE DOORS ARE INDICATED. ELEVATOR MACHINE ROOM DOORS TO BE SELF-CLOSING AND SELF-LOCKING PROVIDE WITH A SPRING-TYPE LOCK ARRANGED TO PERMIT THE DOORS TO BE OPENED FROM THE INSIDE WITHOUT KEY. (J) DOORS AT COMPACTOR ROOMS TO BE 3 HOUR RATED. 16 GAUGE STEEL, SELF CLOSING, WITH KICK PLATES.	FLUSH PANEL F.P.S.C. 1 1/2 HR. TEST WELDED BUCK
TYPE:											
SIZE:	(L1) (2) 3'-6"x 8'-0"x 1 3/4"	(L2) (2) 3'-6"x 8'-3"x 1 3/4"	(M) (1) 3'-0"x 7'-6"x 1 3/4"	(N1) (1) 3'-0"x 7'-6"x 3/4"	(N2) (2) 3'-0"x 7'-10"x 1 3/4"	(P) (1) 3'-0"x 7'-6"x 1 3/4" (P1) (2) 3'-4"x 7'-6"x 1 3/4" (P2) (1) 4'-0"x 7'-6"x 1 3/4"	(S) (1) 3'-0"x 7'-6"x 1 3/4" (S1) (1) 3'-0"x 7'-6"x 1 3/4"	(T) (1) 3'-0"x 7'-6"x 1 3/4"	(U) (1) 3'-0"x 7'-6"x 1 3/4"	(V) (2) 3'-0"x 8'-3"x 1 3/4"	
MATERIAL:	ALUMINUM AND TEMPERED GLASS	ALUMINUM AND TEMPERED GLASS	HOLLOW METAL	HOLLOW METAL AND TEMPERED GLASS	HOLLOW METAL AND TEMPERED GLASS	SOLID CORE WOOD	SOLID CORE WOOD	SOLID CORE WOOD	SOLID CORE WOOD	WOOD AND TEMPERED GLASS	
SADDLE:	STAINLESS STEEL	STAINLESS STEEL	GALVANIZED STEEL	STONE	STAINLESS STEEL	STONE	STONE	STONE	STONE	STONE	
BUCK:	ALUMINUM	ALUMINUM	METAL	METAL	ALUMINUM	NONE	METAL	METAL	METAL	BUCK	
LOCATION:	LOBBY ENTRANCE	LOBBY VESTIBULE	DOOR AT TOP OF EGRESS STAIRS	LAUNDRY ROOM BICYCLE STORAGE	FITNESS CENTER	BATHROOMS AND FOYERS	CELLAR LEVEL AMNENITES	CELLAR LEVEL AMNENITES	LOBBY MAILROOM	LIBRARY	
HARDWARE SET:	SEE PLANS AND SPECIFICATIONS SEE ARCHITECTURAL, INTERIOR, AND MEP SPECIFICATIONS AND DRAWINGS FOR FURTHER INFORMATION, INCLUDING HARDWARE SPECIFICATIONS AND LOCATIONS. TYP. ALL DOORS SEE MEP DRAWINGS AND SPECIFICATIONS FOR FURTHER SECURITY DEVICE INFORMATION AND LOCATIONS. TYP. ALL DOORS	SEE PLANS AND SPECIFICATIONS SPECIFICATIONS AND DRAWINGS FOR FURTHER INFORMATION, INCLUDING HARDWARE SPECIFICATIONS AND LOCATIONS. TYP. ALL DOORS SEE MEP DRAWINGS AND SPECIFICATIONS FOR FURTHER SECURITY DEVICE INFORMATION AND LOCATIONS. TYP. ALL DOORS	SEE PLANS AND SPECIFICATIONS	SEE PLANS AND SPECIFICATIONS	SEE PLANS AND SPECIFICATIONS	HARDWARE SET # 5 TYPE P (AT BATHRMS & BEDRMS) HARDWARE SET # 5A TYPE P (AT FOYERS)	SEE PLANS & SPECIFICATIONS	SEE PLANS & SPECIFICATIONS	SEE PLANS & SPECIFICATIONS	SEE PLANS & SPECIFICATIONS	
REMARKS:	FLUSH PANEL SELF CLOSING  DOOR TO BE TEMPERED TRANSPARENT GLASS  PROVIDE HOLD OPEN LIMIT STOPS SET AT 95°	FLUSH PANEL SELF CLOSING  DOOR TO BE TEMPERED TRANSPARENT GLASS  PROVIDE HOLD OPEN LIMIT STOPS SET AT 95°	FLUSH PANEL F.P.S.C. 1 1/2 HR. TEST WELDED BUCK PANIC HARDWARE INSIDE	FLUSH PANEL SELF CLOSING  DOOR AND SIDELITE TO BE TEMPERED TRANSPARENT GLASS	FLUSH PANEL SELF CLOSING  DOOR TO BE TEMPERED TRANSPARENT GLASS  PROVIDE HOLD OPEN LIMIT STOPS SET AT 95°	FLUSH PANEL SLIDING DOOR SET SLIDING DOOR BUMPER STOP SO THAT DOOR SITS FLUSH WITH PARTITION WHEN FULLY OPEN  ALL SLIDING DOOR DIMENSIONS ARE PROVIDED TO FINISHED OPENING. DOORS SHALL BE 2" IN WIDTH TO MAINTAIN CONTACT WITH FLOOR GUIDE WHEN FULLY CLOSED	BEADED PANEL F.P.S.C. 1 1/2 HR. TEST U.O.N. WELDED BUCK (S1) NOT RATED	BEADED PANEL WELDED BUCK	FLUSH PANEL WELDED BUCK	FLUSH PANEL SELF CLOSING  DOOR TO BE TEMPERED TRANSPARENT GLASS  PROVIDE HOLD OPEN LIMIT STOPS SET AT 95°	

**NOTES:**

10/06/2017 ISSUED FOR DOB  
09/19/2017 90% CD SET  
04/02/2017 60% CD SET  
02/02/2017 90% CD SET  
03/30/2017 ISSUED FOR DOB  
03/01/2017 ISSUED FOR DOB  
02/14/2017 ISSUED FOR DOB  
01/07/2017 SUPERSTRUCTURE SET  
01/02/2017 ISSUED FOR DOB  
11/17/2016 FACILE PHASE SET  
11/11/2016 100% ELEVATOR AND SET  
10/12/2016 ISSUED FOR DOB  
  
02/05/2016 DOB PLING SET

Number: \_\_\_\_\_ Date: \_\_\_\_\_ Revision: \_\_\_\_\_

Project: **City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect: **HILL | WEST ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant: **DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
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New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE: **DOOR SCHEDULE**

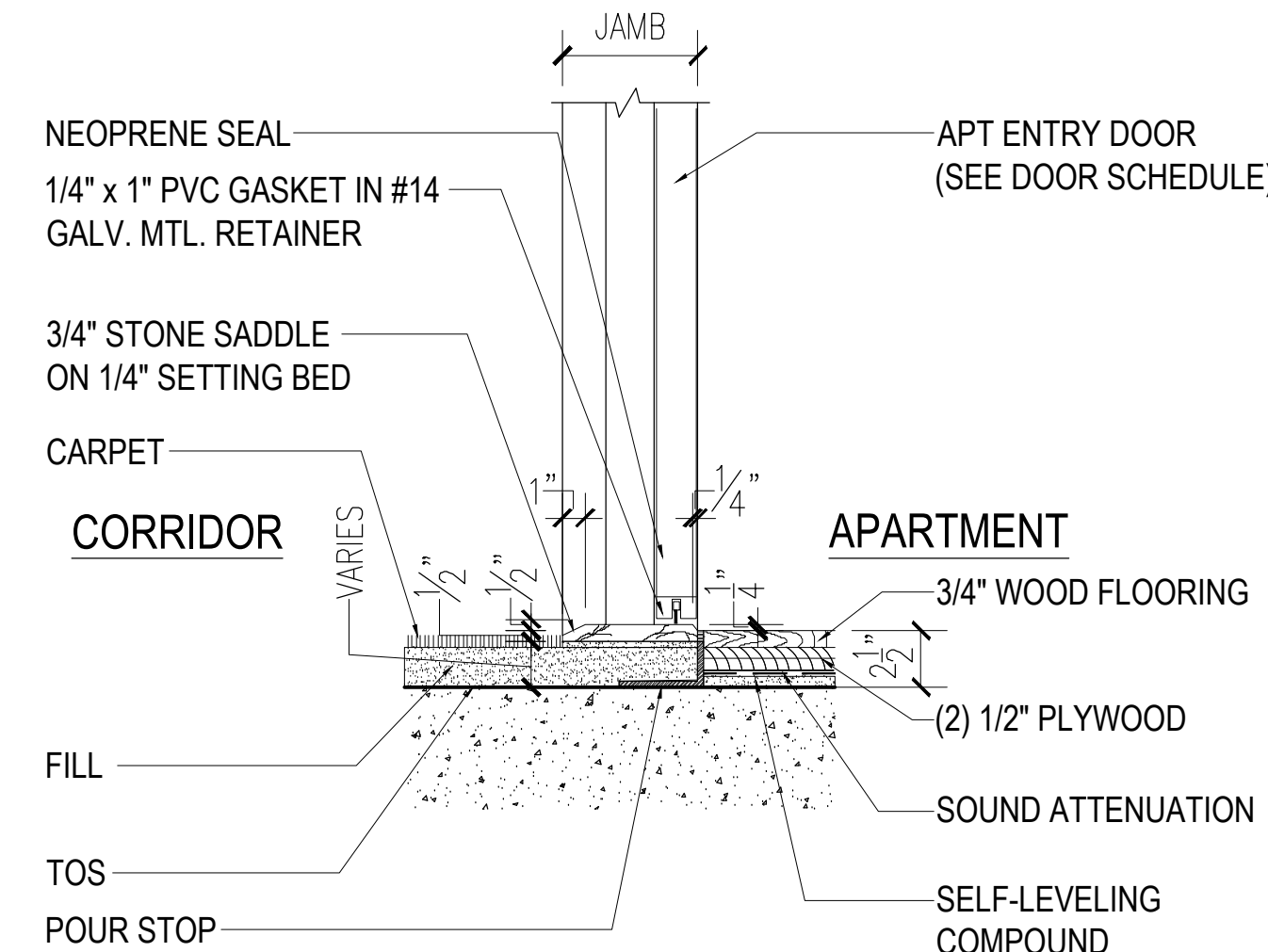
SEAL & SIGNATURE: DATE: 10/06/2017  
PROJECT #: 15412  
SCALE: AS NOTED  
DWG NO: **A-005.00**  
1 OF 105



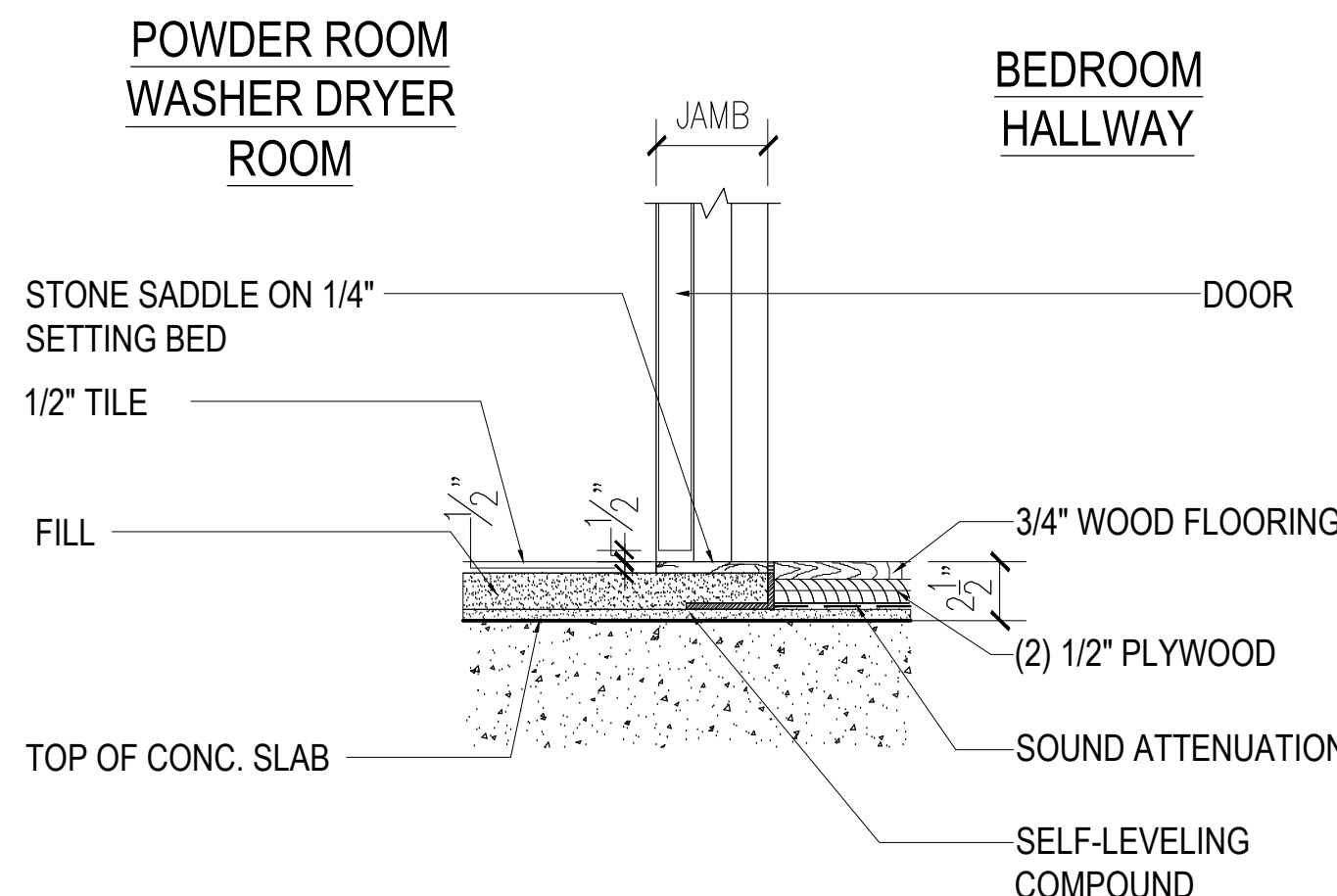




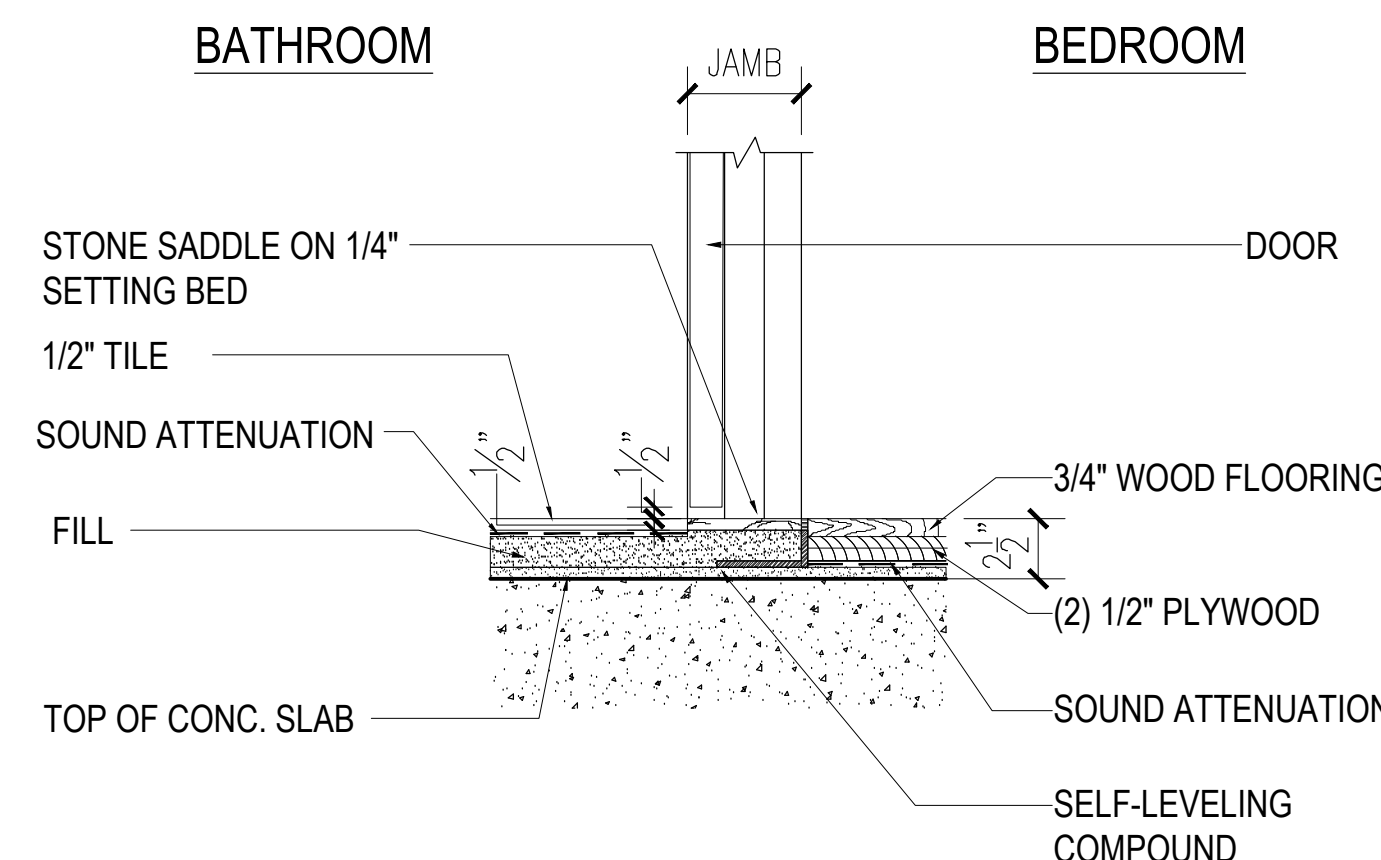
SADDLE / THRESHOLD DETAILS



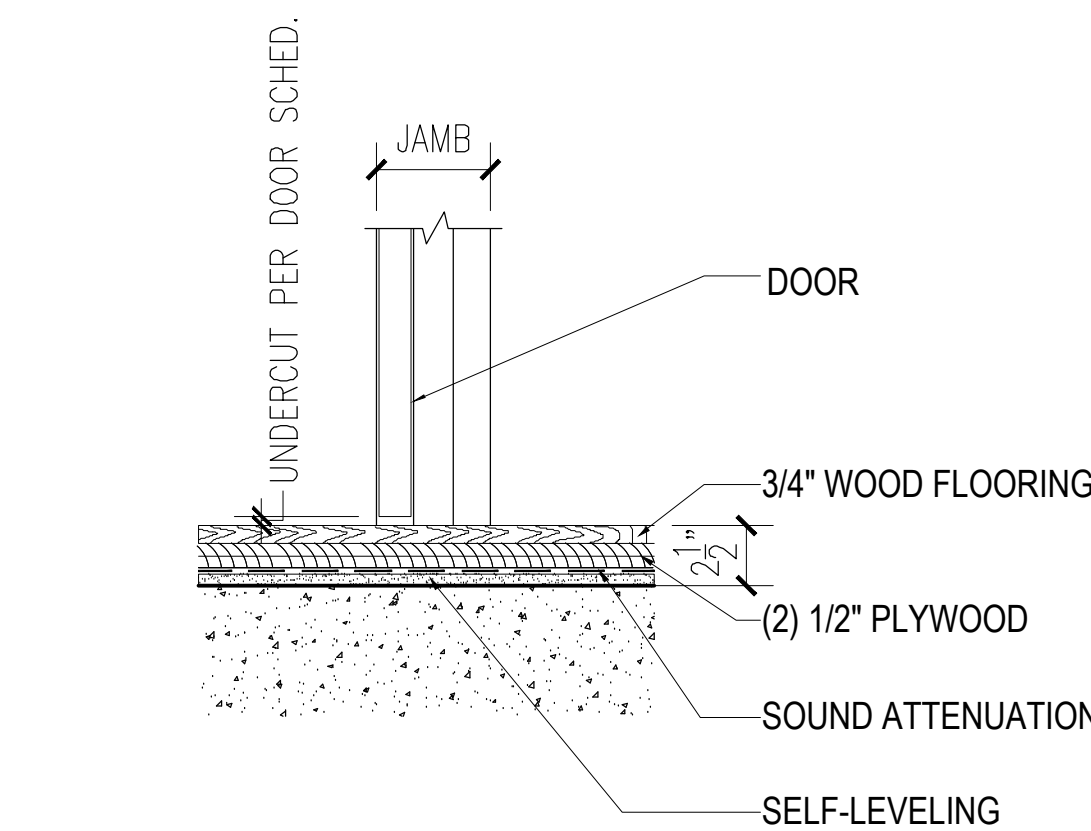
1 APARTMENT ENTRANCE



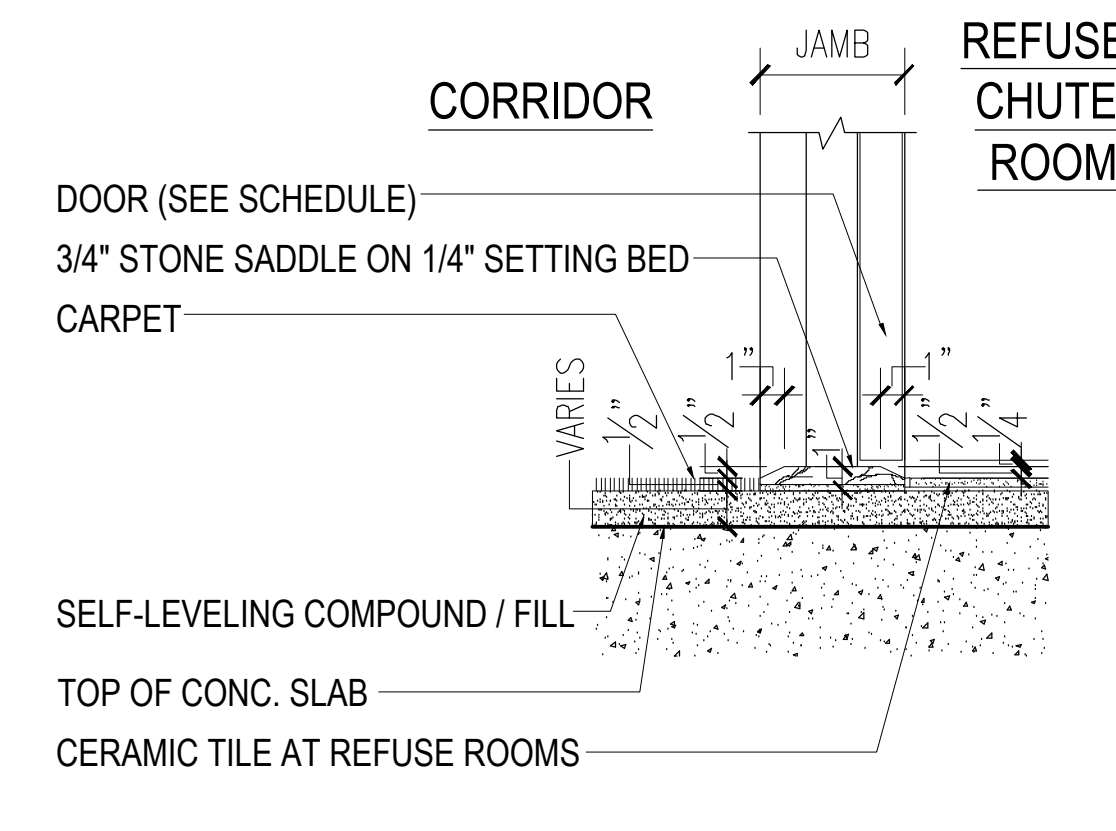
2 BATHROOMS, POWDER ROOMS AND WASHER/DRYER CLOSETS



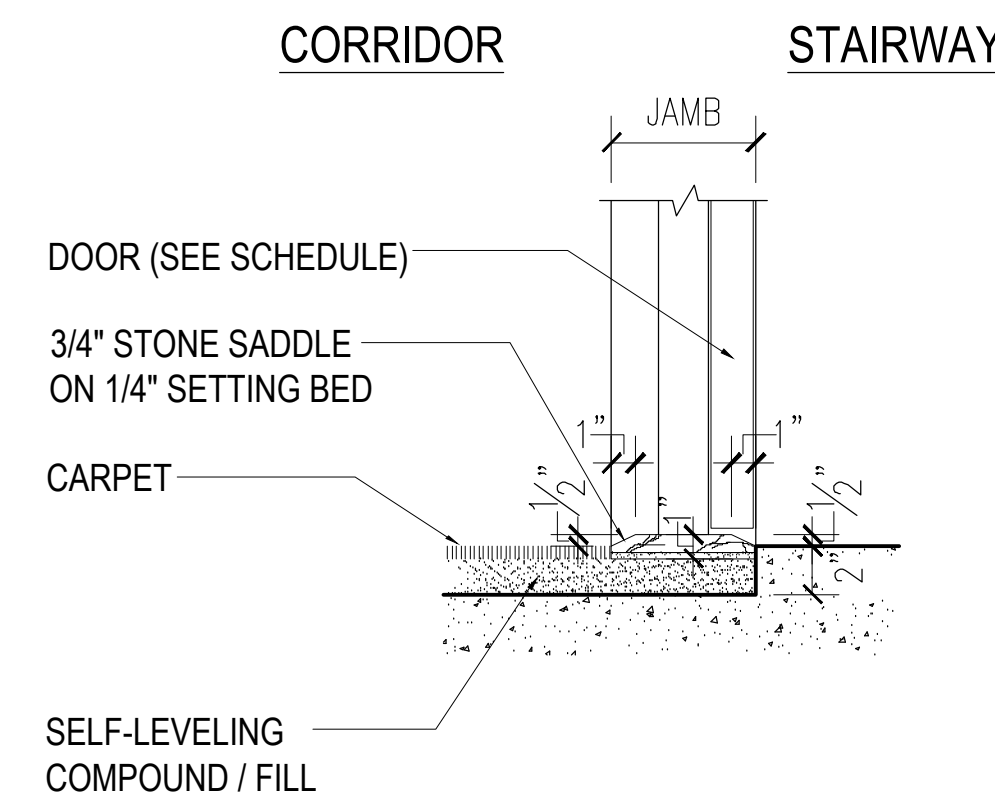
3 BATHROOMS



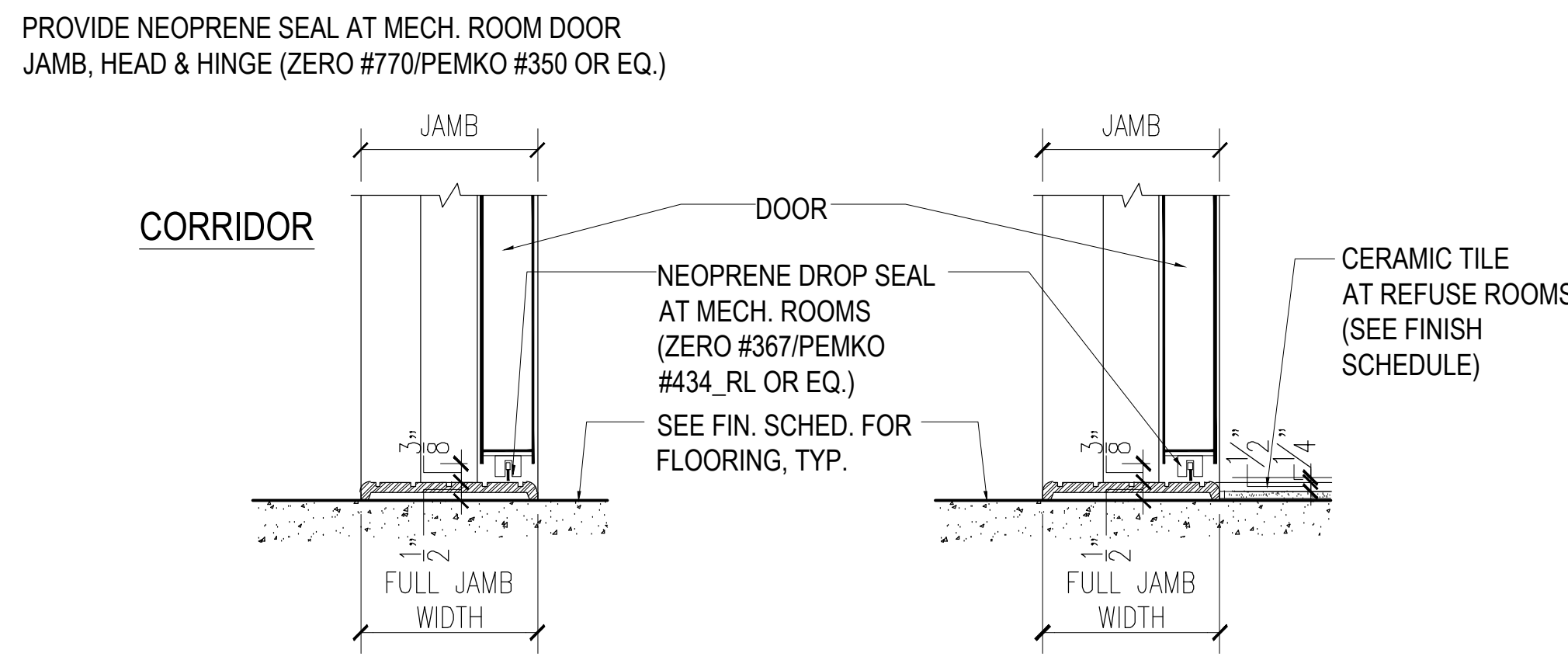
4 AT DOORS WITH NO SADDLE  
(SEE FINISH SCHEDULE FOR FLOOR FINISHES - TYP.)



5 CORRIDOR & REFUSE CHUTE ROOM  
APARTMENT LEVELS

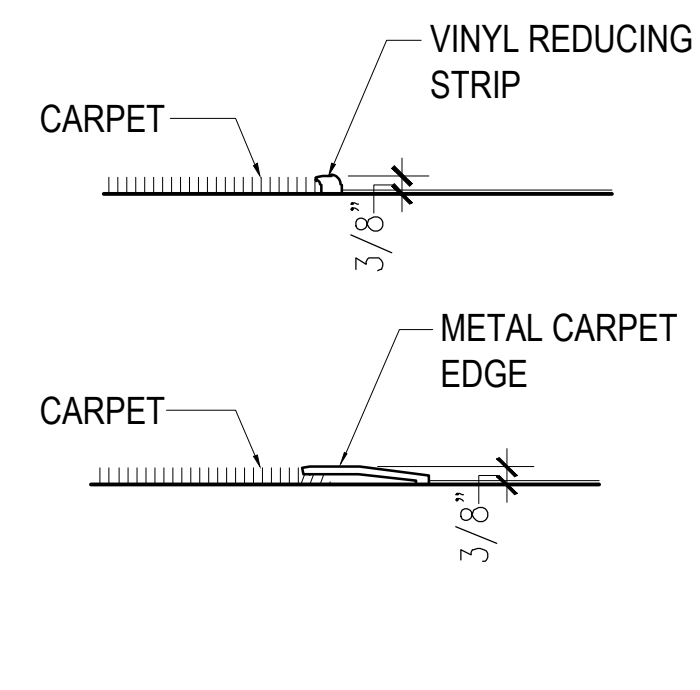


6 STAIRWAY / CORRIDOR  
APARTMENT FLOORS

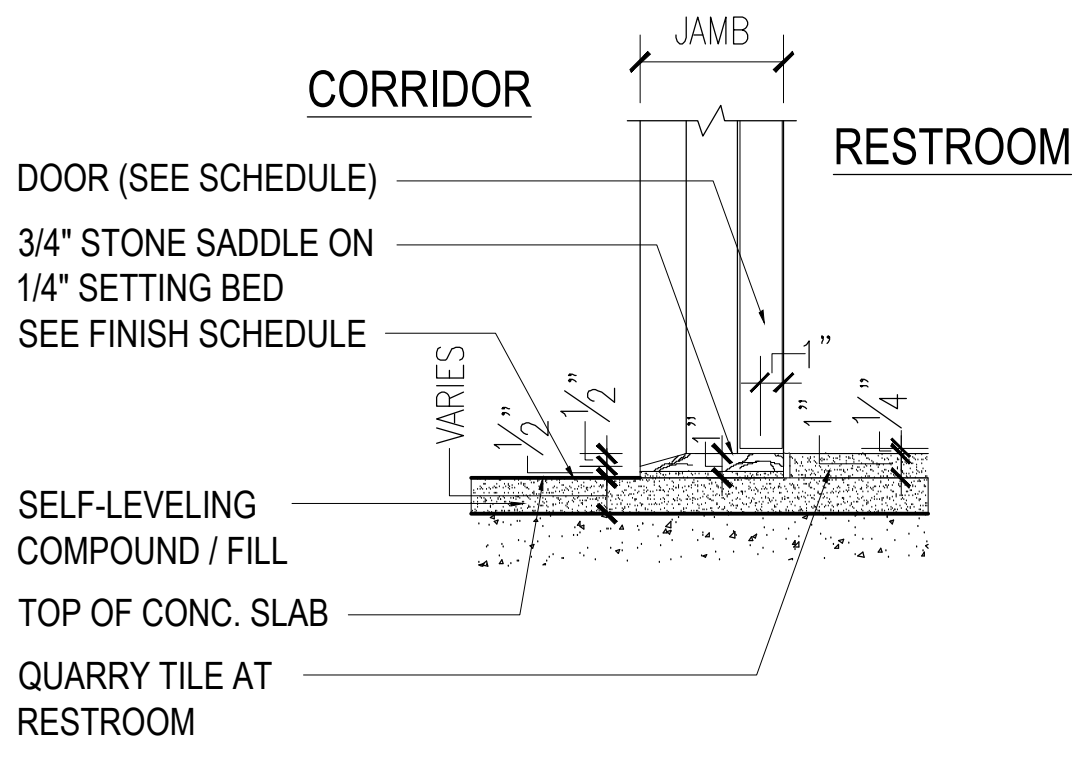


7 MECHANICAL ROOMS & STAFF ROOMS, U.O.N.  
BACK OF HOUSE AREAS

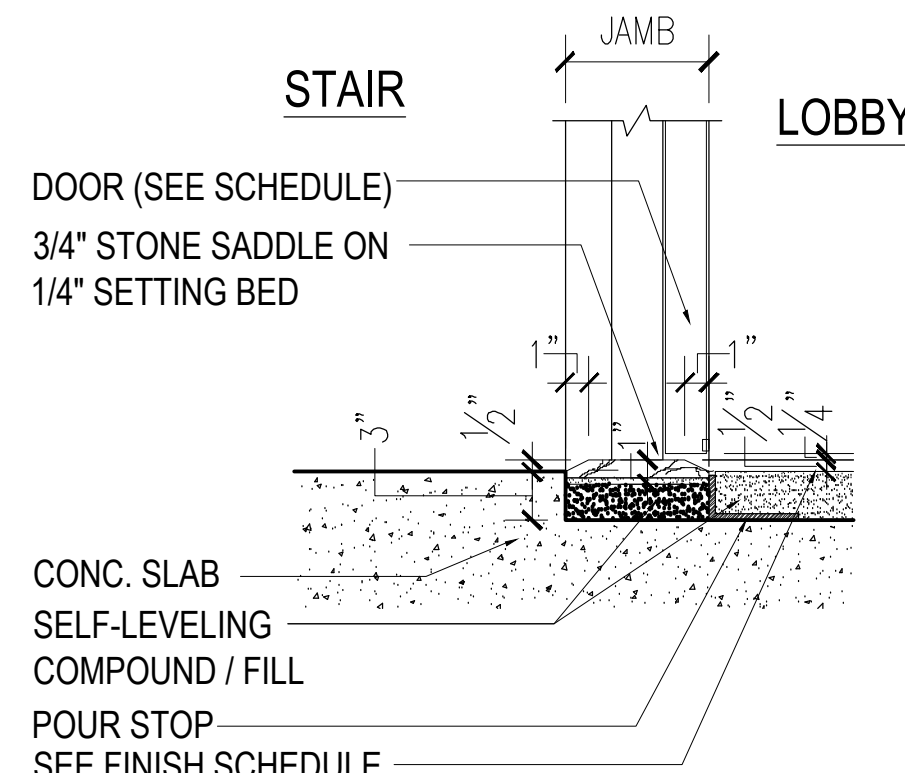
7A MECHANICAL ROOMS & STAFF ROOMS, U.O.N.  
BACK OF HOUSE AREAS



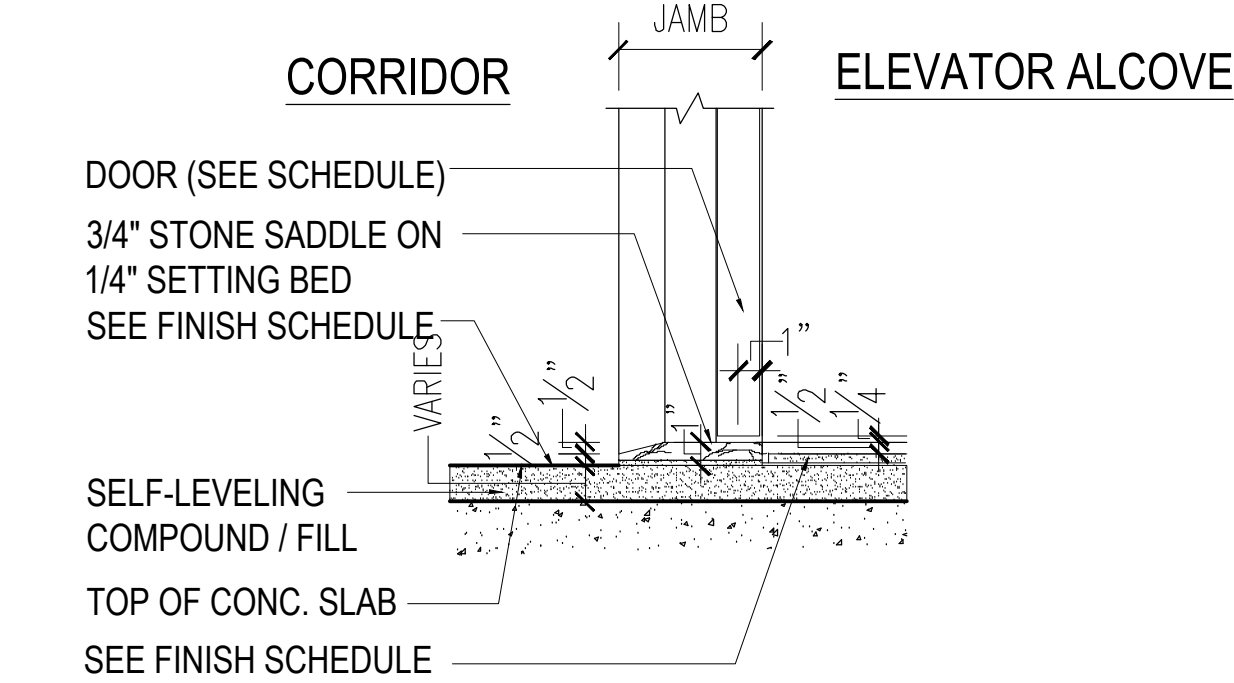
8 REDUCING STRIP



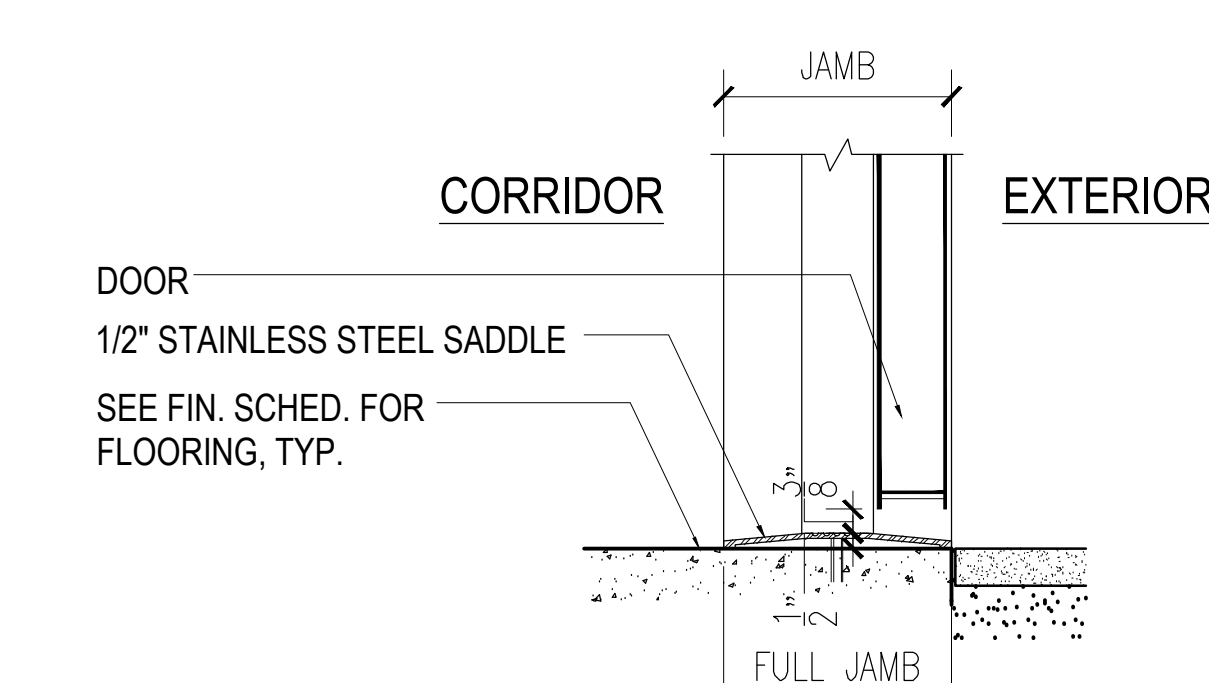
9 CORRIDOR @ GROUND FLOOR RESTROOM



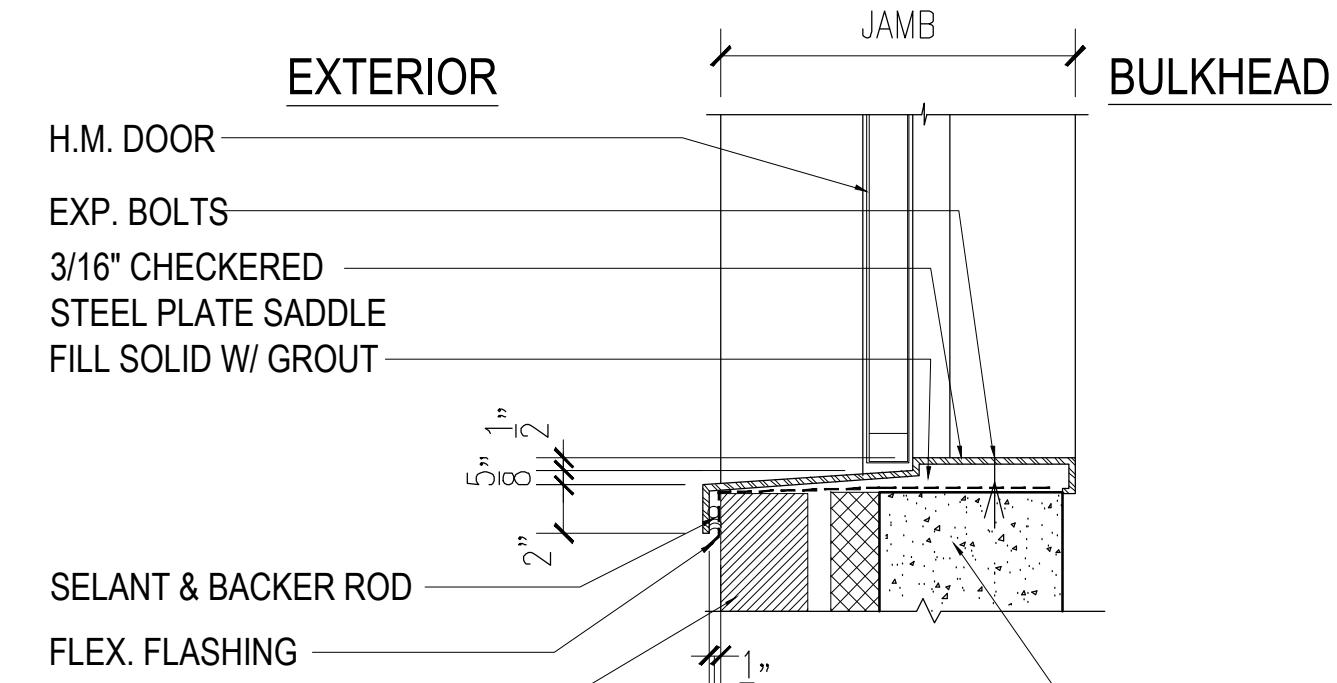
10 STAIR TO LOBBY



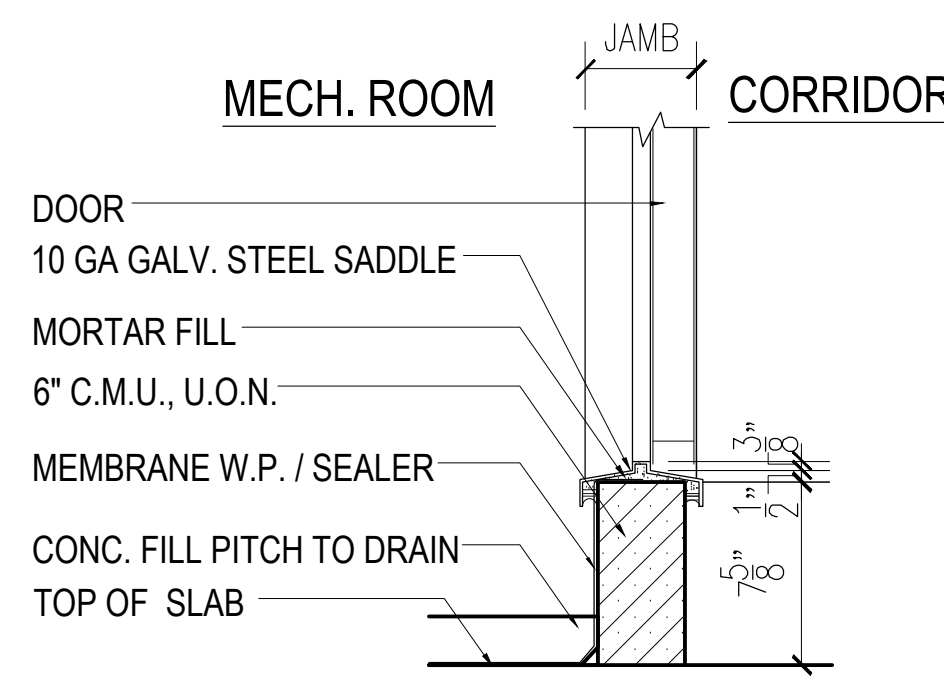
11 CORRIDOR & GROUND FLOOR LOBBY



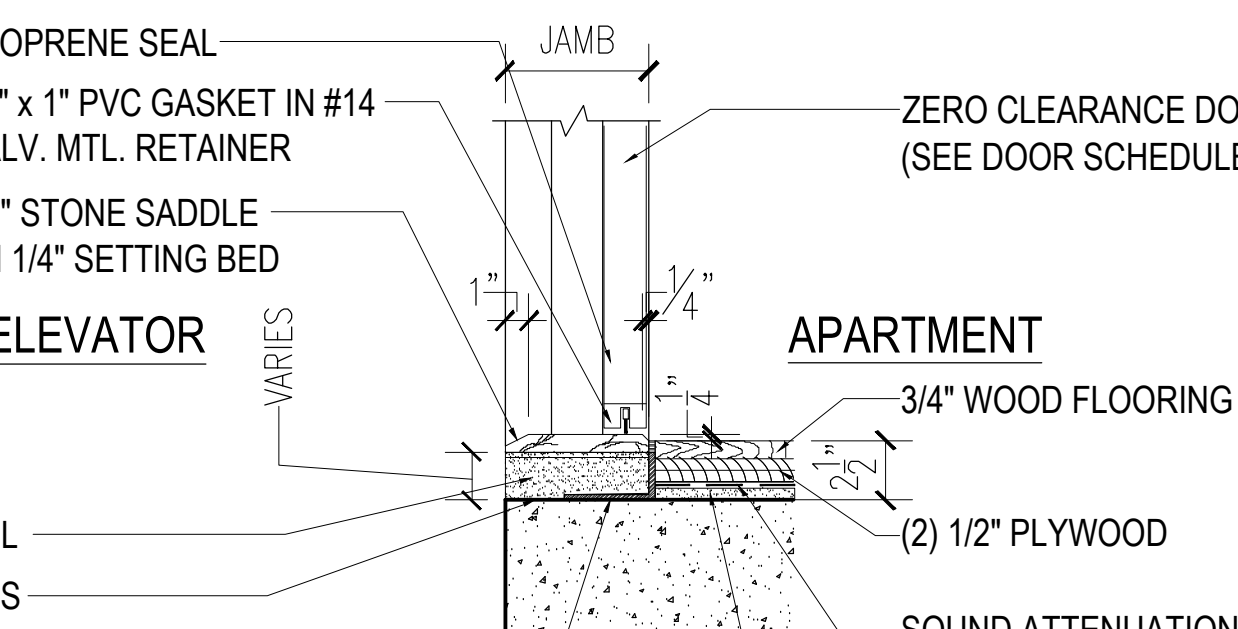
12 CORRIDOR & GROUND FLOOR EXTERIOR



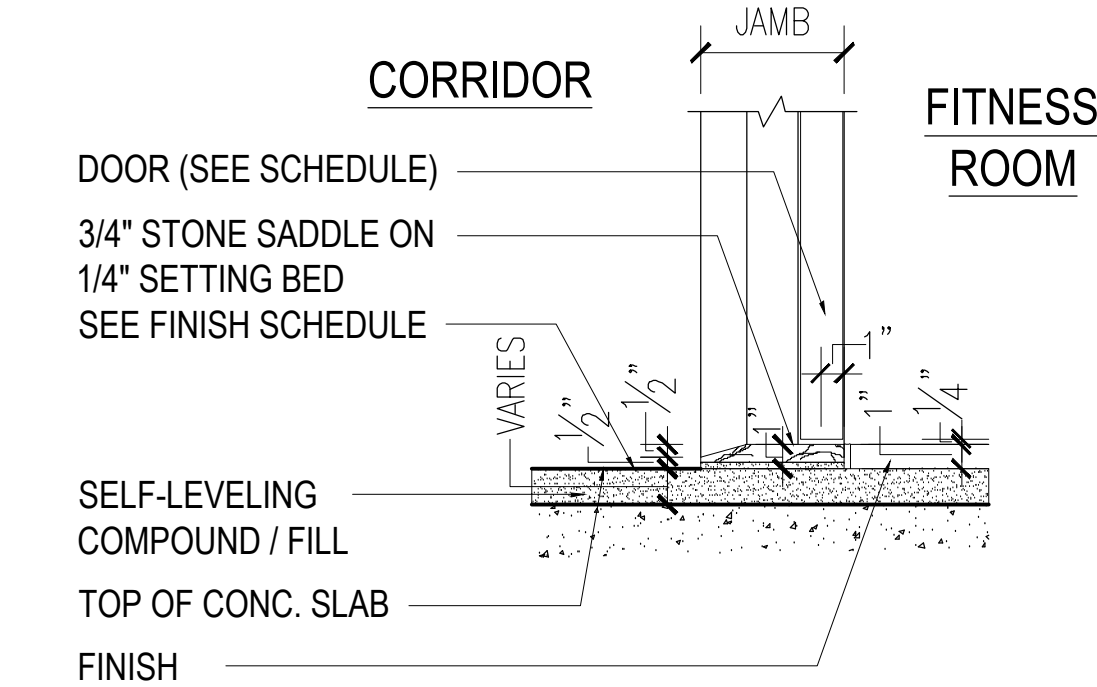
13 STEEL SADDLE AT ROOF BULKHEAD DOORS



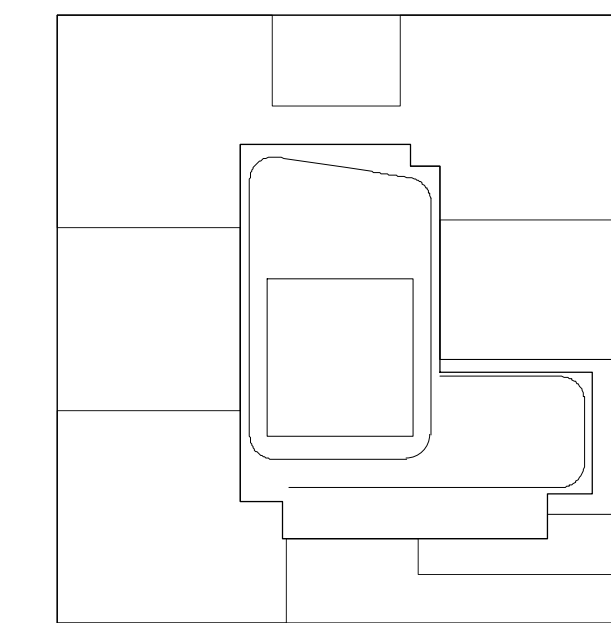
14 MECHANICAL ROOMS W/ CURBS  
SEE PLANS FOR LOCATIONS



15 PH ELEVATOR ENTRANCE



16 CORRIDOR & FITNESS ROOM @ CELLAR



NOTES:

NOT FOR CONSTRUCTION

10/08/2017	ISSUED FOR DOB
02/10/2017	90% CD SET, ADD #3
04/02/2017	60% CD SET
02/02/2017	90% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/02/2017	ISSUED FOR DOB
11/07/2016	FACEBOOK SET
11/01/2016	100% CD FOR MECHANICAL SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
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Architect:  
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ARCHITECTS  
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Consultant:  
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140 Broadway 25th Floor  
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DOB STAMPS & SIGNATURES:

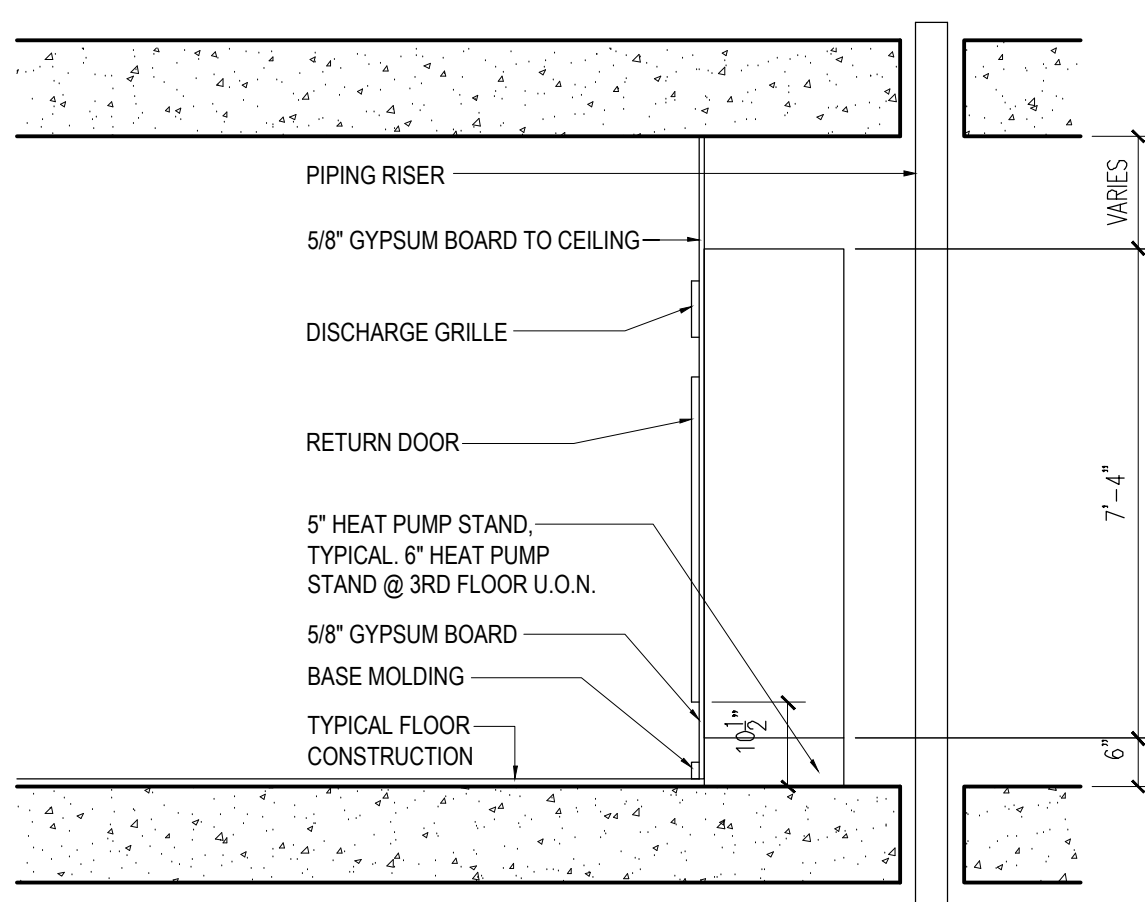
DWG TITLE:  
DOOR DETAILS

SEAL & SIGNATURE: PROJECT # 15412 SCALE: 1:12" = 1'-0" DWG NO. A-007.00 DATE: 10/08/2017

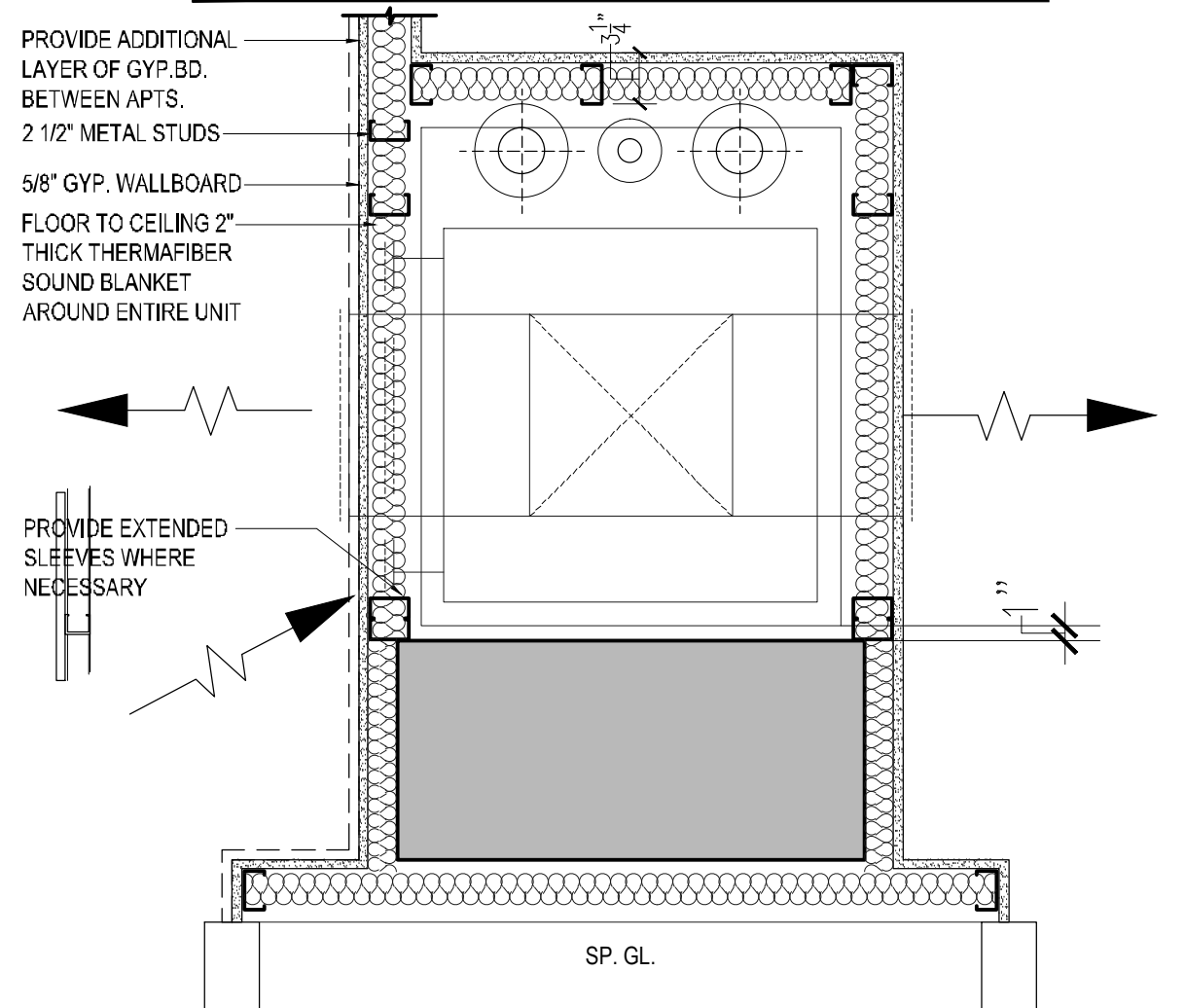








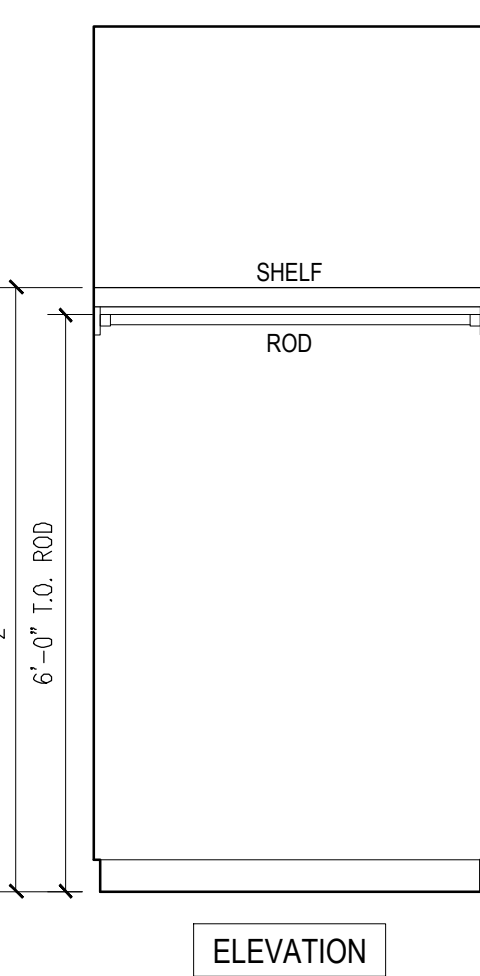
VERTICAL HEAT PUMP SECTION



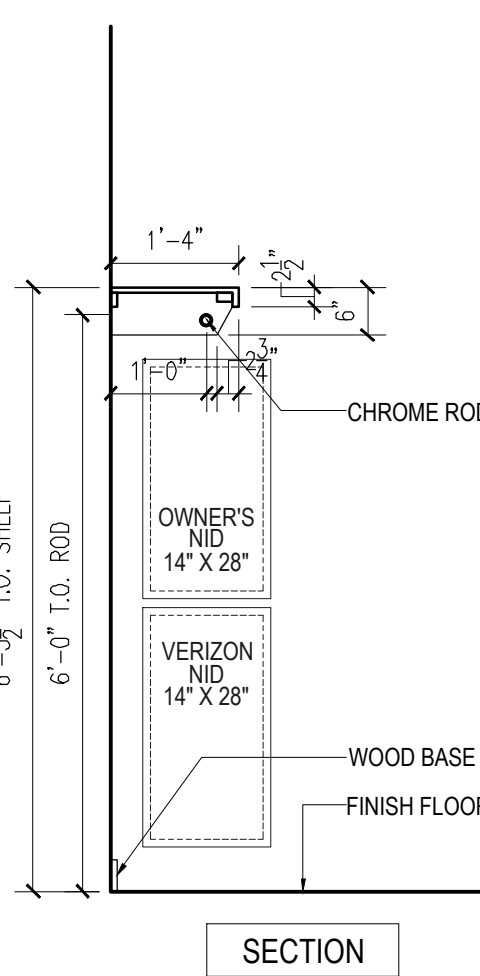
NOTE: DO NOT ALLOW UNIT TO COME IN CONTACT WITH STUDS TO MINIMIZE NOISE VIBRATIONS. UNIT TO BE RAISED TO ALLOW BASE MOLDING TO CONTINUE ALONG PERIMETER OF UNIT. (TO AVOID INTERFERING WITH ACCESS PANELS/OVERLAYS) ALL UNITS TO PRODUCE MAXIMUM NC-40 OPERATION. PROVIDE 1 HR. FIRE RATED WALL MEMBRANE - (2) LAYERS 5\"/>

TYPICAL VERTICAL HEAT PUMP ENCLOSURE

SCALE: 1\"/>

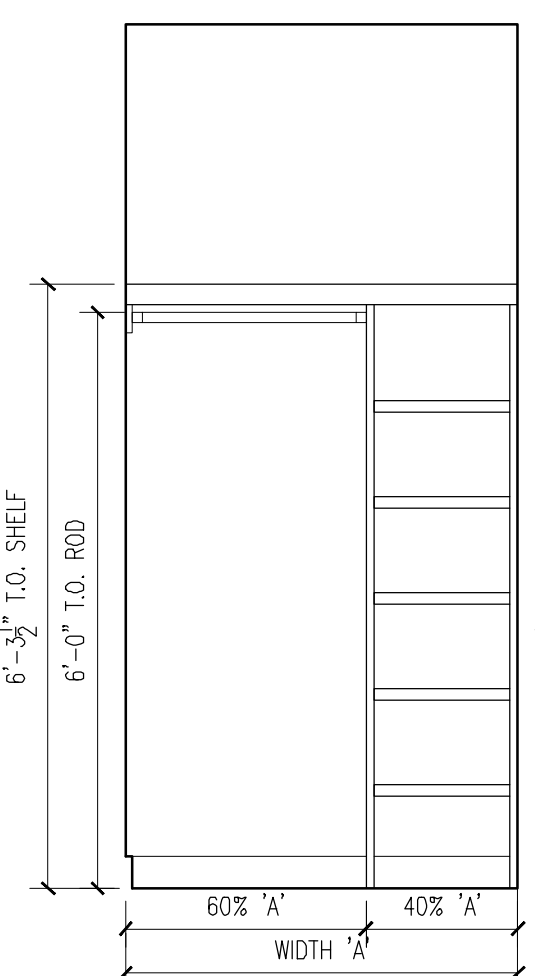


ELEVATION

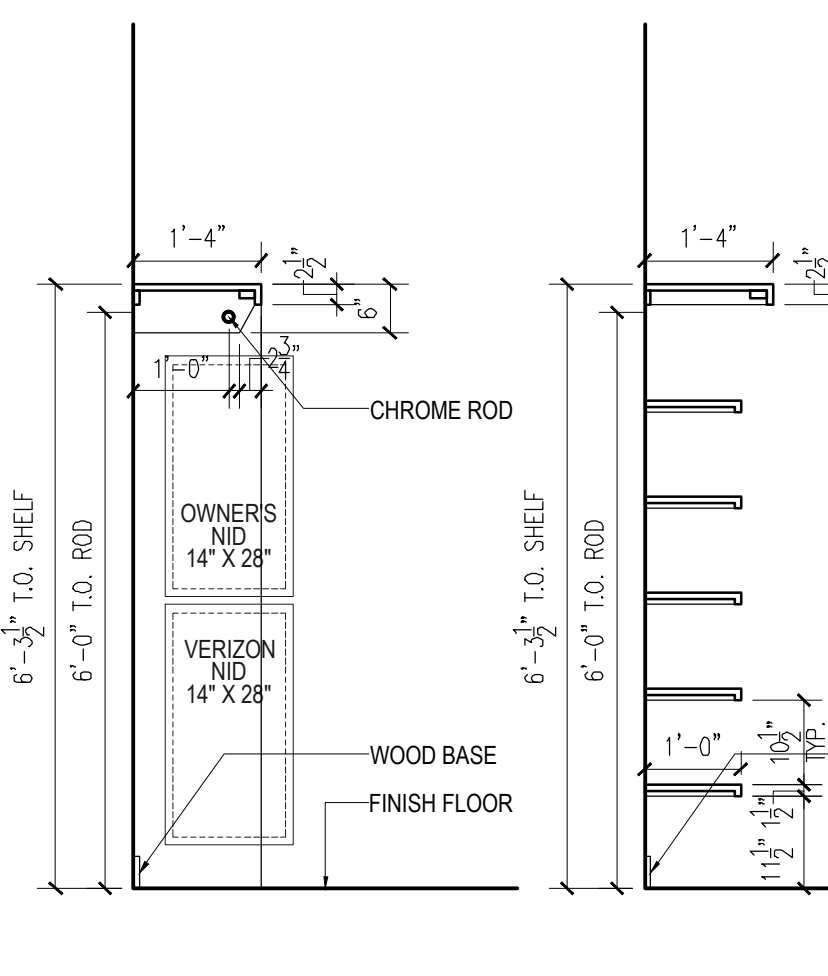


SECTION

CLOTHES CLOSET D

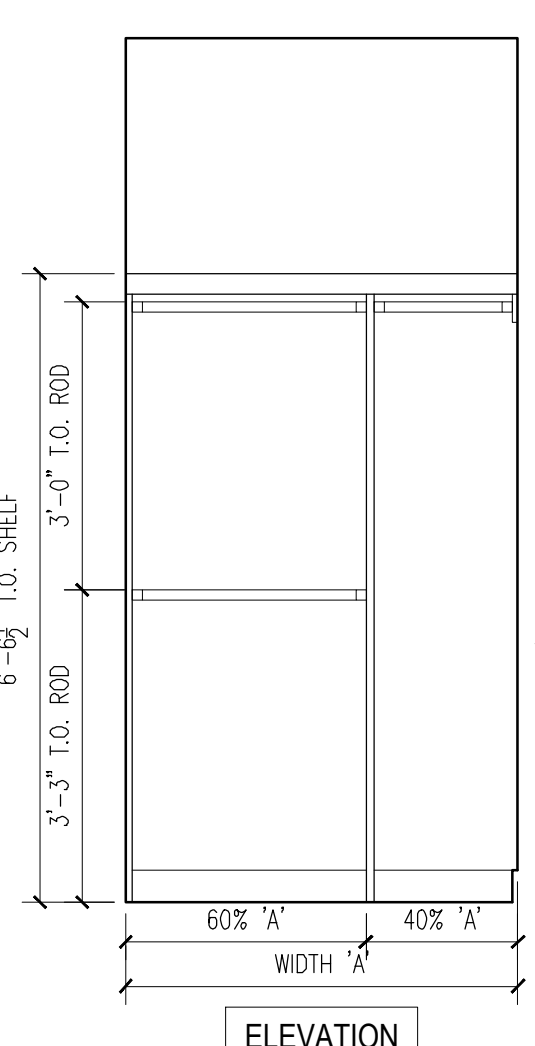


ELEVATION

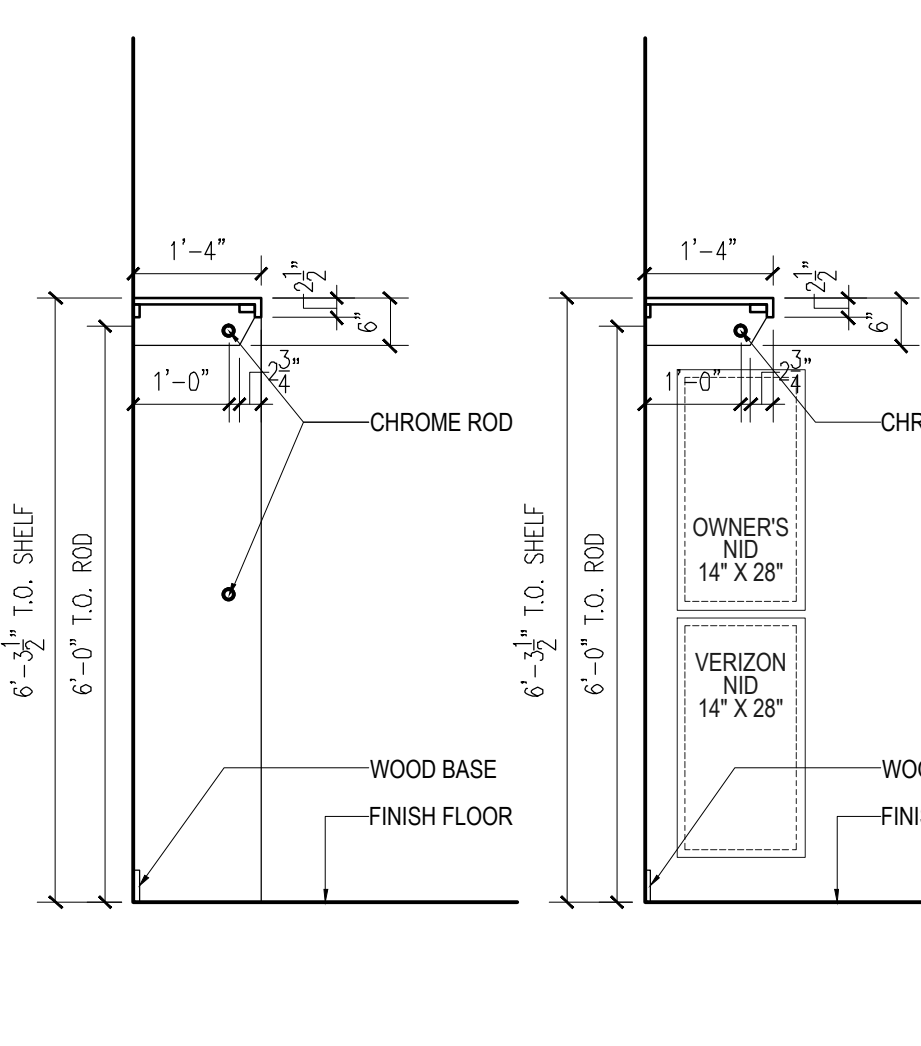


SECTION

CLOTHES CLOSET E

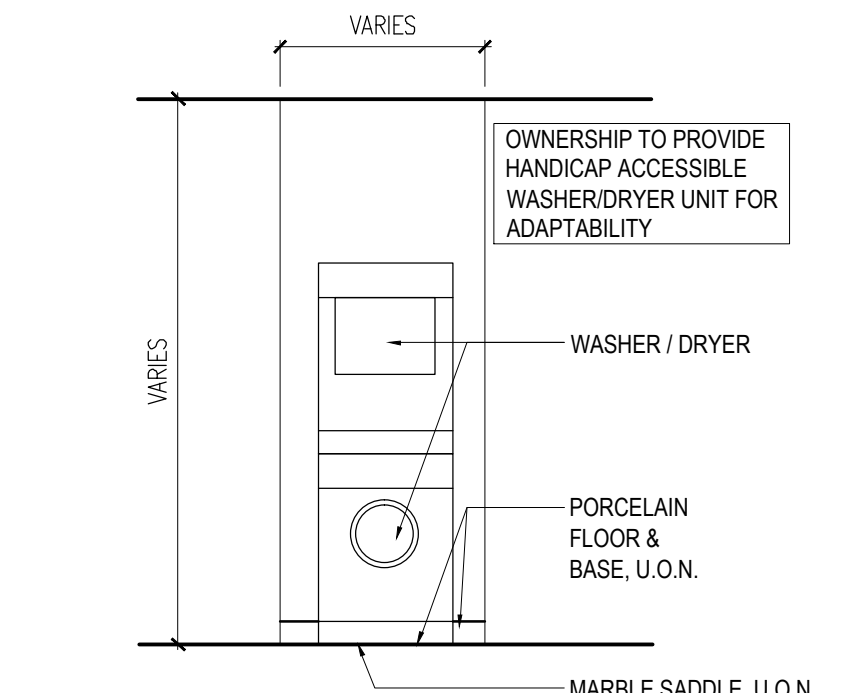


ELEVATION



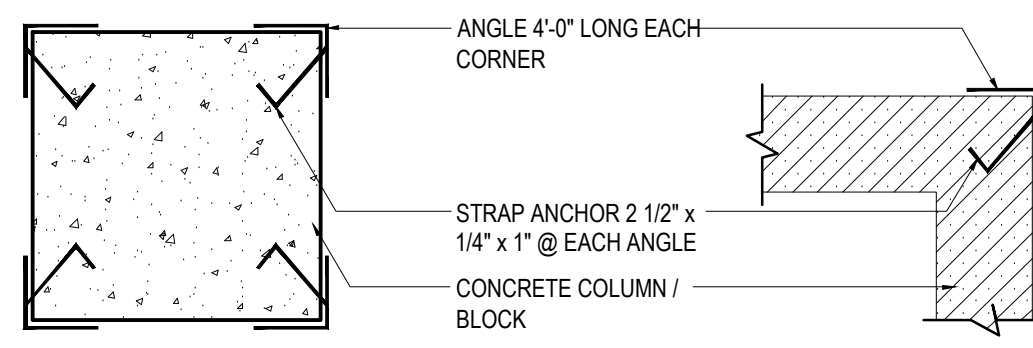
CLOTHES CLOSET F

1. PROVIDE SUPPORT BRACKETS AT CLOSET 4\"/>
- 2. PLACE BRACKETS AT CENTER OF SHELVING.
- 3. DIVIDERS TO UNDERSIDE OF TOP SHELF.
- 4. ALL OTHER SHELVES AS NOTED ON DRAWING.
- 5. IN LINEN CLOSET TYPE LAYOUT WHERE CLOSET IS DEEPER THAN 18\"/>
- 6. WHERE ALINEN CLOSET IS INDICATED AS A PORTION OF A CLOSET. THE LINEN CLOSET SHOULD CONSIST OF 1/3 OF THE CLOSET. SEE PLANS FOR LOCATIONS, U.O.N.
- 7. ALL SHELVES TO BE CLEAR PAINTED WOOD.
- 8. CLOSET TO BE DIVIDED EQUALLY WHERE INDICATED AS DIVIDED, U.O.N.
- 9. ALL RODS TO BE POLISHED CHROME. SEE 6 DRAWINGS/SPECIFICATIONS.



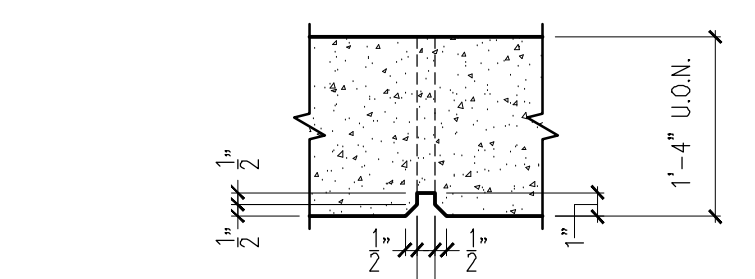
ELEVATION OF WASHER/DRYER CLOSET

SCALE: N.T.S.



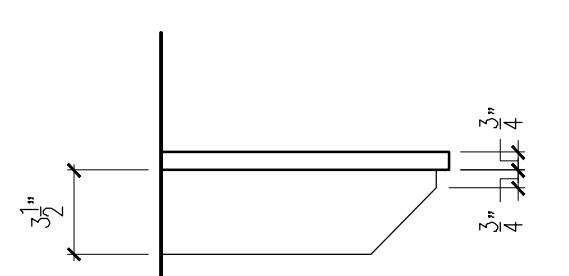
TYP. CORNER GUARD DETAIL @ ALL CONCRETE CORNERS

SCALE: N.T.S.



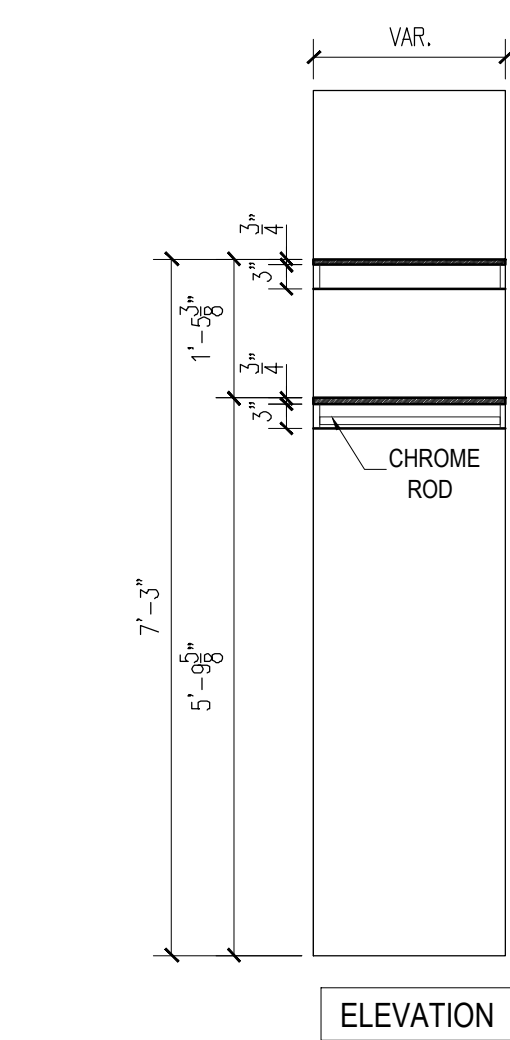
CONC. CONTROL JOINT @ PARAPET

SCALE: N.T.S.



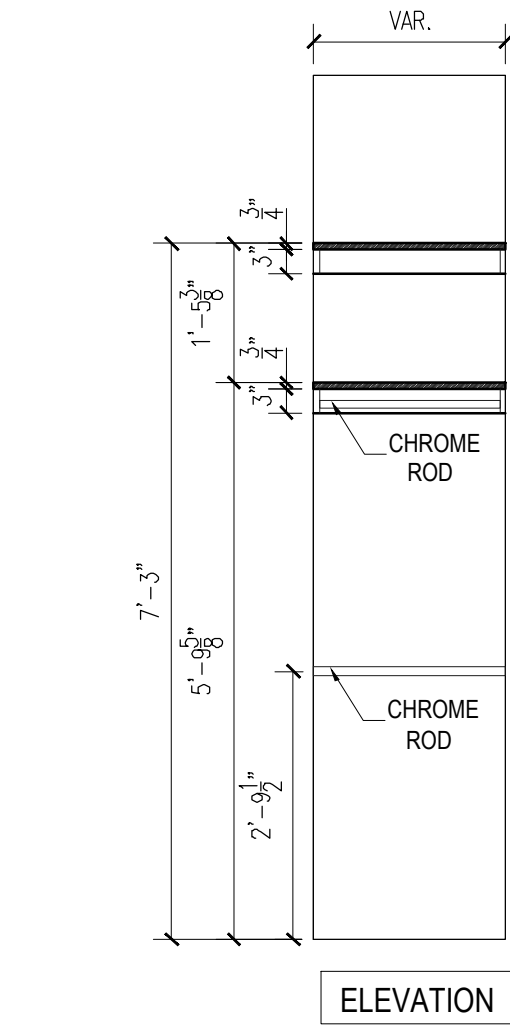
NOTES:  
- SAND ALL CLEFTS AND SHELF EDGES SMOOTH.  
- CALL ALL MATERIALS TO WALL.

TYPICAL SHELF DETAIL



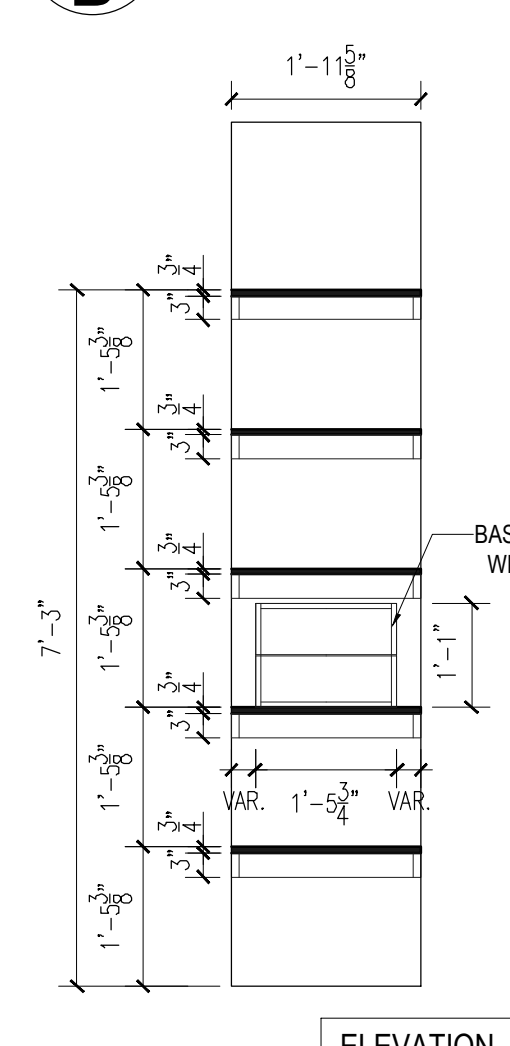
ELEVATION

CLOTHES CLOSET A



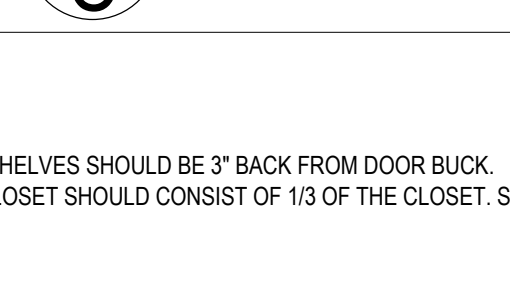
ELEVATION

CLOTHES CLOSET B



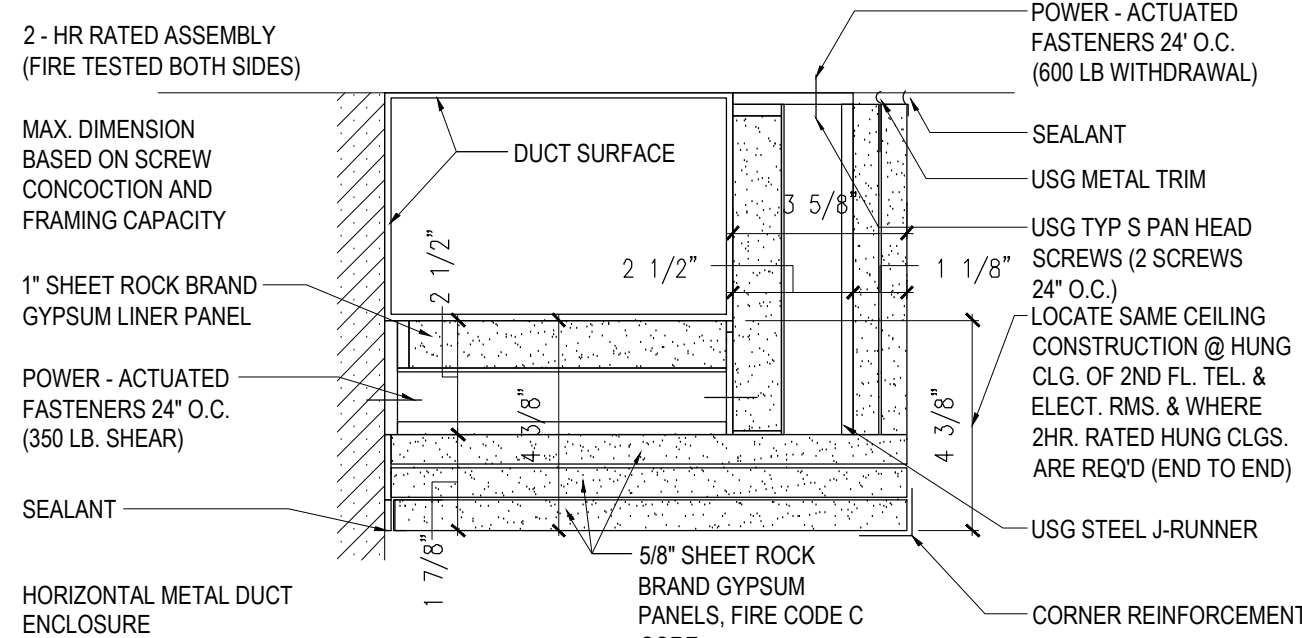
ELEVATION

CLOTHES CLOSET C



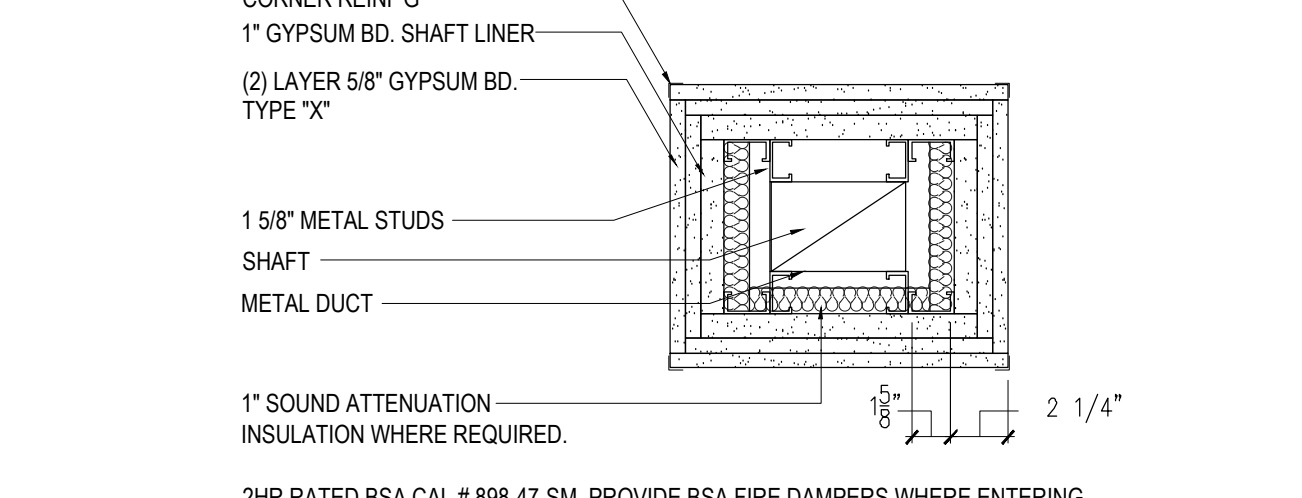
ELEVATION

CLOTHES CLOSET C



2 HR FIRE RATING TYP. DUCT FIREPROOFING-DETAIL @ HORIZONTAL OFFSETS

SCALE: N.T.S.

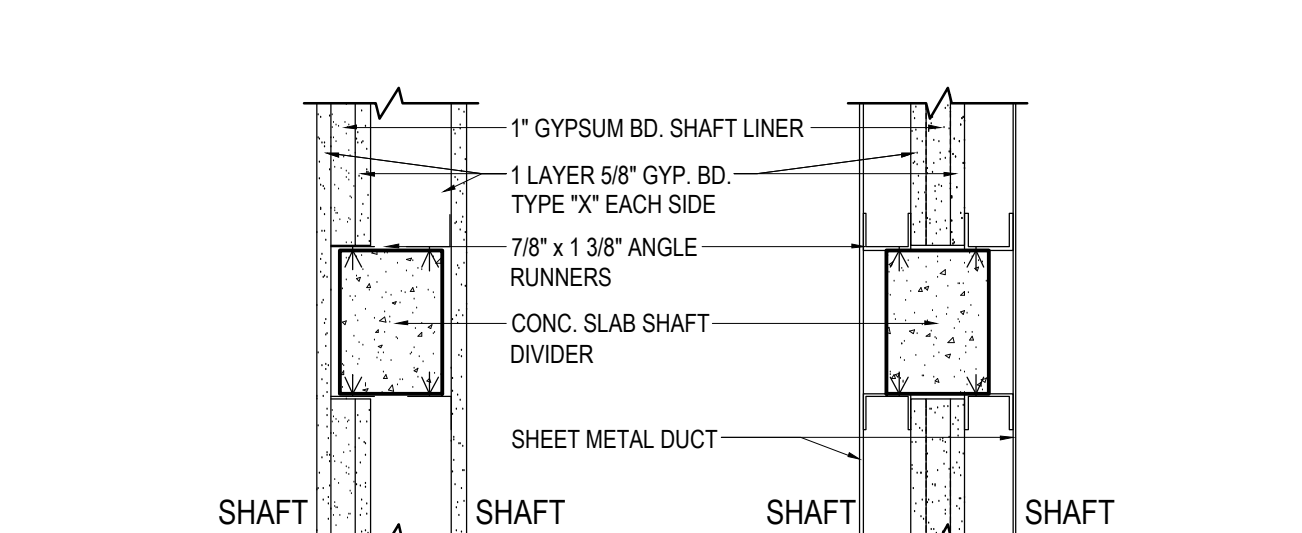


2 HR FIRE RATING TYP. FREESTANDING DUCT FIREPROOFING-DETAIL @ HORIZONTAL OFFSETS

SCALE: N.T.S.

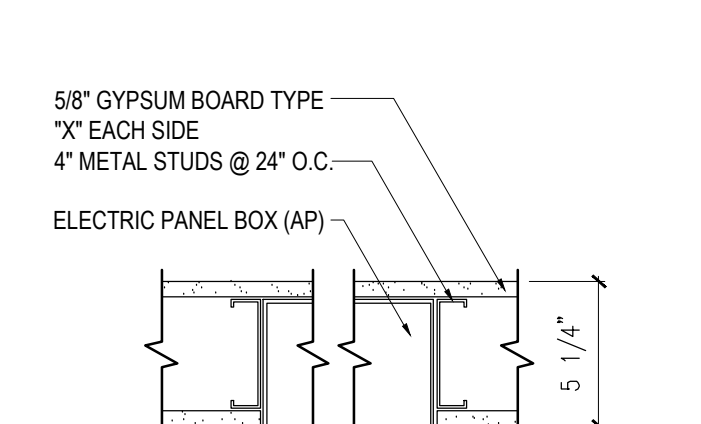
HORIZONTAL SHAFT - WALL ASSEMBLIES USE CAVITY SHAFT - WALLS INSTALLED HORIZONTALLY ECONOMICAL CONSTRUCTION FOR FIRE - RESISTIVE DUCT PROTECTION, CORRIDOR AND OTHER CEILINGS AND STAIRWAY SOFFITS WITH 1\"/>

NOTE: PROVIDE B.S.A. FIRE DAMPERS WHERE ENTERING SHAFTS OR THROUGH RATED CONSTRUCTION.



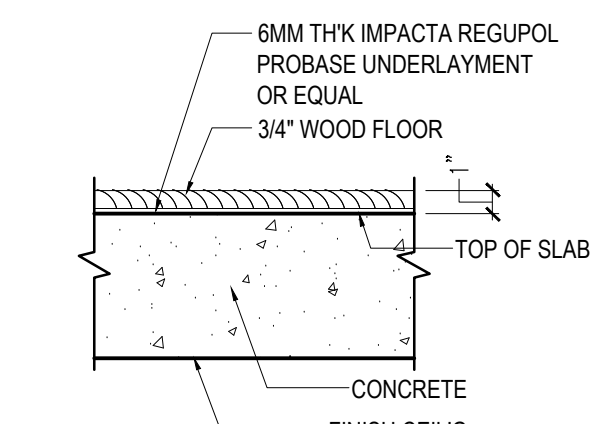
DETAIL @ BACK TO BACK SHEET METAL AND SHEETROCK SHAFT

SCALE: N.T.S.



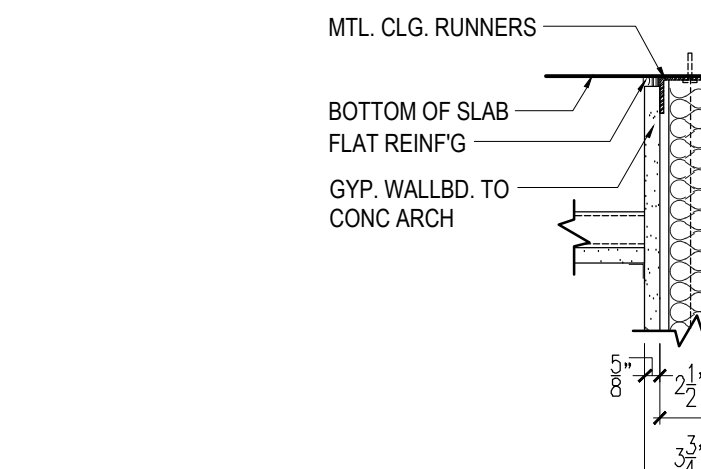
RECESSED ELECTRICAL PANEL BOX

SCALE: N.T.S. TO BE ALSO USED FOR COMMUNICATION CABLE BOXES



APT FLOOR DETAIL FOR I.N.R.

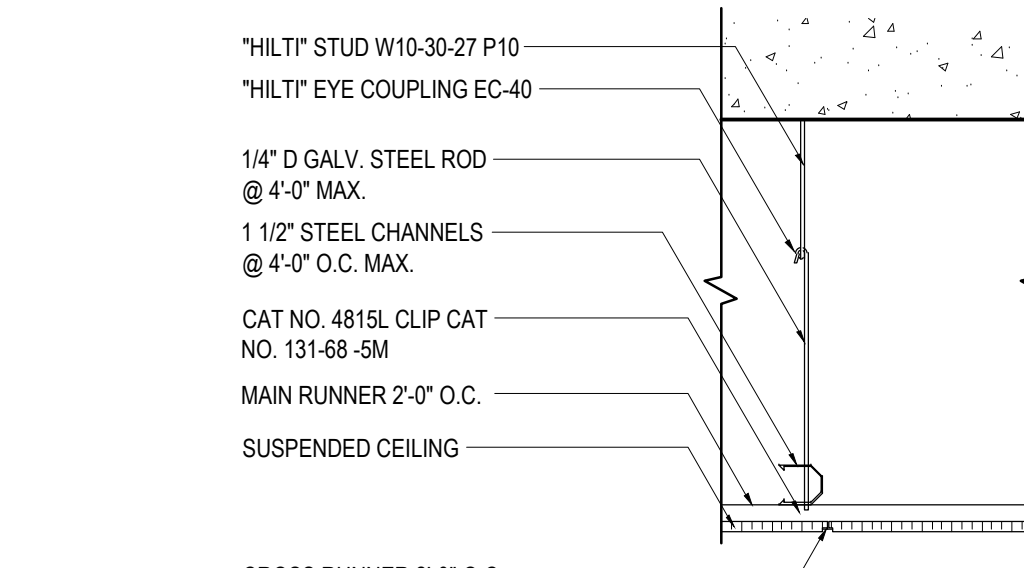
(IMPACT NOISE REDUCTION) 1\"/>



HUNG CEILING DETAIL @ 3 3/4\"/>

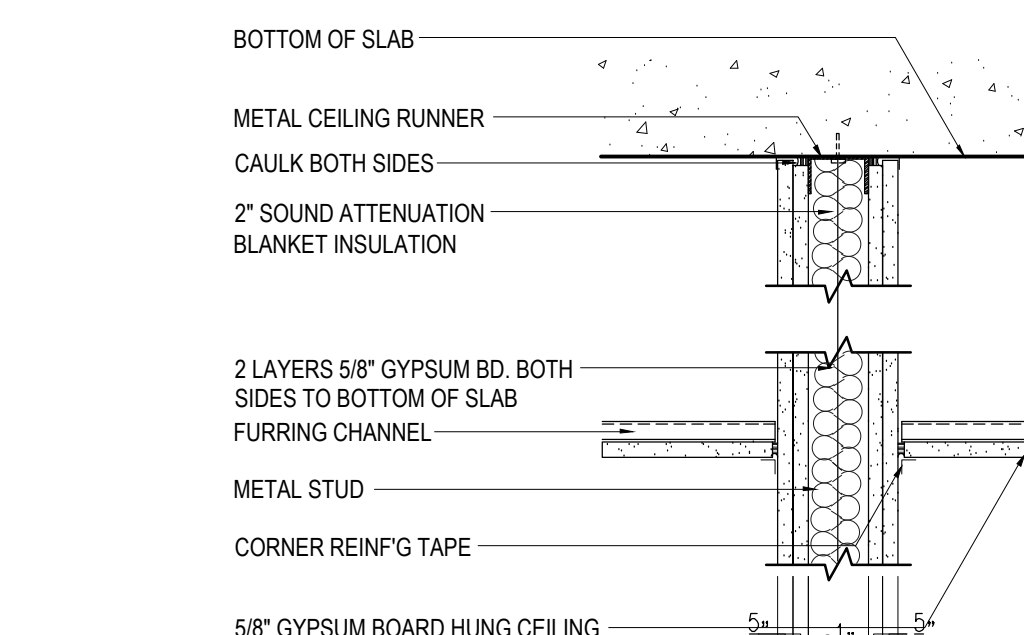
PARTITION WITHIN APARTMENTS

SCALE: N.T.S. SEE PARTITION SCHEDULE FOR FURTHER DETAIL



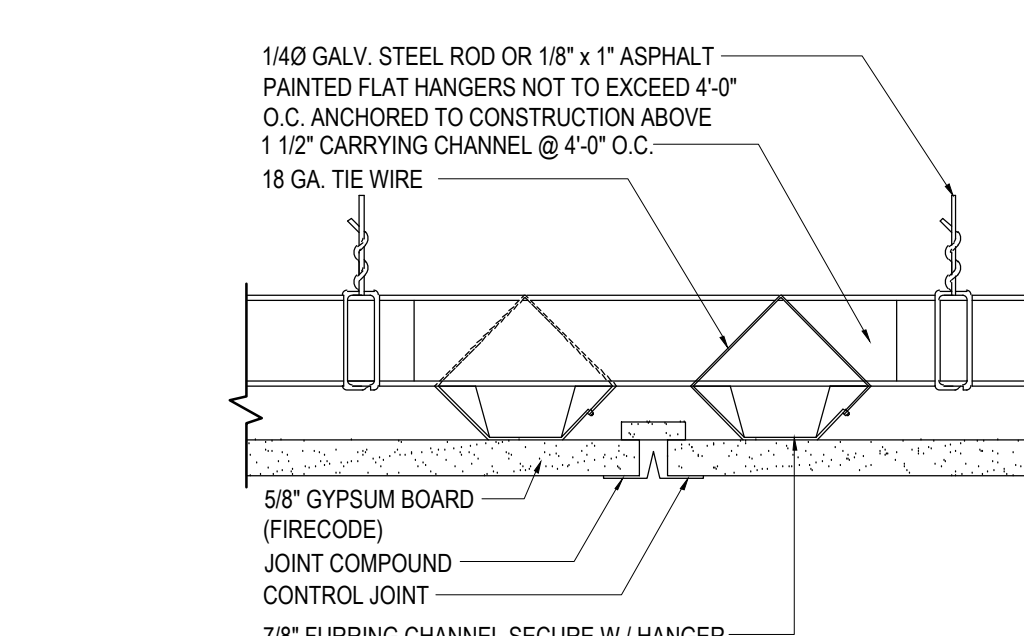
TYPICAL ACC. TILE HUNG CEILING DETAIL

SCALE: N.T.S.



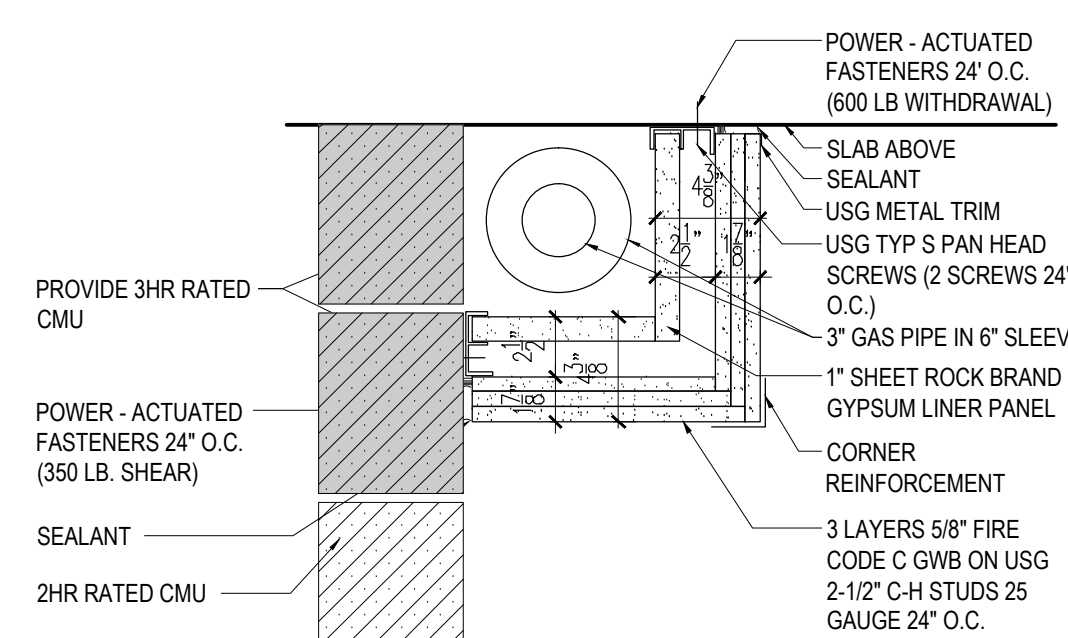
HUNG CEILING @ PARTITION BETWEEN APTS. & BETWEEN APT. & CORRIDOR

SCALE: N.T.S. SEE PARTITION SCHEDULE FOR FURTHER DETAIL



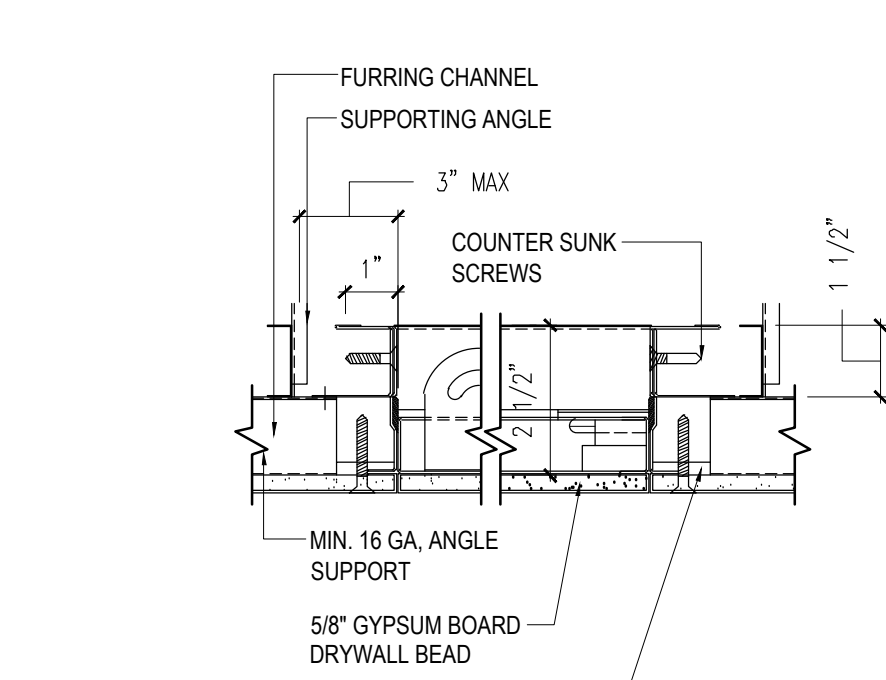
TYPICAL GYP. BD. HUNG CEILING DETAIL

SCALE: N.T.S.



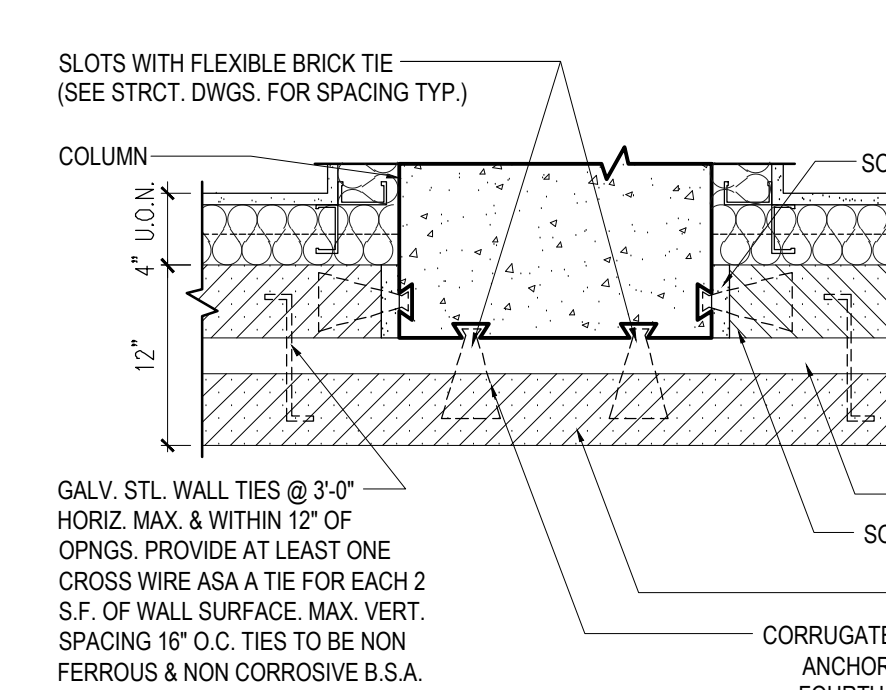
UL DES U415 SYSTEM G 3HR FIRE RATING @ HORIZ. OFFSETS

SCALE: N.T.S.



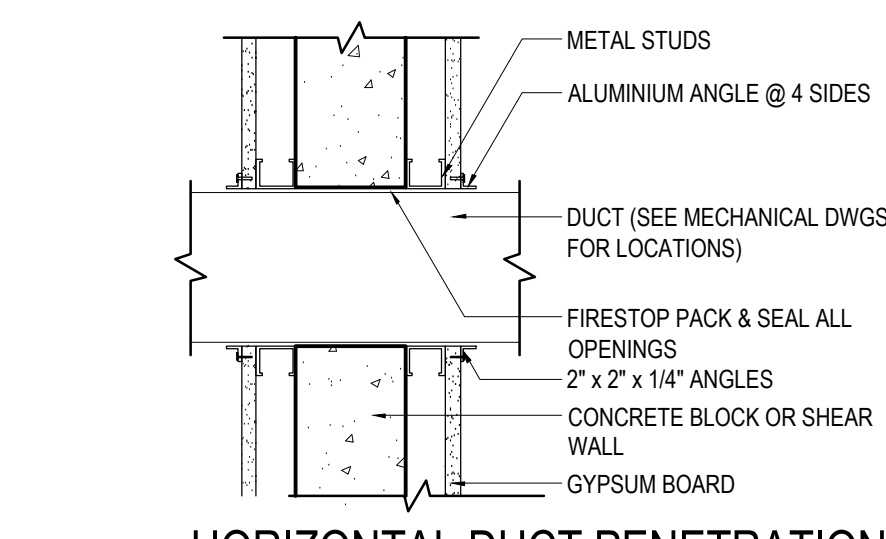
SECT. THRU CEIL'G ACCESS DOOR

SCALE: N.T.S.



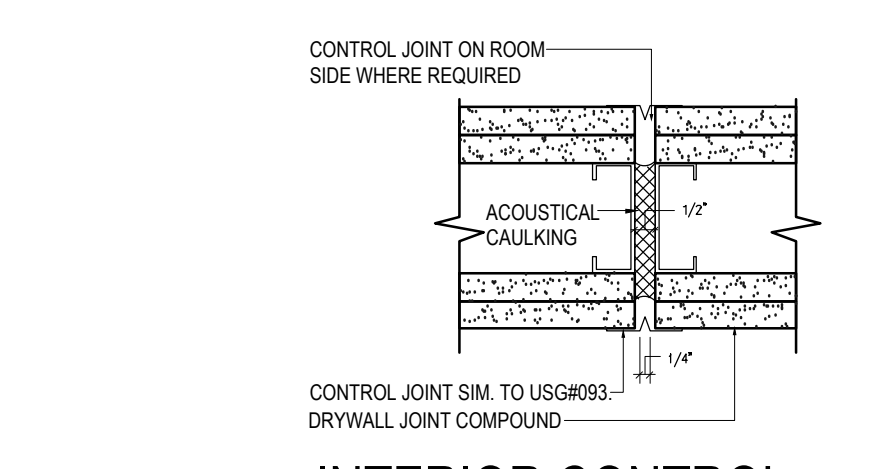
TYP. ANCHOR DETAIL

SCALE: N.T.S. SEE EXTERIOR DETAILS & SECTIONS FOR PANELIZED DETAILS



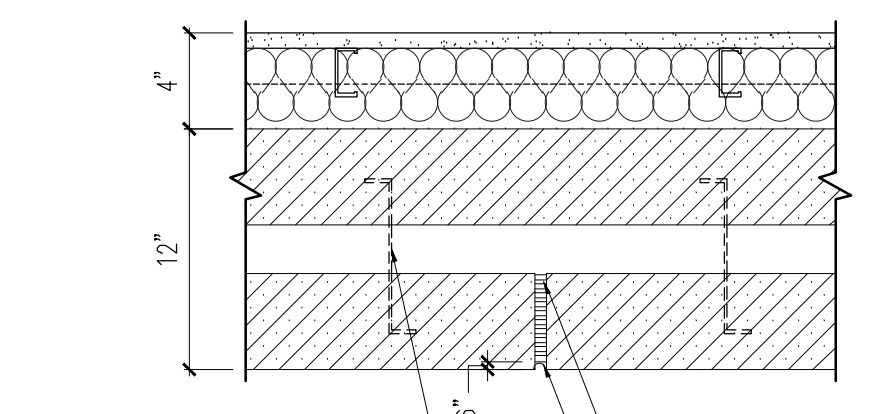
HORIZONTAL DUCT PENETRATIONS

SCALE: N.T.S.



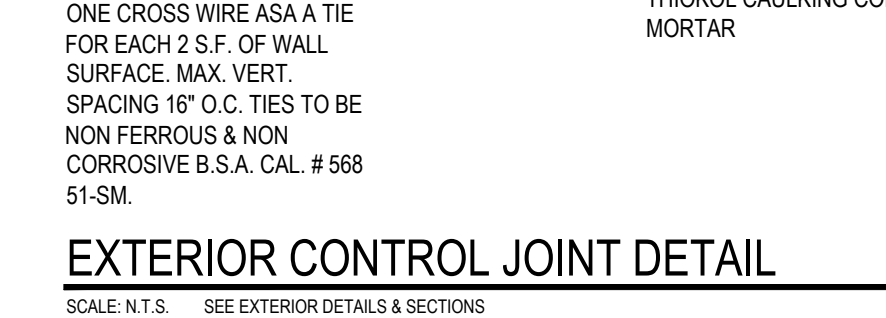
INTERIOR CONTROL JOINT DETAIL

SCALE: 3\"/>



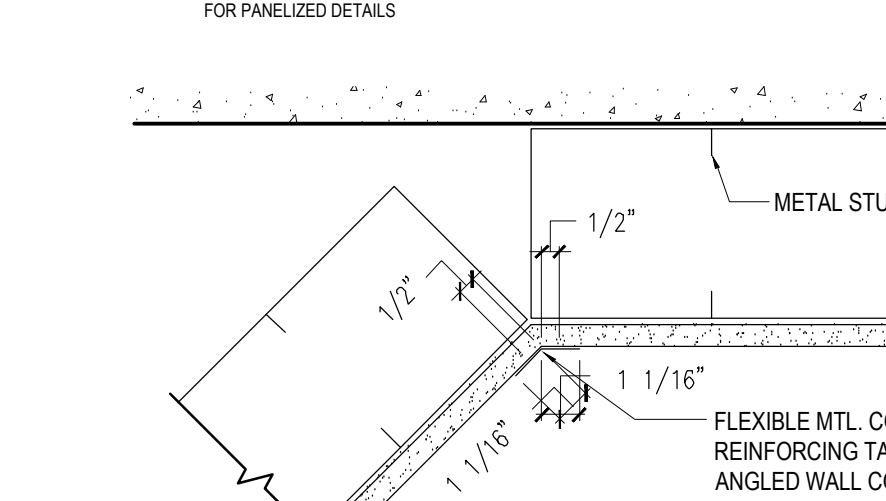
TYPICAL DETAL @ SPAYLED GYPSUM BOARD ANGLES

SCALE: NOT TO SCALE



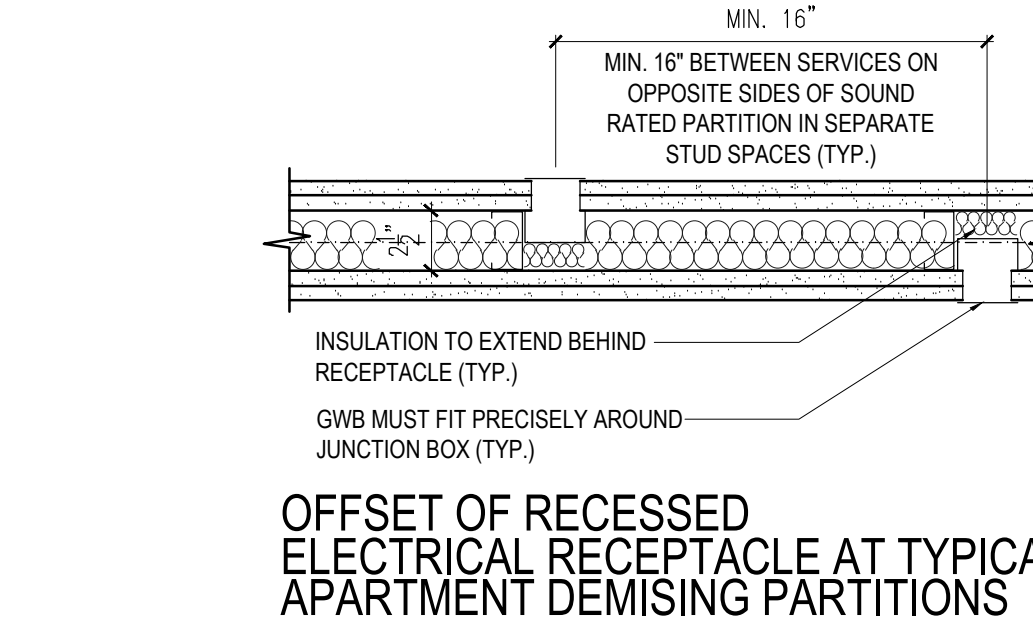
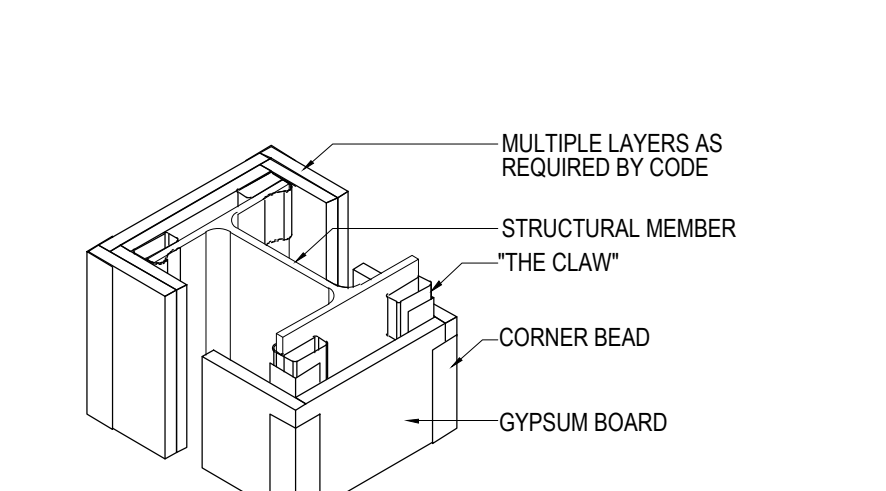
EXTERIOR CONTROL JOINT DETAIL

SCALE: N.T.S. SEE EXTERIOR DETAILS & SECTIONS FOR PANELIZED DETAILS



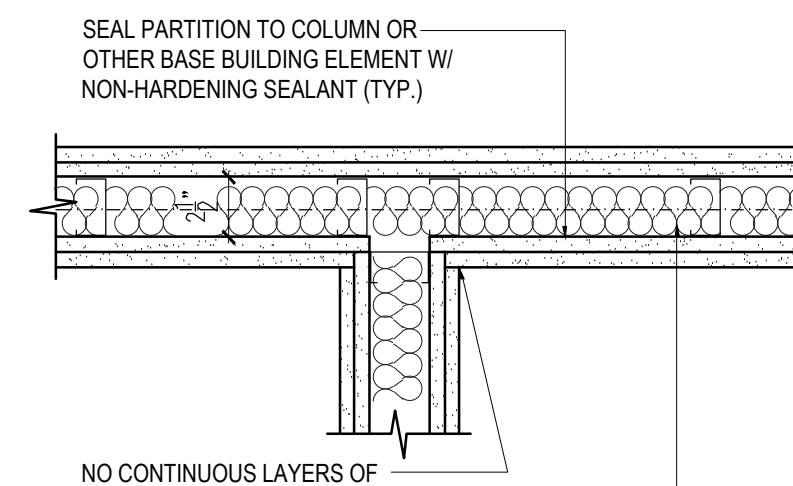
TYPICAL DETAL @ SPAYLED GYPSUM BOARD ANGLES

SCALE: NOT TO SCALE



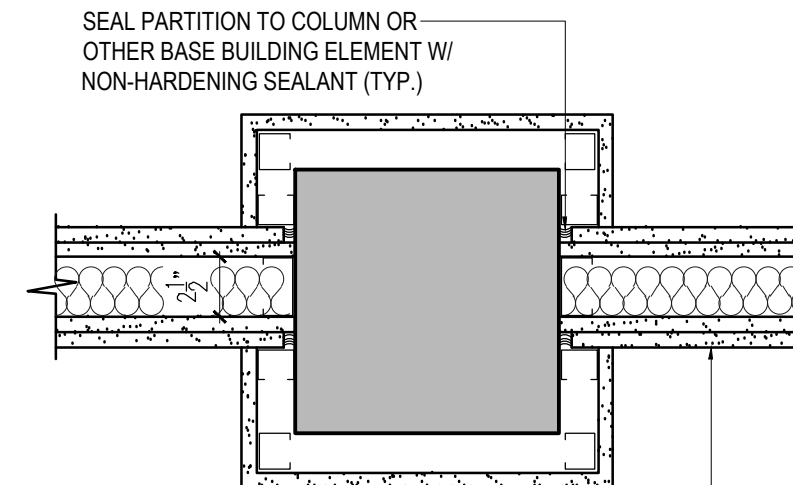
OFFSET OF RECESSED ELECTRICAL RECEPTACLE AT TYPICAL APARTMENT DEMISING PARTITIONS

SCALE: 1\"/>



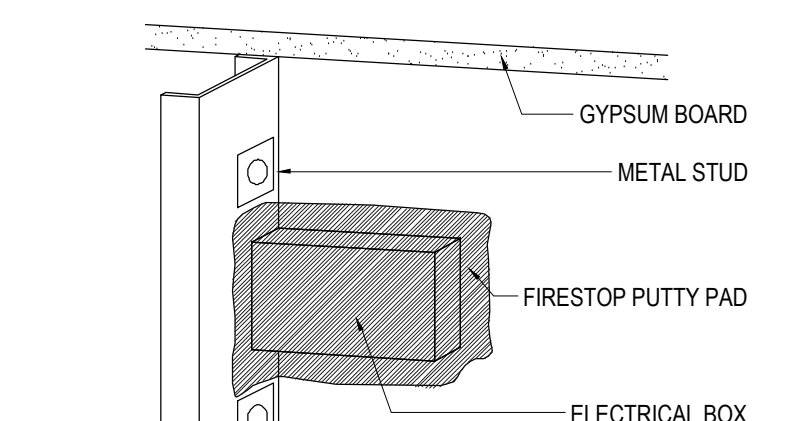
TYPICAL INTERSECTION DETAIL AT APARTMENT/CORRIDOR DEMISING PARTITION

SCALE: 1\"/>



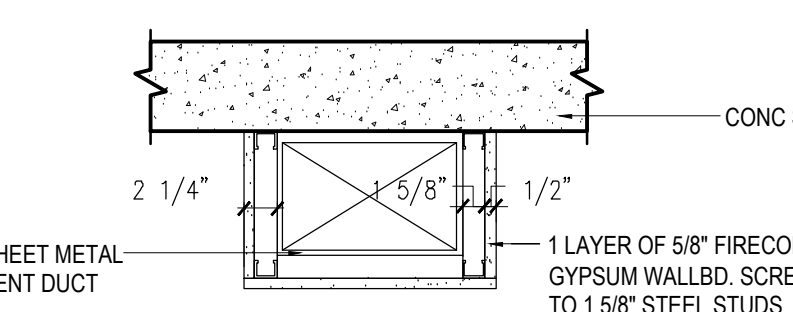
APARTMENT DEMISING PARTITION AT INTERSECTION WITH COLUMN

SCALE: 1\"/>



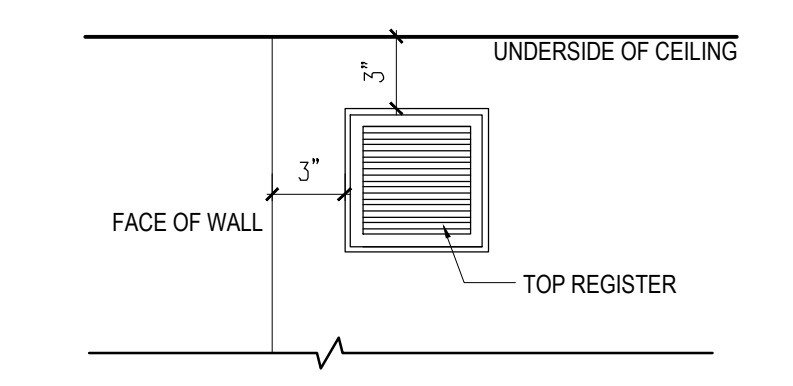
FIRESTOP PUTTY PAD ASTM E 84, MEA-102-99M

SCALE: N.T.S. TO BE USED WHERE WATER WALLS/WALLS ARE PENETRATED BY OUTLETS, SWITCHES, ETC.



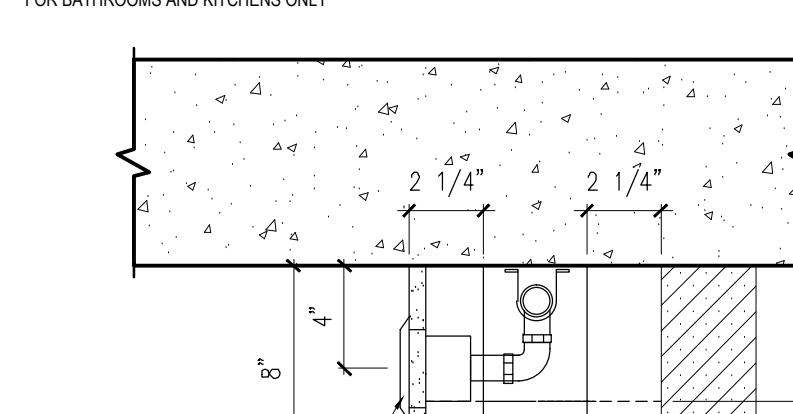
1 HR FIRE RATING TYPICAL DUCT FIREPROOFING-DETAIL @ HORIZONTAL OFFSETS

SCALE: N.T.S.



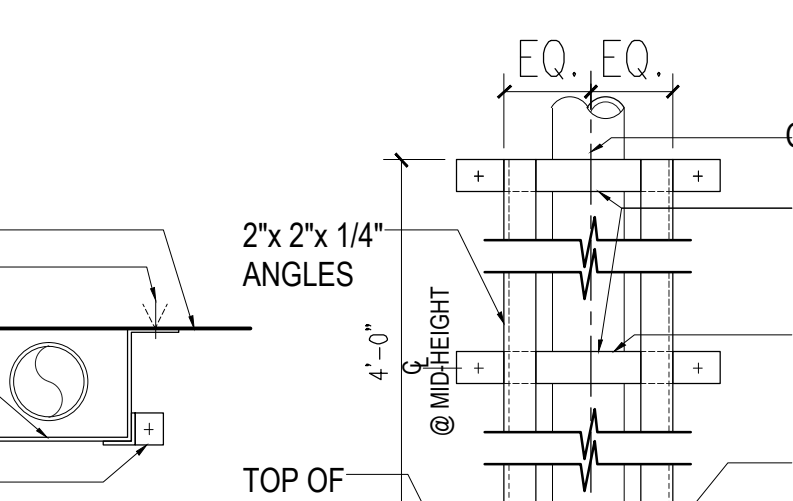
TYP. TOP REGISTER LOCATION, U.O.N.

FOR BATHROOMS AND KITCHENS ONLY



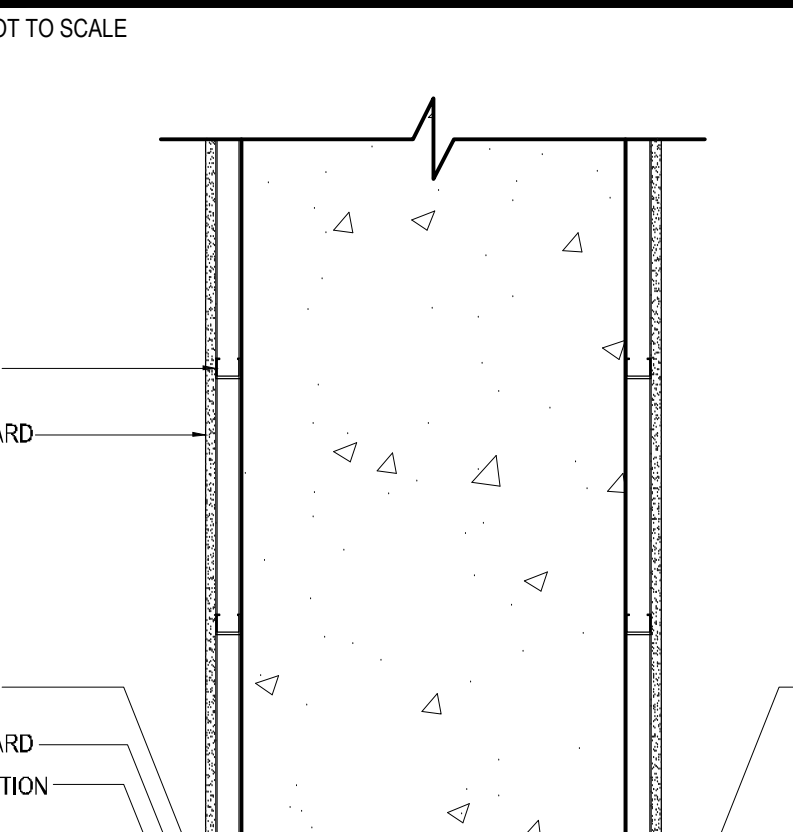
FURRING @ SPRINKLER

SCALE: N.T.S.



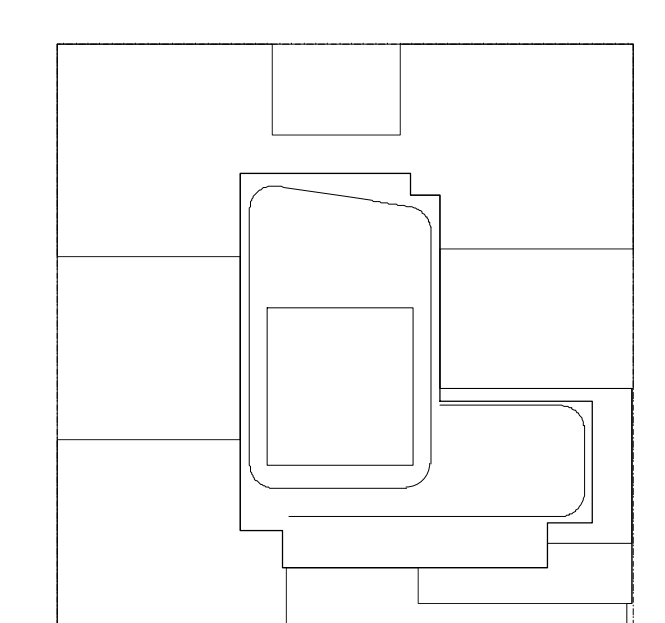
PIPE GUARDS AT WALLS AND COLUMNS

SCALE: NOT TO SCALE



TYPICAL DEMISING SHEAR WALL DETAIL

SCALE: 1\"/>



## NOTES:

1. PROVIDE REQUIRED FIRE RATED FIRESTOPPING WHERE DIFFERENT PARTITION TYPES INTERSECT. WHEN PARTITIONS/SLAB/STRUCTURAL ELEMENTS OF VARYING REQUIRED FIRE RATINGS MEET, PROVIDE REQUIRED FIRESTOPPING TO MATCH THE GREATER RATING. (E.G. CONCRETE BLOCK/GYPSUM BOARD, STRUCTURAL ELEMENTS WITH SPRAY-ON FIREPROOFING/GYPSUM, ETC.)

## NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR RIBS
09/19/2017	99A D3-37 ADD #3
06/07/2017	65A D3-37
02/04/2017	99A D3-37 SET
03/07/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/04/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTARY SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FACIAL PHASE SET
11/11/2016	100% EDITION/REVISION SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:

**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212.213.8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE: MISCELLANEOUS DETAILS

DATE: 10/06/2017

PROJECT #: 15412

SCALE: 1\"/>

DWG NO: A-009.00

DATE: 10/06/2017

PROJECT #: 15412

SCALE: 1\"/>

DWG NO: A-009.00

DATE: 10/06/2017

PROJECT #: 15412

SCALE: 1\"/>

DWG NO: A-009.00

DATE: 10/06/2017

PROJECT #: 15412

SCALE: 1\"/>

DWG NO: A-009.00

DATE: 10/06/2017

PROJECT #: 15412

SCALE: 1\"/>

DWG NO: A-009.00

DATE: 10/06/2017

PROJECT #: 15412

SCALE: 1\"/>

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DATE: 10/06/2017

PROJECT #: 15412

SCALE: 1\"/>

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DATE: 10/06/2017

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SCALE: 1\"/>

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SCALE: 1\"/>

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SCALE: 1\"/>

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SCALE: 1\"/>

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DATE: 10/06/2017

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SCALE: 1\"/>

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DATE: 10/06/2017

PROJECT #: 15412

SCALE: 1\"/>

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DATE: 10/06/2017

PROJECT #: 15412

SCALE: 1\"/>

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DATE: 10/06/2017

PROJECT #: 15412

SCALE: 1\"/>

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DATE: 10/06/2017

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SCALE: 1\"/>

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DATE: 10/06/2017

PROJECT #: 15412

SCALE: 1\"/>

DWG NO: A-009.00

DATE: 10/06/2017

PROJECT #: 15412

SCALE: 1\"/>

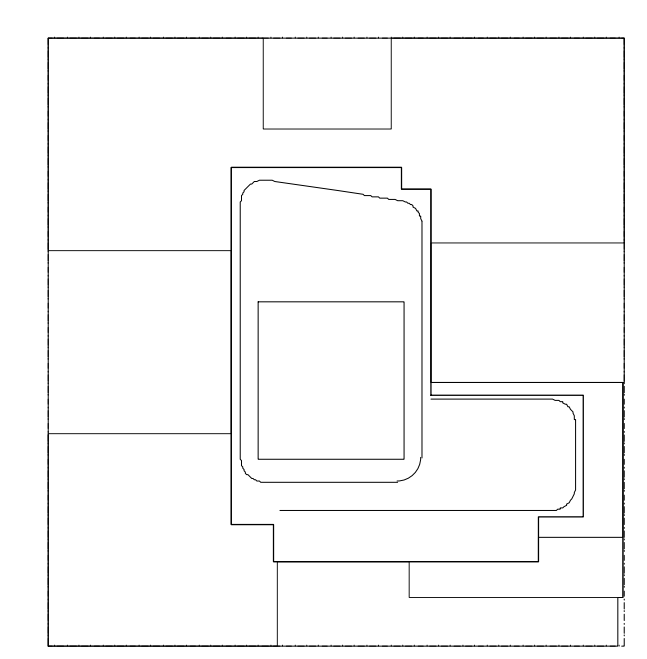
DWG NO: A-009.00

DATE: 10









NOTES:

10/06/2017	ISSUED FOR DOB
09/19/2017	90% CD SET AND #3
08/02/2017	60% CD SET
03/02/2017	90% CD SET
03/09/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FACE PLUMB SET
11/11/2016	100% CD SET AND 100% SET
10/12/2016	ISSUED FOR DOB
05/09/2016	ISSUED FOR DOB
04/05/2016	FOR DOB AND SET
02/05/2016	DOB PLUMB SET

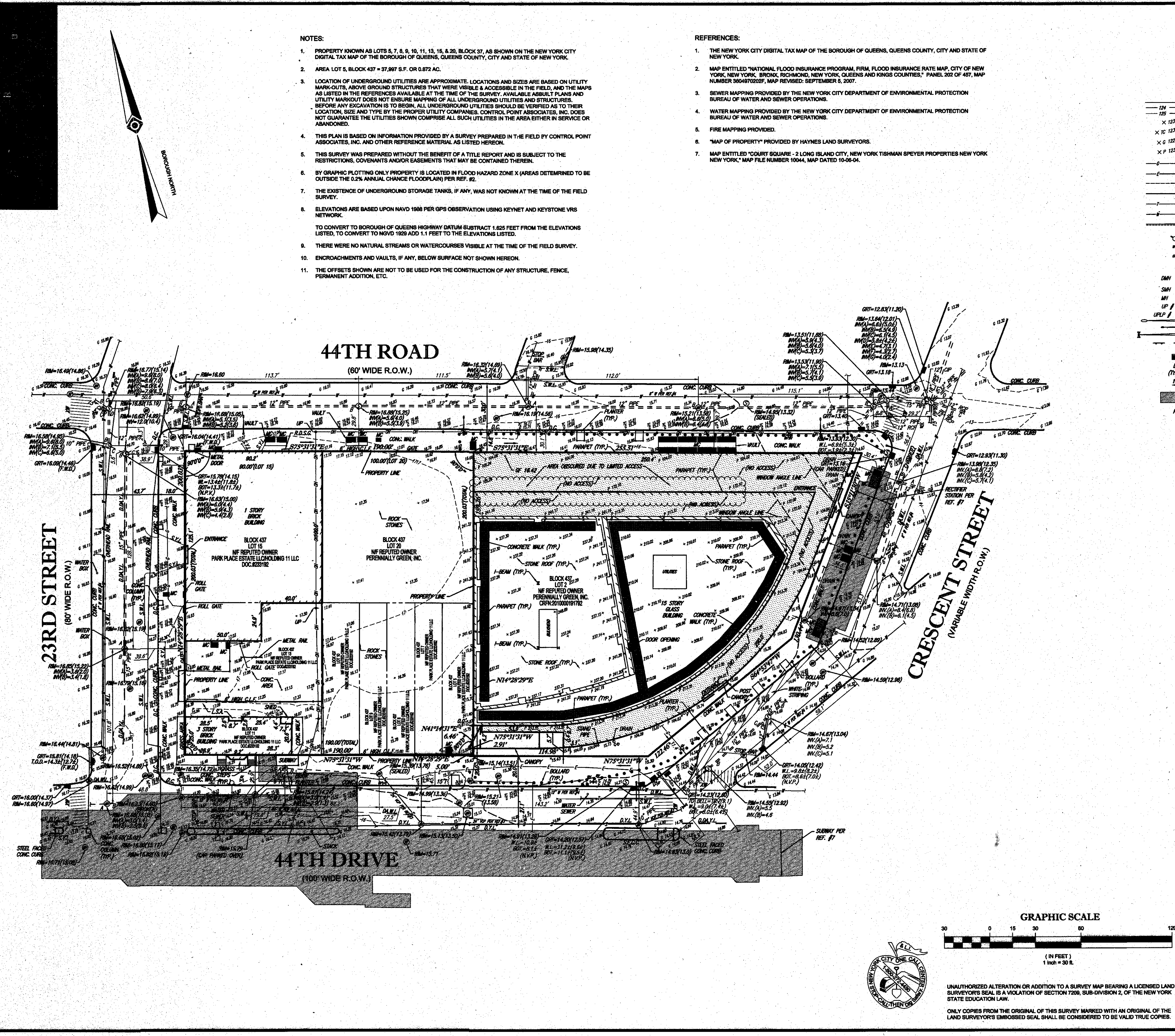
Number:	Date:	Revision:
Project:		
<b>City View Tower at Court Square</b>		
23-15 44th Drive		
Long Island City, NY 11101		
Client:		
<b>Cityview Tower LLC</b>		
112-15 NORTHERN BLVD, CF-2		
CORONA, NY 11368		
(718) 321-8652		

Architect:	
<b>HILL   WEST</b>	
ARCHITECTS	
11 BROADWAY, 17TH FLOOR	
NEW YORK, NY 10004	
T. 212.213.8007	

Consultant:	
<b>DESIMONE CONSULTING ENGINEERS</b>	
140 Broadway 25th Floor	
New York, NY, 10005	
(212) 532-2211	
<b>Cosentini Associates</b>	
Two Pennsylvania Plaza, 3rd FL.	
New York, NY 10121	
(212) 615-3600	
<b>Whitehall</b>	
11 Broadway, 17th Floor	
New York, NY 10004	
(212) 908-4940	

DOB STAMPS & SIGNATURES:

DWG TITLE:	SURVEY
SEAL & SIGNATURE:	DATE: 10/06/2017
	PROJECT #: 15412
	SCALE: NTS
	<b>A-011.00</b>
	DWG NO. 1 OF 105

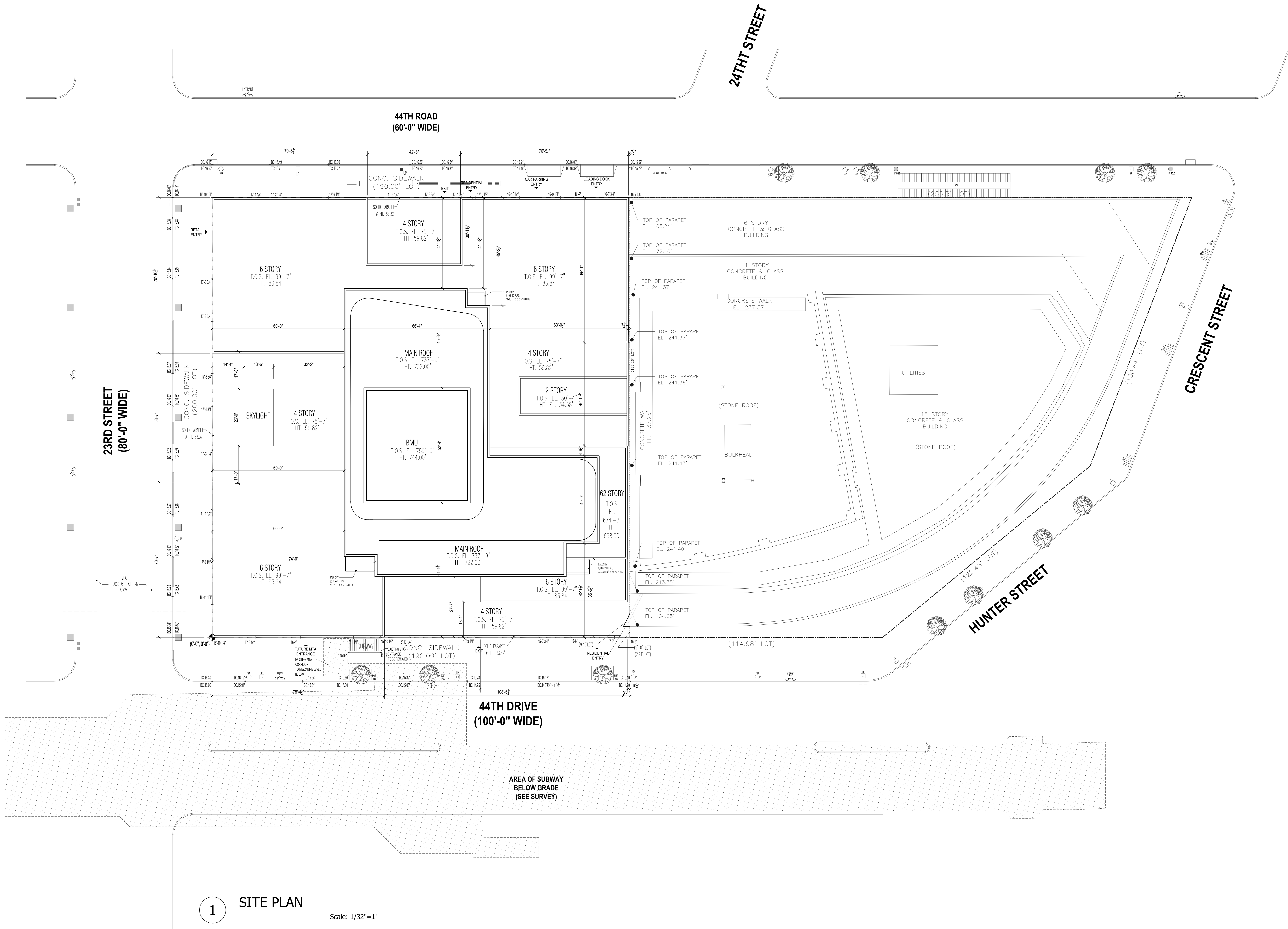


LEGEND	
---	EXISTING CONTOUR
X	EXISTING SPOT ELEVATION
X 10	EXIST. TOP OF CURB ELEVATION
X 6	EXIST. GUTTER ELEVATION
X P	EXISTING PARAPET ELEVATION
---	APPROX. LOC. UNDERGROUND GAS LINE
---	APPROX. LOC. UNDERGROUND ELEC. LINE
---	APPROX. LOC. UNDERGROUND DRAINAGE LINE
---	APPROX. LOC. UNDERGROUND SAN. LINE
---	APPROX. LOC. UNDERGROUND TEL. LINE
---	APPROX. LOC. UNDERGROUND WATER LINE
---	DEPRESSED CURB
U	HYDRANT
W	WATER VALVE
G	GAS VALVE
GB	GAS BOX
DM	DRAINAGE/STORM MANHOLE
SM	SANITARY/SEWER MANHOLE
UM	UNKNOWN MANHOLE
UP	UTILITY POLE
UPL	UTILITY POLE/LIGHT POLE
SL	STREET LIGHT
TS	TRAFFIC SIGNAL POLE
S	SIGN
B	BOLLARD
CB	CATCH BASIN OR INLET
D.C.	DEPRESSED CURB
TS	TYPICAL
TS	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
AC	AREA OF SUBWAY AND RECTIFIER STATION
RC	REINFORCED CONCRETE PIPE

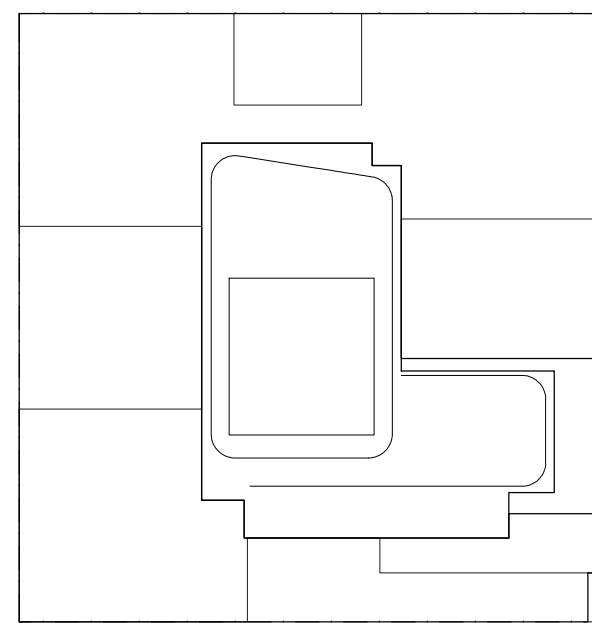
PREPARED BY:			
<b>CONTROL POINT ASSOCIATES INC. PC</b>			
14 PENN PLAZA, 225 WEST 34TH STREET			
NEW YORK, NY 10012			
646.780.0411 • 908.668.9995 FAX			
WWW.CPASURVEY.COM			
WARREN, NJ 908.668.0099			
CHALFONTE, PA 215.712.2600			
SOUTH BOKROUGHL, MA 508.948.3000			
MT. LAUREL, NJ 609.857.2099			
PROJECT NAME			
<b>COURT SQUARE-2</b>			
LOTS 5, 7, 8, 9, 10, 11, 13, 15, & 20, BLOCK 37			
LONG ISLAND CITY, BOROUGH & COUNTY OF QUEENS,			
CITY AND STATE OF NEW YORK			
DRAWING TITLE			
<b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b>			
SEAL & SIGNATURE	FIELD DATE:	3-8-2016	
	FIELD BKG:	15-02	
	F. B. PAGE:	15-46	
		42	
	DATE:	2-25-2016	
	SCALE:	1"=30'	
	PROJECT No:	01-16002-00	
	DRAWING BY:	M.H.S.	
	CHK BY:	G.J.S.	
	APPROVED BY:	J.C.W.	
	DWG No:	V-001.0	
	CAD FILE No:	01-16002-00	
	PAGE No:	1 OF 1	

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1 SITE PLAN  
Scale: 1/32"=1'



KEY PLAN

NOTES:

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
08/15/2017	90% CD SET AND #3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENT SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FACADE PAVING SET
11/01/2016	100% INFORMATION HOS SET
10/12/2016	ISSUED FOR DOB
05/09/2016	ISSUED FOR DOB
04/09/2016	FOUNDATION AND SET
03/05/2016	DOB FILING SET

Number:	Date:	Revision:
---------	-------	-----------

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
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Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

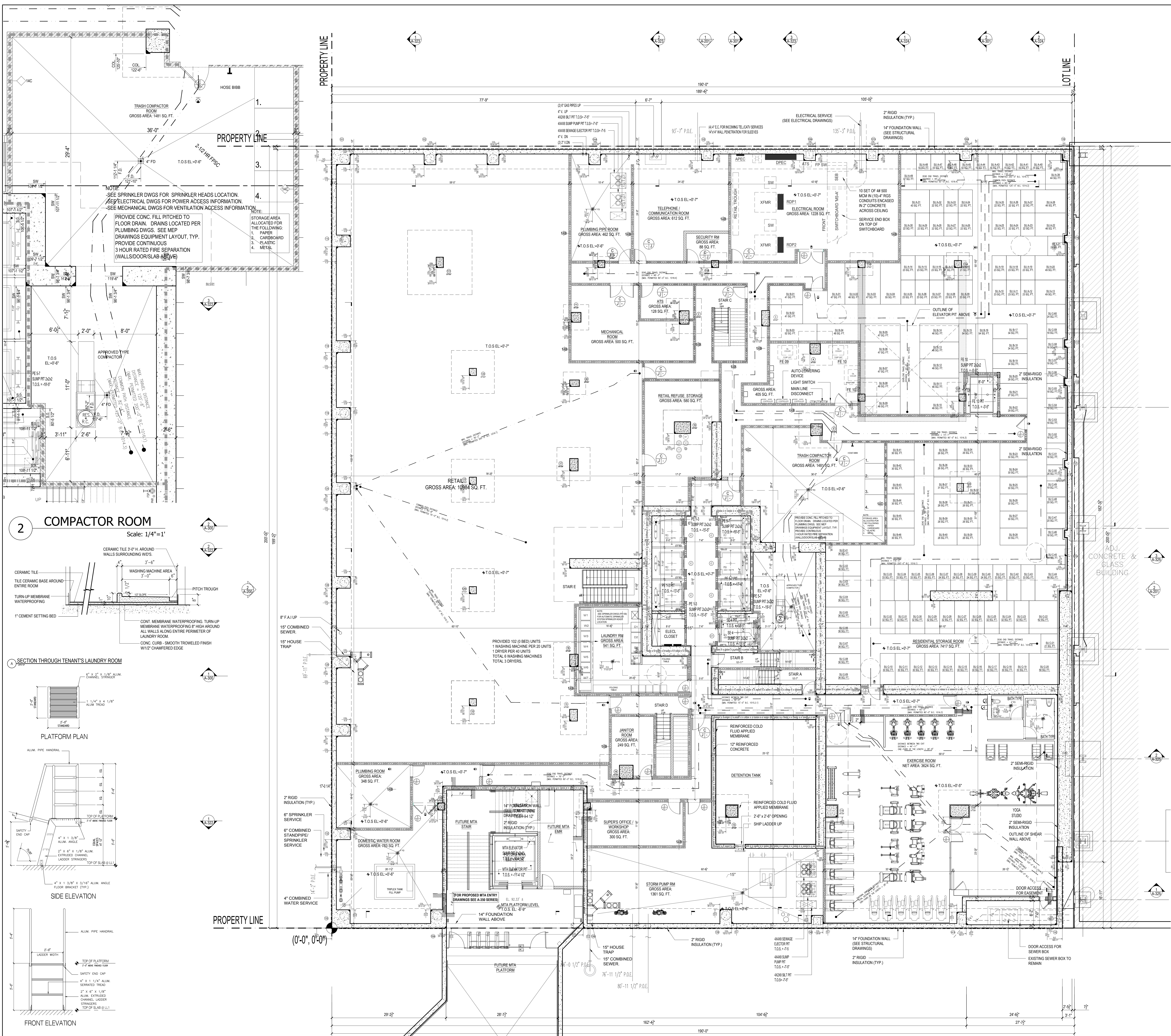
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
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(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE: SITE PLAN

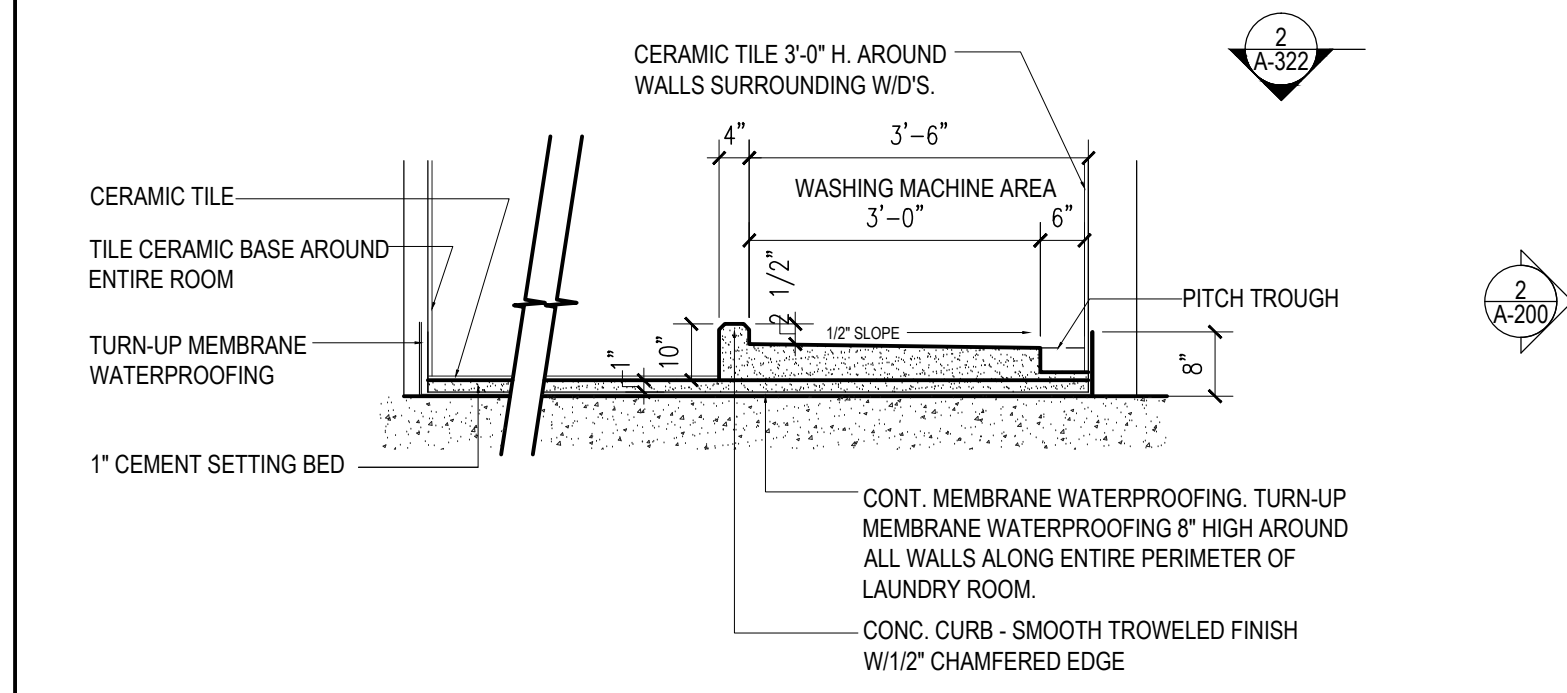
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PROJECT #	15412
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DWG NO. A-012.00	



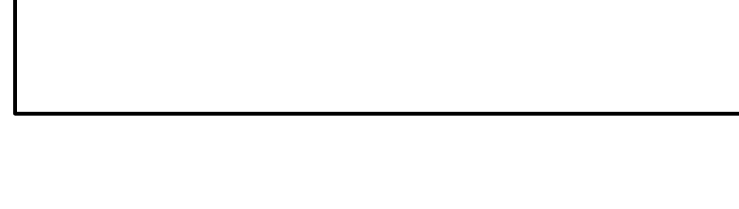
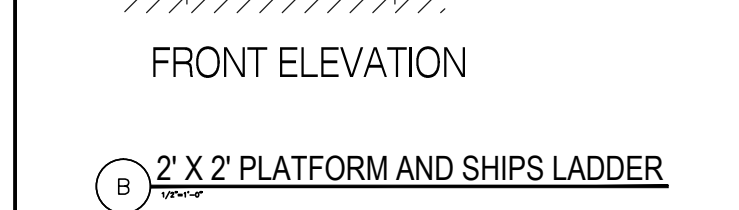
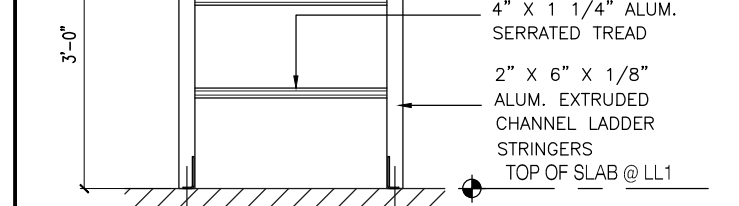
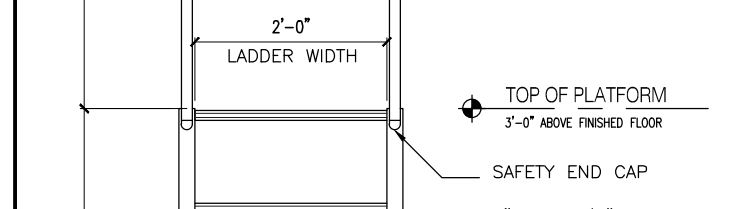
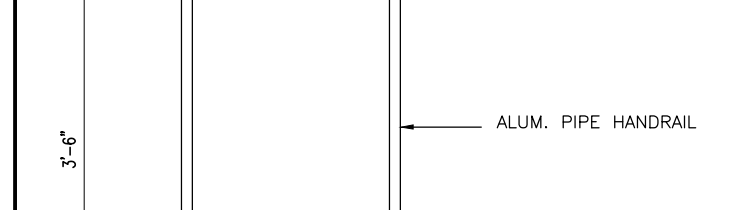
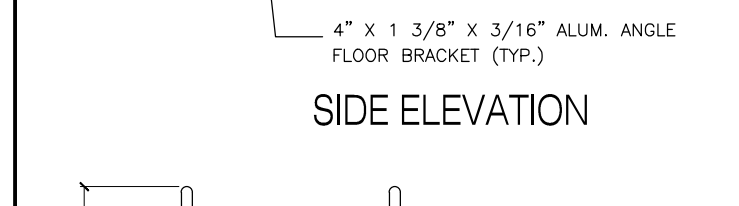
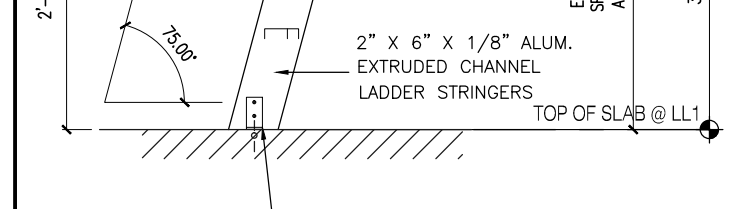
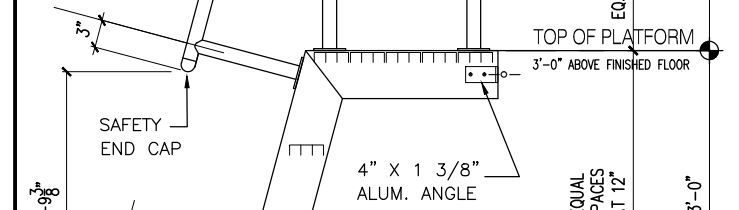
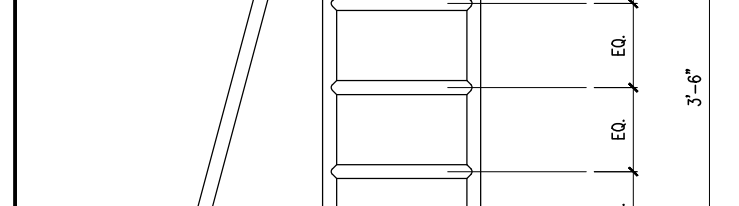
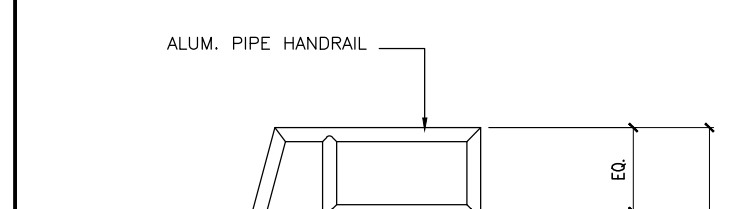
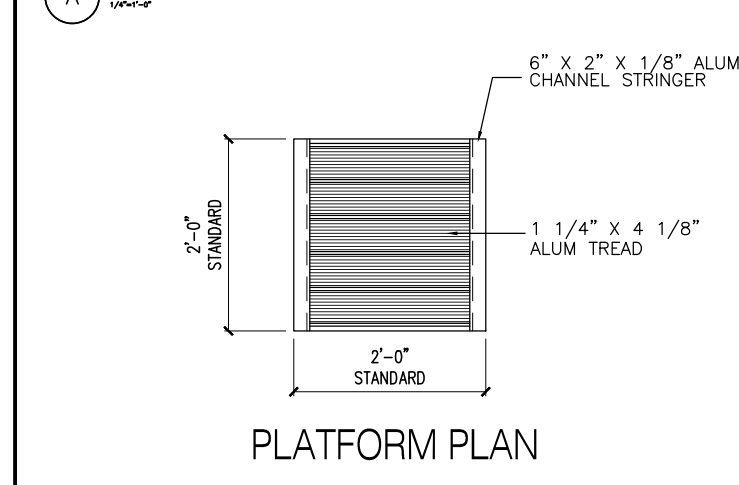


### 2 COMPACTOR ROOM

Scale: 1/4"=1'



### A SECTION THROUGH TENANT'S LAUNDRY ROOM



### 1 CELLAR FLOOR PLAN

Scale: 1/8"=1'

(SECTION BC1005.1)			
EXIT TYPE	WIDTH	EGRESS WIDTH PER PERSON	EXIT OCCUPANCY
STAR A DOOR	36.0 IN.	0.2	180
STAR B DOOR	36.0 IN.	0.2	180
STAR C DOOR	36.0 IN.	0.2	180
STAR D DOOR	36.0 IN.	0.2	180
TOTAL EXIT DOOR CAPACITY			720
STAR A	45.0 IN.	0.3	150
STAR B	45.0 IN.	0.3	150
STAR C	45.0 IN.	0.3	150
STAR D	45.0 IN.	0.3	150
TOTAL EXIT STAR CAPACITY			600

CELLAR FLOOR OCCUPANT LOAD CALCULATIONS - RESIDENTIAL			
ROOM	OCCUPANCY CLASS	GROSS AREA (SQ. FT.)	OCCUPANT LOAD (TABLE 1004.1)
COMPACTOR ROOM	F-2	1481	300 SF
ELECTRICAL ROOM	F-2	1228	300 SF
TELEPHONE ROOM	F-2	612	300 SF
SECURITY ROOM	F-2	88	300 SF
MECHANICAL ROOM	F-2	580	300 SF
PLUMBING PIPE ROOM	F-2	128	300 SF
ATIS	F-2	249	50 SF
JANITOR ROOM	F-2	541	50 SF
DOMESTIC WATER ROOM	F-2	783	300 SF
STORM DETENTION TANK	F-2	1361	300 SF
SUPERS OFFICE/WORKSHOP ROOM	F-2	292	300 SF
RESIDENTIAL STORAGE ROOM	S-2	7469	300 SF
EXERCISE ROOM	R-2 ACC	3637	50 SF
FEEL FIRE DRILL ROOM	F-2	405	300 SF
PUMP/CONTROL ROOM	F-2	348	300 SF
PLUMBING ROOM	F-2	348	300 SF
TOTAL OCCUPANT LOAD			145

RETAIL			
RETAIL DOOR C	42.0 IN.	0.2	210
RETAIL DOOR E	42.0 IN.	0.2	210
TOTAL RETAIL EXIT DOOR CAPACITY			420
RETAIL	M	10984	60 SF
RETAIL REFUSE STORAGE	F-2	580	300 SF

### KEY PLAN

NOTES:

LEGEND:  
2 HR. RATED FIRE SEPARATION  
3 HR. RATED FIRE SEPARATION

### NOT FOR CONSTRUCTION

Number	Date	Revision
10/06/2017	ISSUED FOR DOB	
09/15/2017	99% CD SET AND #3	
06/02/2017	65% CD SET	
03/04/2017	50% CD SET	
03/10/2017	ISSUED FOR DOB	
03/01/2017	ISSUED FOR DOB	
02/14/2017	ISSUED FOR DOB	
01/07/2017	SUPERSTRUCTURE SET	
01/05/2017	ISSUED FOR DOB	
11/17/2016	FAÇADE FINISH SET	
11/01/2016	100% FOUNDATION SET	
10/12/2016	ISSUED FOR DOB	
09/09/2016	ISSUED FOR DOB	
04/09/2016	FOUNDATION SET	
02/05/2016	DOB FILING SET	

Project: City View Tower at Court Square

23-15 44th Drive  
Long Island City, NY 11101

Client: Cityview Tower LLC

112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect: HILL WEST ARCHITECTS

11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212.213.8007

Consultant: DESIMONE CONSULTING ENGINEERS

140 Broadway 25th Floor  
New York, NY 10005  
(212) 532-2211

Cosentini Associates

Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600

Whitehall

11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE: CELLAR FLOOR PLAN

SCALE: 1/8"=1'

DATE: 10/06/2017

PROJECT # 15412

SCALE: 1/8"=1'

A-100.00

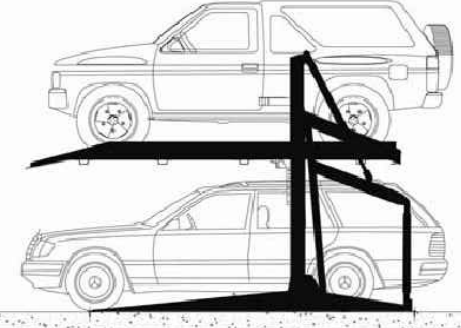
DWG NO.

020 OF 105





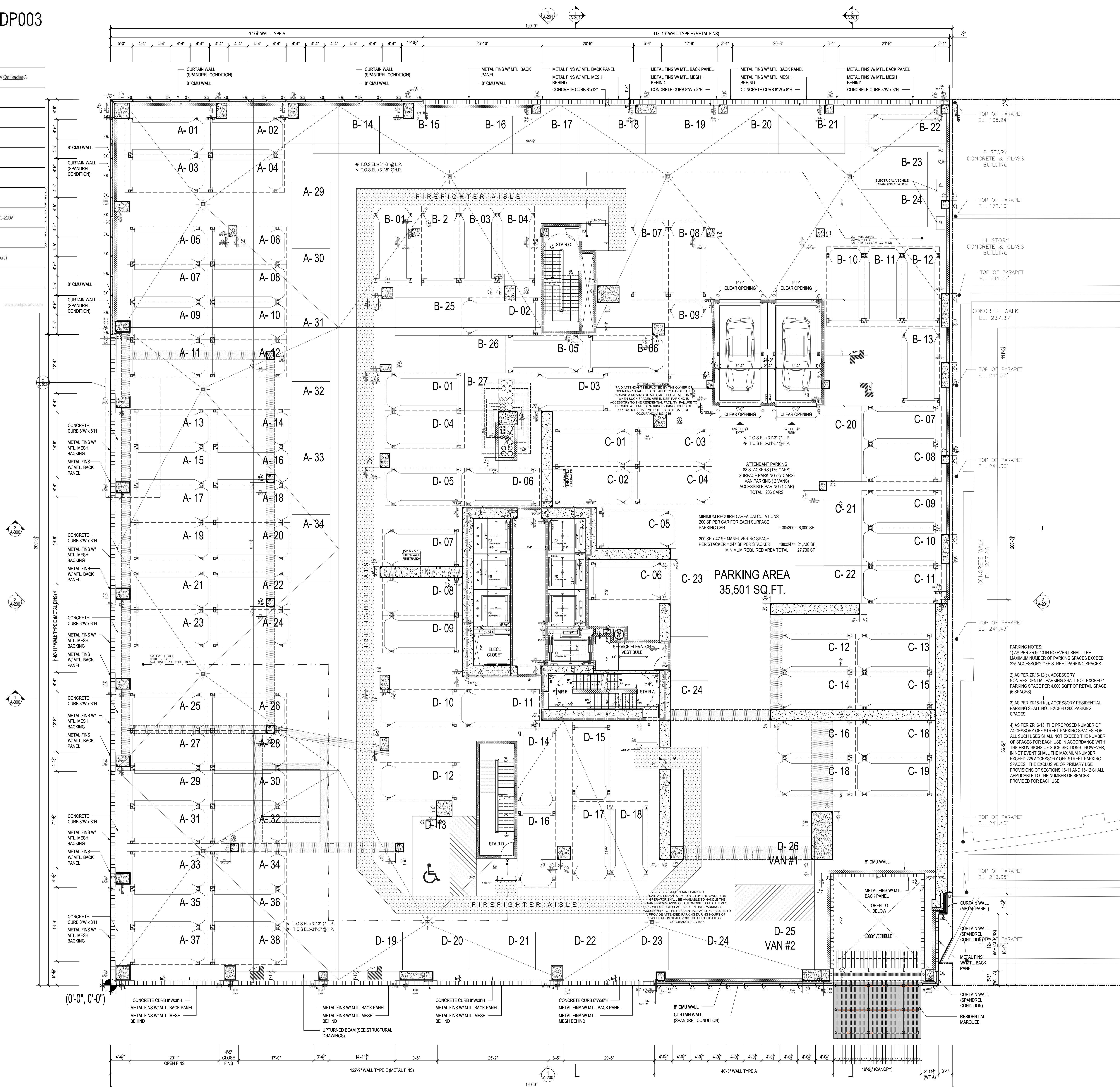




MODEL DP003

DESCRIPTION	2 Post Double Parking Hydraulic SUV Car Stackers®
LENGTH, ft-in (m)	13'-0" (4.1)
WIDTH, ft-in (m)	7'-11" to 8'-3" (2.4 to 2.5)
CLEARANCE REQUIREMENT (Height), ft-in (m)	10'-0" to 14'-0" (3.0 to 4.26)
OVERALL HEIGHT OF EQUIPMENT	9'-10"
LIFTING CAPACITY PER PLATFORM, lbs (kg)	6000 (2722)
WEIGHT OF UNIT, lbs (kg)	2980 (1352)
ELECTRICAL REQUIREMENTS	3-phase 208-220V/Single phase 110-220V
OPERATION	Hydraulic with manual override
ADDITIONAL REQUIREMENTS	Power Pack Unit (for up to 30 stackers)
APPROVALS	MEA certified for City of New York

Phatic Plaza, Inc. TECHNICAL SPECIFICATION DOUBLE PARKING SYSTEM DP003



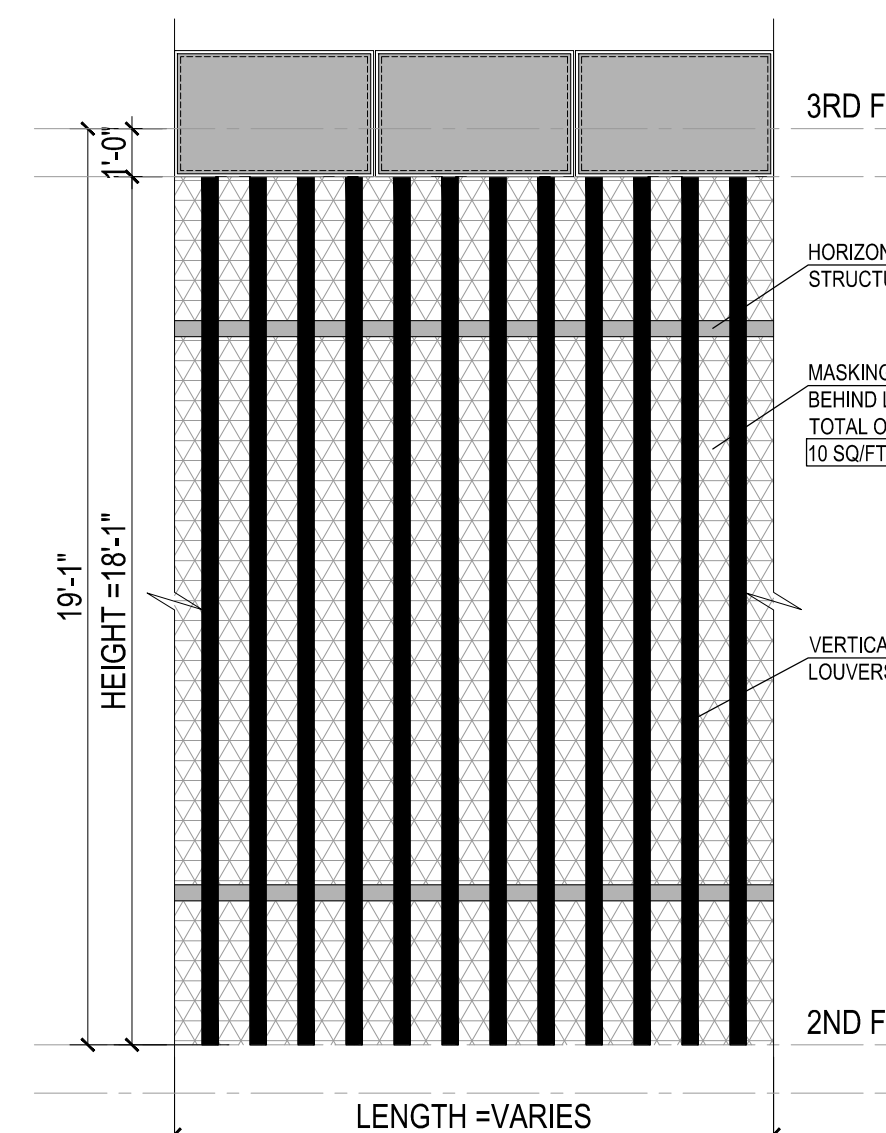
**2ND FLOOR PLAN**  
Scale: 1/8"=1'

EXIT QUANTITY AND CAPACITY PROVIDED			
EXIT TYPE	WIDTH	EGRESS WIDTH PER PERSON	EXIT OCCUPANCY
STAIR A DOOR	36.0 IN.	0.2	180
STAIR C DOOR	36.0 IN.	0.2	180
STAIR D DOOR	36.0 IN.	0.2	180
TOTAL EXIT DOOR CAPACITY			540
STAIR A	45.0 IN.	0.3	150
STAIR C	45.0 IN.	0.3	150
STAIR D	45.0 IN.	0.3	150
TOTAL EXIT STAIR CAPACITY			450

2ND FLOOR OCCUPANT LOAD CALCULATIONS			
ROOM	OCCUPANCY	GROSS AREA PER OCCUPANT (TABLE 1004.1)	OCCUPANT LOAD
ACCESSORY PARKING	S-2	37.312	6
TOTAL OCCUPANT LOAD			6

*STATED OCCUPANT (FULLY ATTENDED PARKING)	
TOTAL OCCUPANT LOAD AT 2ND FLOOR	6
STAIR A & B	T.O.S.
2ND FLOOR	31'-9"
STAIR C	T.O.S.
2ND FLOOR	31'-9"
STAIR D	T.O.S.
2ND FLOOR	31'-9"



**ELEVATION**  
Scale: 1/4"=1'

TABLE 1.1  
GARAGE EXTERIOR WALL CALCULATION

NOTE: PER CODE NYC BC-406.3.3.1, THE AREA OF GARAGE OPENINGS MUST BE AT LEAST 20% OF THE TOTAL AREA OF EACH TIER LEVEL, AND THE AGGREGATE LENGTH AT LEAST 40% OF THE PERIMETER OF THE TIER.

**SOUTH ELEVATION**

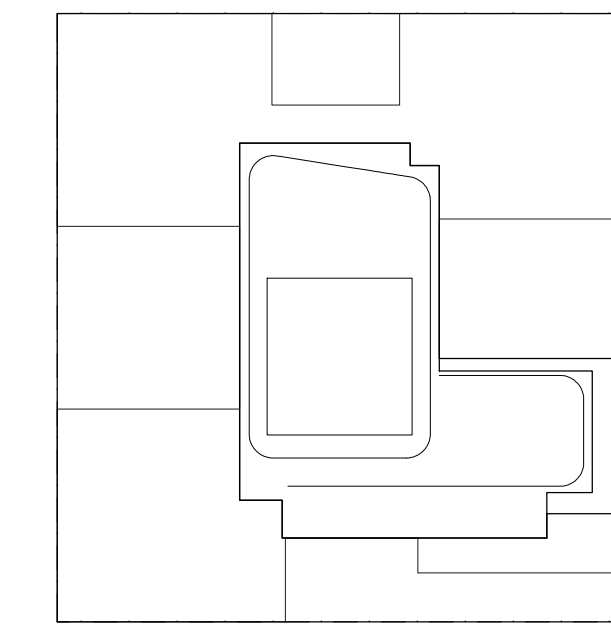
- ELEVATION AREA = Length x Height  
= 186'-11" x 18'-11" = 3380 sq/ft
- GARAGE OPENINGS = Openings Area x No of Vertical Openings  
= 10 sq/ft x 100  
= 1000 sq/ft
- MIN. REQUIRED OPENINGS = 3380 sq/ft x 20% = 676 sq/ft  
- PROVIDED OPENINGS = 1000 sq/ft - COMPLIES

**WEST ELEVATION**

- ELEVATION AREA = Length x Height  
= 200'-0" x 18'-11" = 3617 sq/ft
- GARAGE OPENINGS = Openings Area x No of Vertical Openings  
= 10 sq/ft x 121  
= 1210 sq/ft
- MIN. REQUIRED OPENINGS = 3617 sq/ft x 20% = 723 sq/ft  
- PROVIDED OPENINGS = 1210 sq/ft - COMPLIES

**NORTH ELEVATION**

- ELEVATION AREA = Length x Height  
= 189'-5" x 18'-11" = 3424 sq/ft
- GARAGE OPENINGS = Openings Area x No of Vertical Openings  
= 10 sq/ft x 94  
= 940 sq/ft
- MIN. REQUIRED OPENINGS = 3424 sq/ft x 20% = 685 sq/ft  
- PROVIDED OPENINGS = 940 sq/ft - COMPLIES



**KEY PLAN**

**NOTES:**

LEGEND:  
 ■■■■■ 2 HR. RATED FIRE SEPARATION  
 ■■■■■ 3 HR. RATED FIRE SEPARATION

**NOT FOR CONSTRUCTION**

10/06/2017	ISSUED FOR DOB
09/15/2017	99% DO SET AND #3
06/02/2017	65% DO SET
03/04/2017	55% DO SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/11/2016	100% DO FOUNDATION SET
10/12/2016	ISSUED FOR DOB
05/08/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number: Date Revision:

Project:  
**City View Tower at Court Square**  
 23-15 44th Drive  
 Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
 112-15 NORTHERN BLVD, CF-2  
 CORONA, NY 11368  
 (718) 321-8652

Architect:  
**HILL | WEST**  
 ARCHITECTS  
 11 BROADWAY  
 17TH FLOOR  
 NEW YORK, NY 10004  
 T. 212.213.8007

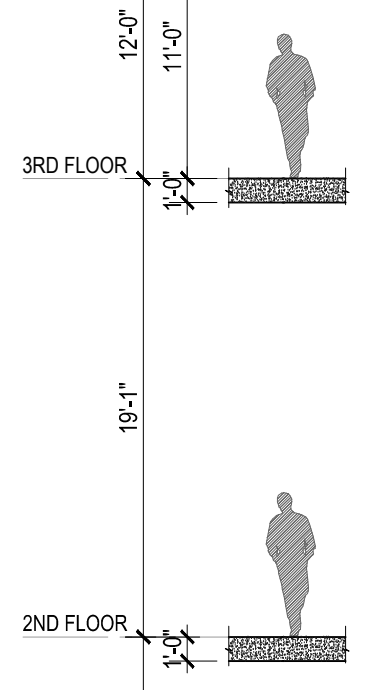
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
 140 Broadway 25th Floor  
 New York, NY, 10005  
 (212) 532-2211  
**Cosentini Associates**  
 Two Pennsylvania Plaza, 3rd FL.  
 New York, NY 10121  
 (212) 615-3600  
**Whitehall**  
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 New York, NY 10004  
 (212) 908-4940

DOB STAMPS & SIGNATURES:

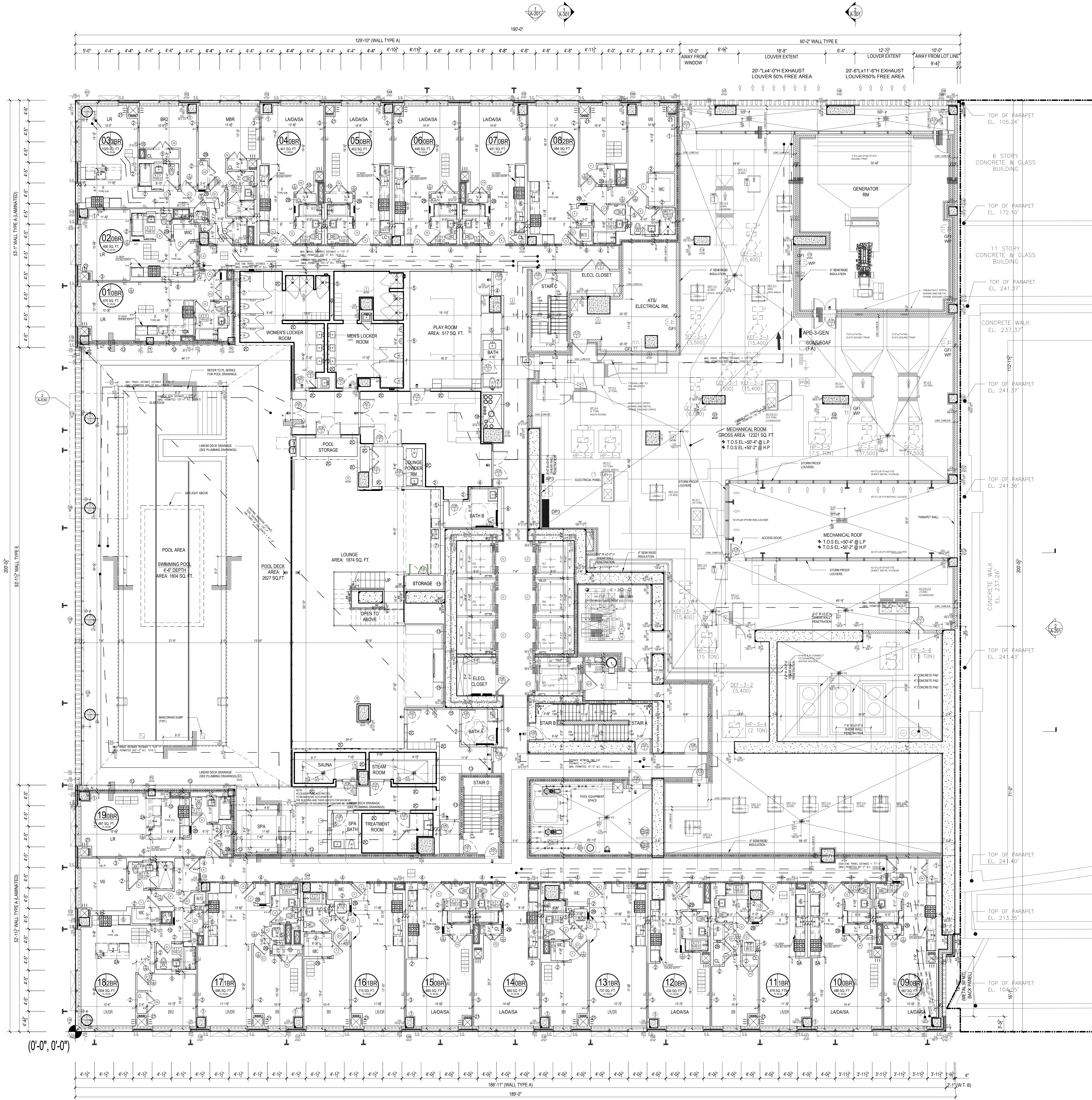
DWG TITLE:  
**2ND FLOOR PLAN (PARKING LEVEL)**

SEAL & SIGNATURE: REGISTERED ARCHITECT NEW YORK	DATE: 10/06/2017
PROJECT #: 15412	SCALE: 1/8" = 1'-0"
DWG NO: A-102.00	DATE: 10/06/2017

**HEIGHT DIAGRAM**  
Scale: 1/8"=1'







1 3RD FLOOR PLAN  
Scale: 1/8"=1'

Apt. Light & Air Calculations 3rd Floor (12'0" Height) & 4th Floor (13'3" Height)						
UNIT	ROOM	HABITABLE AREA (SQ. FT.)	10% LIGHT REQUIREMENT (SQ. FT.)	LIGHT PROVIDED (SQ. FT.)	5% AIR REQUIREMENT (CFM)	AIR PROVIDED (CFM)
01	LR	291.61	29.16	192.98	14.58	27.22
02	BR1	124.04	12.40	49.36	6.20	9.16
	BR2	111.82	11.18	46.15	5.59	8.91
03	STUDIO	181.98	18.20	49.36	9.10	9.16
	STUDIO	173.93	17.39	49.36	8.70	9.16
04	STUDIO	153.39	15.34	24.10	7.67	8.24
05	LR	226.55	22.66	143.14	11.33	27.38
06	BR1	140.76	14.08	74.56	7.04	9.07
	BR2	101.25	10.14	48.29	5.07	9.07
07	STUDIO	160.60	16.06	48.29	8.03	17.81
08	STUDIO	173.43	17.34	41.98	8.67	9.07
09	STUDIO	173.77	17.38	48.29	8.69	9.07
10	STUDIO	172.63	17.26	52.57	8.63	9.41
11	LR	291.49	29.15	48.29	13.07	18.81
12	BR1	126.99	12.70	21.51	6.35	8.99
	BR2	112.80	11.28	22.02	5.64	9.07
13	STUDIO	162.61	16.26	41.98	8.13	17.81
14	STUDIO	184.16	18.42	41.98	9.21	17.81
15	LR	262.11	26.21	41.98	13.11	17.81
16	BR1	135.98	13.60	20.99	6.80	8.91
	BR2	184.57	18.46	41.98	9.23	17.81
17	LR	291.00	29.10	41.98	14.55	17.81
18	BR1	136.06	13.61	46.15	6.80	8.91
	BR2	183.58	18.36	43.98	9.18	17.81
19	STUDIO	183.14	18.31	41.98	9.16	17.81
20	LR	291.00	29.10	41.98	14.55	17.81
21	BR1	130.39	13.04	46.15	6.52	8.91
	BR2	289.03	28.90	41.98	14.45	17.81
22	BR1	129.11	12.91	20.99	6.46	8.91

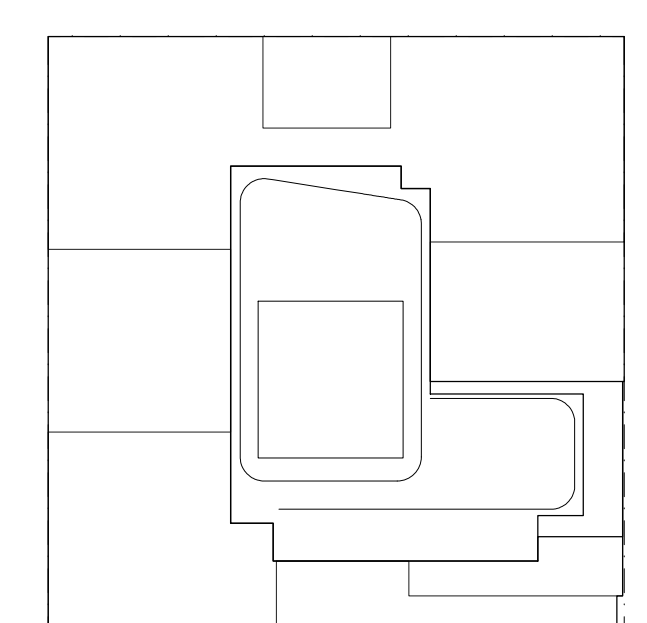
3RD FLOOR OCCUPANT LOAD CALCULATIONS				
ROOM	OCCUPANCY CLASS	GROSS AREA (SQ. FT.)	PER OCCUPANT (TABLE 1004.1)	OCCUPANT LOAD
UNIT 01	R	476	200	2
UNIT 02	R	399	200	2
UNIT 03	R	399	200	5
UNIT 04	R	440	200	2
UNIT 05	R	453	200	2
UNIT 06	R	448	200	2
UNIT 07	R	455	200	2
UNIT 08	R	990	200	5
UNIT 09	R	567	200	3
UNIT 10	R	487	200	2
UNIT 11	R	619	200	3
UNIT 12	R	433	200	2
UNIT 13	R	739	200	4
UNIT 14	R	465	200	2
UNIT 15	R	465	200	2
UNIT 16	R	698	200	3
UNIT 17	R	712	200	4
UNIT 18	R	1004	200	5
UNIT 19	R	487	200	2
(EACH FLOOR) TOTAL OCCUPANT LOAD				97

(SECTION BC1005.1)			
EXIT TYPE	WIDTH	EGRESS WIDTH PER PERSON	EXIT OCCUPANCY
STAIR A DOOR	36.0 IN.	0.2	180
STAIR B DOOR	36.0 IN.	0.2	180
STAIR C DOOR	36.0 IN.	0.2	180
STAIR D DOOR	36.0 IN.	0.2	180
TOTAL EXIT DOOR CAPACITY			
STAIR A	45.0 IN.	0.3	150
STAIR B	45.0 IN.	0.3	150
STAIR C	45.0 IN.	0.3	150
STAIR D	45.0 IN.	0.3	150
TOTAL EXIT STAIR CAPACITY			
600			

3RD FLOOR OCCUPANT LOAD CALCULATIONS				
ROOM	OCCUPANCY CLASS	GROSS AREA (SQ. FT.)	PER OCCUPANT (TABLE 1004.1)	OCCUPANT LOAD
DECK	A-3	2627	15 SF	176
POOL	A-4	1632	50 SF	33
LOUNGE	A-3	1881	15 SF	125
PLAY ROOM	A-3	501	15 SF	35
TOTAL OCCUPANT LOAD				369

TOTAL OCCUPANT LOAD AT 3RD FLOOR (RES. AMENITY, MECH)				
MECHANICAL ROOM	F-2	11919	300 SF	40
TOTAL OCCUPANT LOAD				40
TOTAL OCCUPANT LOAD AT 3RD FLOOR (RES. AMENITY, MECH)				
426				

NOTE: TABLE 403.1 OF THE N.Y.C. P.C. WAS USED.  
RETAIL PLUMBING REQUIREMENTS:  
DECK, POOL, LOUNGE, PLAY ROOM = 66415.F./PERSON = 369 PEOPLE TOTAL  
WATER CLOSET:  
1-500 PEOPLE = 1 W.C. (AGGREGATE)  
PROVIDED 8 W.C.  
LABORATORIES:  
1-750 PEOPLE = 1 LAV. (AGGREGATE)  
PROVIDED 8 LAV.  
(1) SERVICE SINK/FACILITY  
(2) DRINKING FOUNTAIN/1000 PEOPLE



KEY PLAN

NOTES:

LEGEND:  
2 HR. RATED FIRE SEPARATION  
3 HR. RATED FIRE SEPARATION

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET AND #3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/05/2017	ISSUED FOR DOB
11/11/2016	100% DOB FOUNDATION SET
10/12/2016	ISSUED FOR DOB
05/08/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
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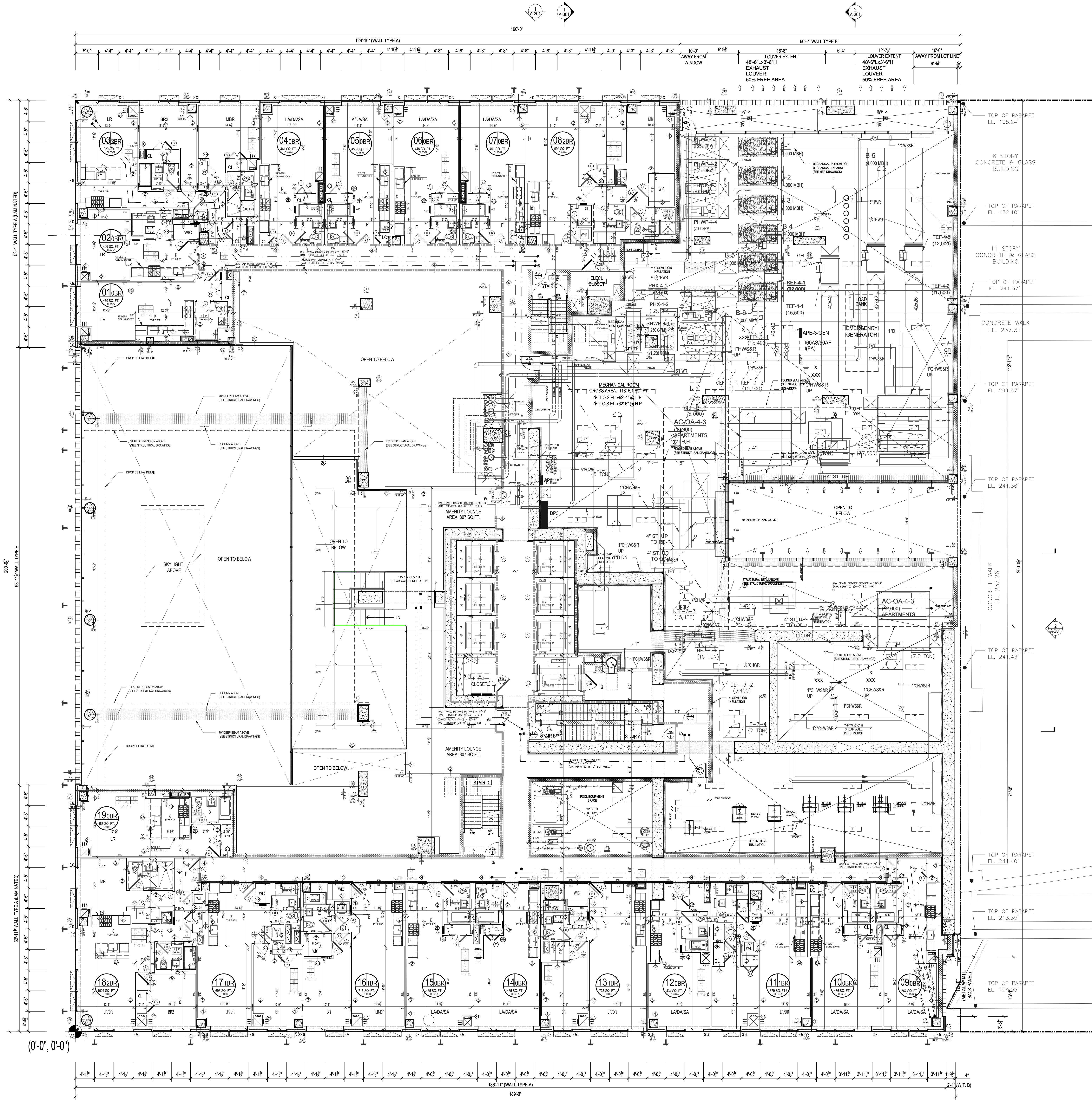
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
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**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:  
3RD FLOOR PLAN  
(PODIUM LEVEL)

SEAL & SIGNATURE:  
PROJECT #  
DATE: 10/06/2017  
PROJECT #  
SCALE: 1/8"=1'-0"  
DWG NO. A-103.00  
023 OF 105





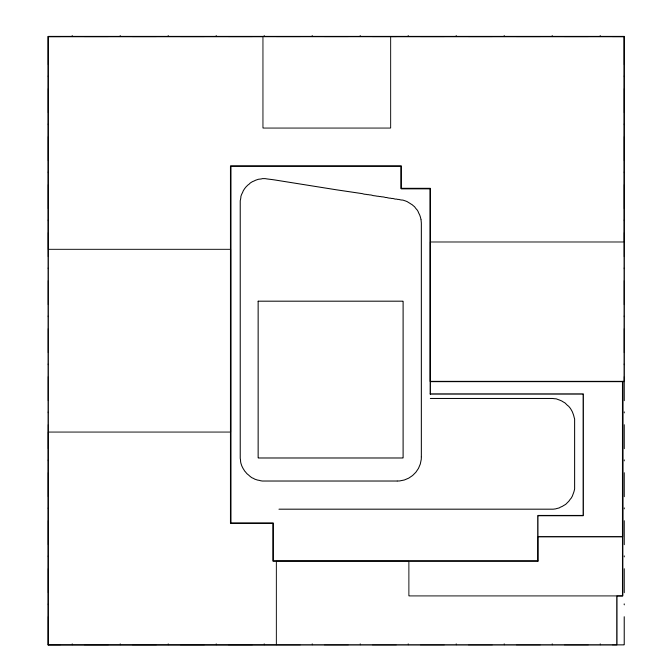
1 4TH FLOOR PLAN  
Scale: 1/8"=1'

Apt. Light & Air Calculations 3rd Floor (12'0" Height) & 4th Floor (13'3" Height)						
UNIT	ROOM	HABITABLE AREA (Sq Ft)	10% LIGHT REQUIREMENT (Sq Ft)	LIGHT PROVIDED (Sq Ft)	5% AIR REQUIREMENT (Sq Ft)	AIR PROVIDED (Sq Ft)
01	LR	291.61	29.16	192.98	14.58	27.22
02	STUDIO	124.04	12.40	49.36	6.20	9.16
03	STUDIO	111.82	11.18	46.15	5.59	8.91
04	STUDIO	181.98	18.20	49.36	9.10	9.16
05	LR	173.93	17.39	49.36	8.70	9.16
06	STUDIO	153.39	15.34	24.10	7.67	8.24
07	STUDIO	226.55	22.66	143.14	11.33	27.38
08	STUDIO	140.76	14.08	74.56	7.04	9.07
09	LR	201.25	20.14	48.29	5.07	9.07
10	LR	126.99	12.70	21.51	6.35	8.99
11	STUDIO	112.80	11.28	22.02	5.64	9.07
12	STUDIO	162.61	16.26	41.98	8.13	17.81
13	LR	184.16	18.42	41.98	9.21	17.81
14	STUDIO	262.11	26.21	41.98	13.11	17.81
15	LR	135.98	13.60	20.99	6.80	8.91
16	STUDIO	184.57	18.46	41.98	9.23	17.81
17	STUDIO	291.00	29.10	41.98	14.55	17.81
18	LR	131.61	13.16	46.15	6.80	8.91
19	STUDIO	183.58	18.36	41.98	9.18	17.81
20	STUDIO	183.14	18.31	41.98	9.16	17.81
21	LR	291.00	29.10	41.98	14.55	17.81
22	LR	130.39	13.04	46.15	6.52	8.91
23	LR	289.03	28.90	41.98	14.45	17.81
24	BR1	129.11	12.91	20.99	6.46	8.91

4TH FLOOR OCCUPANT LOAD CALCULATIONS				
ROOM	OCCUPANCY CLASS	GROSS AREA	GROSS AREA PER OCCUPANT (TABLE 1004.1)	OCCUPANT LOAD
UNIT 01	R	476	200	2
UNIT 02	R	399	200	2
UNIT 03	R	588	200	3
UNIT 04	R	440	200	2
UNIT 05	R	453	200	2
UNIT 06	R	448	200	2
UNIT 07	R	455	200	2
UNIT 08	R	990	200	5
UNIT 09	R	567	200	3
UNIT 10	R	487	200	2
UNIT 11	R	678	200	3
UNIT 12	R	433	200	2
UNIT 13	R	739	200	4
UNIT 14	R	465	200	2
UNIT 15	R	465	200	2
UNIT 16	R	698	200	3
UNIT 17	R	712	200	4
UNIT 18	R	1004	200	5
UNIT 19	R	487	200	2
(EACH FLOOR) TOTAL OCCUPANT LOAD				97

4TH FLOOR OCCUPANT LOAD CALCULATIONS				
ROOM	OCCUPANCY CLASS	GROSS AREA	GROSS AREA PER OCCUPANT (TABLE 1004.1)	OCCUPANT LOAD
AMENITY LOUNGE	A-3	807	15 SF	54
TOTAL OCCUPANT LOAD				54

SECTION 901005.1				
EXIT QUANTITY AND CAPACITY PROVIDED				
EXIT TYPE	WIDTH	EGRESS WIDTH PER PERSON	EXIT OCCUPANCY	
STAIR A DOOR	35.0 IN.	0.2	180	
STAIR B DOOR	35.0 IN.	0.2	180	
STAIR C DOOR	35.0 IN.	0.2	180	
STAIR D DOOR	35.0 IN.	0.2	180	
TOTAL EXIT DOOR CAPACITY				720
STAIR A	45.0 IN.	0.3	150	
STAIR B	45.0 IN.	0.3	150	
STAIR C	45.0 IN.	0.3	150	
STAIR D	45.0 IN.	0.3	150	
TOTAL EXIT STAIR CAPACITY				600
MECHANICAL ROOM	F-2	11887	300 SF	40
TOTAL OCCUPANT LOAD				40
TOTAL OCCUPANT LOAD AT 4TH FLOOR (RES AND MECH)				151



KEY PLAN

NOTES:

LEGEND:  
2 HR. RATED FIRE SEPARATION  
3 HR. RATED FIRE SEPARATION

NOT FOR CONSTRUCTION

10/06/2017 ISSUED FOR DOB  
09/15/2017 90% CD SET AND #3  
06/02/2017 65% CD SET  
03/04/2017 50% CD SET  
03/10/2017 ISSUED FOR DOB  
03/01/2017 ISSUED FOR DOB  
02/14/2017 ISSUED FOR DOB  
01/07/2017 SUPERSTRUCTURE SET  
01/05/2017 ISSUED FOR DOB  
11/11/2016 100% DO FOUNDATION SET  
10/12/2016 ISSUED FOR DOB  
05/08/2016 ISSUED FOR DOB  
02/05/2016 DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

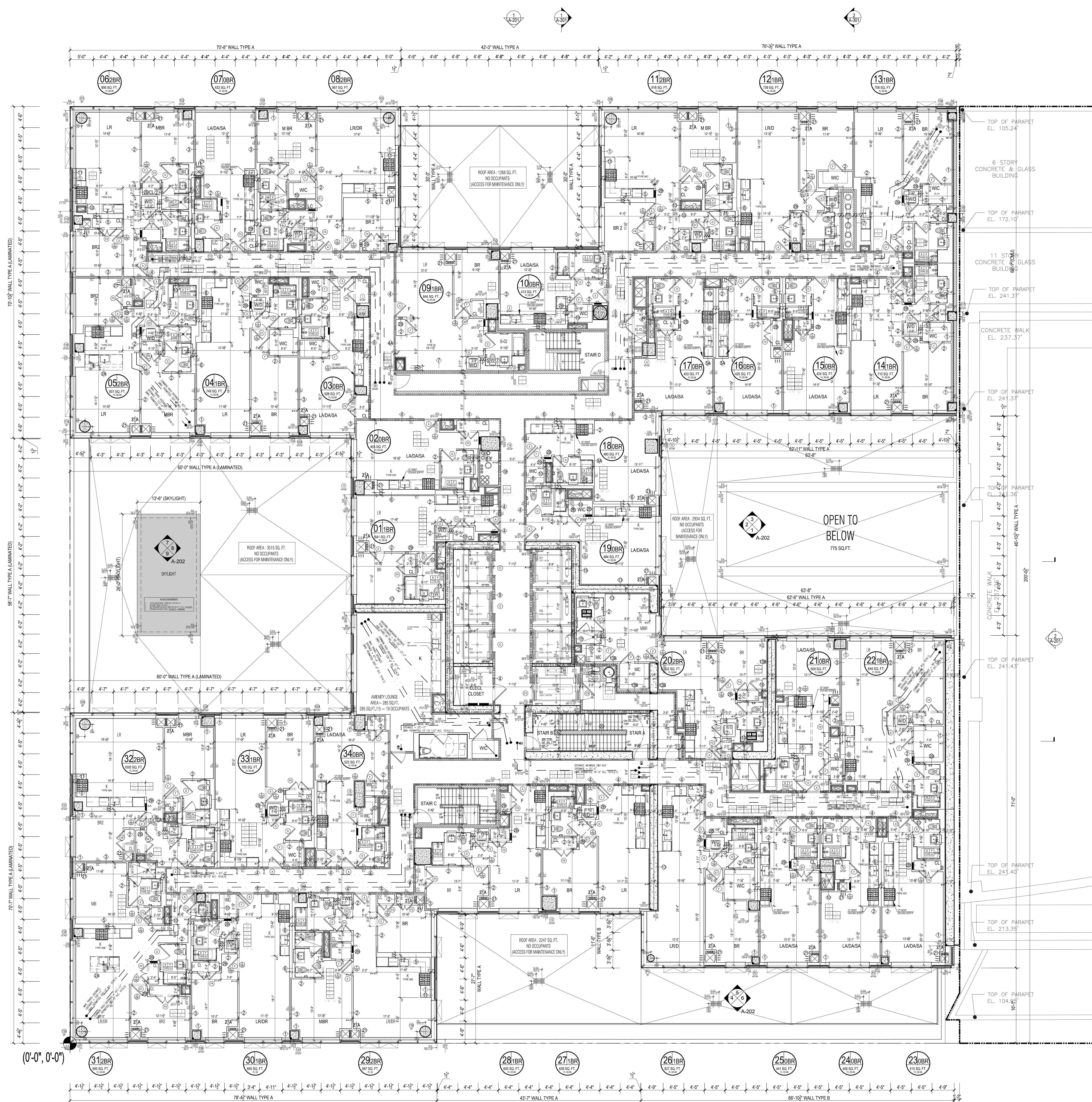
DOB STAMPS & SIGNATURES:

DWG TITLE:  
4TH FLOOR PLAN  
(PODIUM LEVEL)

SEAL & SIGNATURE:  
PROJECT #  
DATE: 10/06/2017  
PROJECT # 15412  
SCALE: 1/8"=1'-0"  
A-104.00  
DWG NO.

HEIGHT DIAGRAM  
Scale: 1/8"=1'



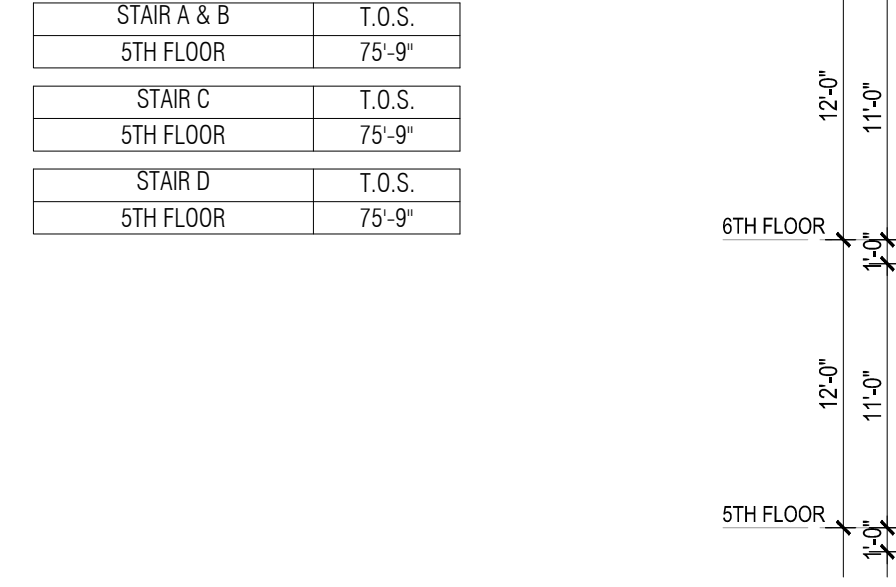


1 5TH FLOOR PLAN  
Scale: 1/8"=1'

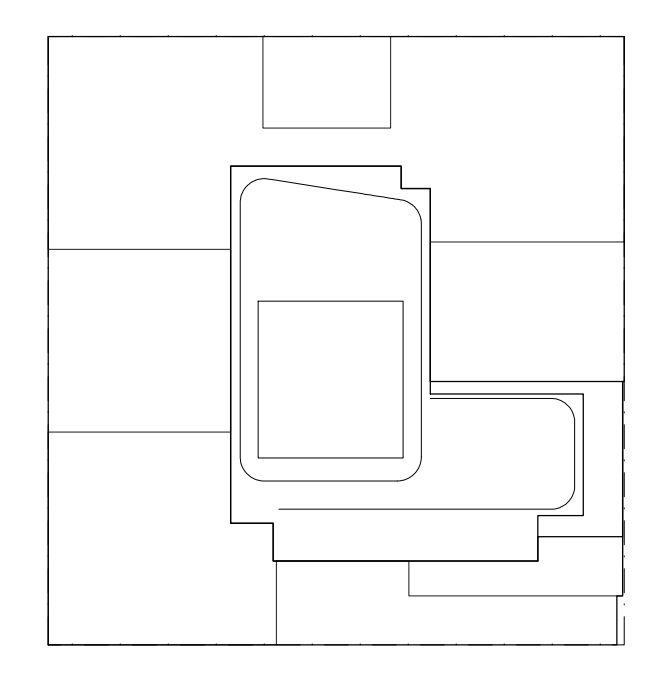
Apt. Light & Air Calculations 5th - 6th Floor (12'0" Height)						
UNIT	ROOM	HABITABLE AREA (Sq Ft)	10% LIGHT REQUIREMENT (Sq Ft)	LIGHT PROVIDED (Sq Ft)	% AIR REQUIREMENT (Sq Ft)	AIR PROVIDED (Sq Ft)
01	LR	297.22	29.72	163.90	14.86	17.81
	BR1	135.64	13.56	49.36	6.78	9.16
	BR2	105.15	10.52	46.15	5.26	8.91
02	LR	311.79	31.18	165.85	15.59	20.97
	BR1	121.18	12.12	23.58	6.06	9.32
	BR2	106.83	10.68	49.36	5.34	9.16
03	LR	278.64	27.86	47.16	13.93	18.64
	BR1	117.54	11.75	23.58	5.88	9.32
	BR2	159.88	15.99	24.10	7.99	8.24
04	LR	238.12	23.81	41.98	11.91	17.81
	BR1	116.68	11.67	46.15	5.83	8.91
	BR2	166.34	16.63	41.98	8.32	9.91
05	LR	168.23	16.82	48.88	8.41	8.99
	BR1	296.4	29.64	43.01	14.82	8.99
	BR2	139.02	13.90	21.51	6.95	8.99
06	LR	256.87	25.69	129.57	12.84	27.30
	BR1	119.51	11.95	43.01	5.98	17.98
	BR2	99.74	9.97	49.36	4.99	9.16
07	LR	265.90	26.59	139.09	13.80	18.31
	BR1	111.69	11.17	22.02	5.58	9.07
	BR2	101.16	10.12	49.36	5.26	9.16
08	LR	156.27	15.63	74.56	7.81	9.07
	BR1	272.83	27.28	160.08	13.64	27.22
	BR2	125.92	12.59	22.02	6.30	9.07
09	LR	237.33	23.73	48.20	11.87	18.81
	BR1	91.20	9.12	42.76	4.56	9.07
	BR2	237.33	23.73	48.20	11.87	18.81
10	LR	104.91	10.49	24.10	5.25	9.41
	BR1	160.34	16.03	48.20	8.02	18.81
	BR2	267.48	26.75	158.49	13.37	27.05
11	LR	115.32	11.53	21.51	5.77	8.99
	BR1	91.20	9.12	47.18	4.56	9.07
	BR2	301.55	30.16	68.73	15.08	17.98
12	LR	127.82	12.78	21.51	6.39	8.99
	BR1	235.47	23.55	43.01	11.77	17.98
	BR2	135.05	13.51	21.51	6.75	8.99
13	LR	274.20	27.42	43.09	13.71	18.31
	BR1	138.22	13.82	22.54	6.91	9.16
	BR2	166.75	16.68	45.09	8.34	18.31
14	LR	166.23	16.62	45.09	8.31	18.31
	BR1	205.02	20.50	45.09	10.45	18.31
	BR2	172.32	17.23	21.51	8.62	8.99
15	LR	246.95	24.70	68.73	12.35	17.98
	BR1	224.60	22.46	40.42	11.23	17.48
	BR2	153.25	15.33	21.51	7.66	8.99
16	LR	105.17	10.52	49.43	5.26	9.24
	BR1	195.60	19.56	50.43	9.78	18.48
	BR2	249.93	24.99	46.12	12.50	18.48
17	LR	115.68	11.57	23.06	5.78	9.24
	BR1	199.77	19.98	45.09	9.99	18.31
	BR2	150.13	15.01	45.09	7.51	18.31
18	LR	163.19	16.32	45.09	8.16	18.31
	BR1	399.58	39.96	128.03	19.98	18.31
	BR2	116.12	11.61	45.09	5.81	9.16
19	LR	236.99	23.70	44.05	11.85	18.14
	BR1	107.18	10.72	22.02	5.36	9.07
	BR2	146.60	14.66	44.05	7.33	18.14
20	LR	118.58	11.86	69.03	5.93	9.07
	BR1	234.01	23.40	46.12	11.70	18.48
	BR2	110.97	11.10	46.15	5.55	8.91
21	LR	225.22	22.52	114.99	6.36	9.91
	BR1	282.72	28.27	41.98	14.14	17.81
	BR2	99.10	9.91	20.99	4.96	8.91

5TH FLOOR OCCUPANT LOAD CALCULATIONS				
ROOM	OCCUPANCY CLASS	GROSS AREA	OCCUPANT PER OCCUPANT (TABLE 1004.1)	OCCUPANT LOAD
UNIT 01	R	998	200	5
UNIT 02	R	1007	200	5
UNIT 03	R	700	200	4
UNIT 04	R	521	200	3
UNIT 05	R	714	200	4
UNIT 06	R	507	200	3
UNIT 07	R	748	200	4
UNIT 08	R	932	200	5
UNIT 09	R	907	200	5
UNIT 10	R	420	200	2
UNIT 11	R	956	200	5
UNIT 12	R	583	200	3
UNIT 13	R	417	200	2
UNIT 14	R	916	200	5
UNIT 15	R	729	200	4
UNIT 16	R	708	200	4
UNIT 17	R	704	200	4
UNIT 18	R	424	200	2
UNIT 19	R	428	200	2
UNIT 20	R	459	200	2
UNIT 21	R	479	200	2
UNIT 22	R	483	200	2
UNIT 23	R	954	200	5
UNIT 24	R	526	200	3
UNIT 25	R	845	200	4
UNIT 26	R	510	200	3
UNIT 27	R	428	200	2
UNIT 28	R	425	200	2
UNIT 29	R	829	200	4
UNIT 30	R	657	200	3
UNIT 31	R	657	200	3
UNIT 32	R	980	200	5
UNIT 33	R	659	200	3
UNIT 34	R	285	15	19
UNIT 35	R	285	15	19
AMENITY LOUNGE	R	285	15	19
COMMON TERRACE	R	285	15	19
(EACH FLOOR) TOTAL OCCUPANT LOAD				149

(SECTION SC1005.1)			
EXIT TYPE	WIDTH	EGRESS WIDTH PER PERSON	EXIT OCCUPANCY
STAIR A DOOR	36.0 IN.	0.2	180
STAIR B DOOR	36.0 IN.	0.2	180
STAIR C DOOR	36.0 IN.	0.2	180
STAIR D DOOR	36.0 IN.	0.2	180
TOTAL EXIT DOOR CAPACITY			720
STAIR A	45.0 IN.	0.3	150
STAIR B	45.0 IN.	0.3	150
STAIR C	45.0 IN.	0.3	150
STAIR D	45.0 IN.	0.3	150
TOTAL EXIT STAIR CAPACITY			600
TOTAL OCCUPANT LOAD AT 5TH FLOOR (RES. LOUNGE, PUBLIC TERRACE)			
STAIR A & B	T.O.S.	75.9'	
STAIR C	T.O.S.	75.9'	
STAIR D	T.O.S.	75.9'	
5TH FLOOR	T.O.S.	75.9'	



HEIGHT DIAGRAM  
Scale: 1/8"=1'



KEY PLAN

NOTES:  
LEGEND:  
2 HR. RATED FIRE SEPARATION  
3 HR. RATED FIRE SEPARATION

NOT FOR CONSTRUCTION

10/06/2017 ISSUED FOR DOB  
09/15/2017 90% CD SET AND #3  
06/02/2017 65% CD SET  
03/04/2017 50% CD SET  
03/01/2017 ISSUED FOR DOB  
02/14/2017 ISSUED FOR DOB  
01/07/2017 SUPERSTRUCTURE SET  
01/05/2017 ISSUED FOR DOB  
11/01/2016 100% DOB FOUNDATION SET  
10/12/2016 ISSUED FOR DOB  
05/08/2016 ISSUED FOR DOB  
02/05/2016 DOB FILING SET

Number: Date Revision:  
Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101  
Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

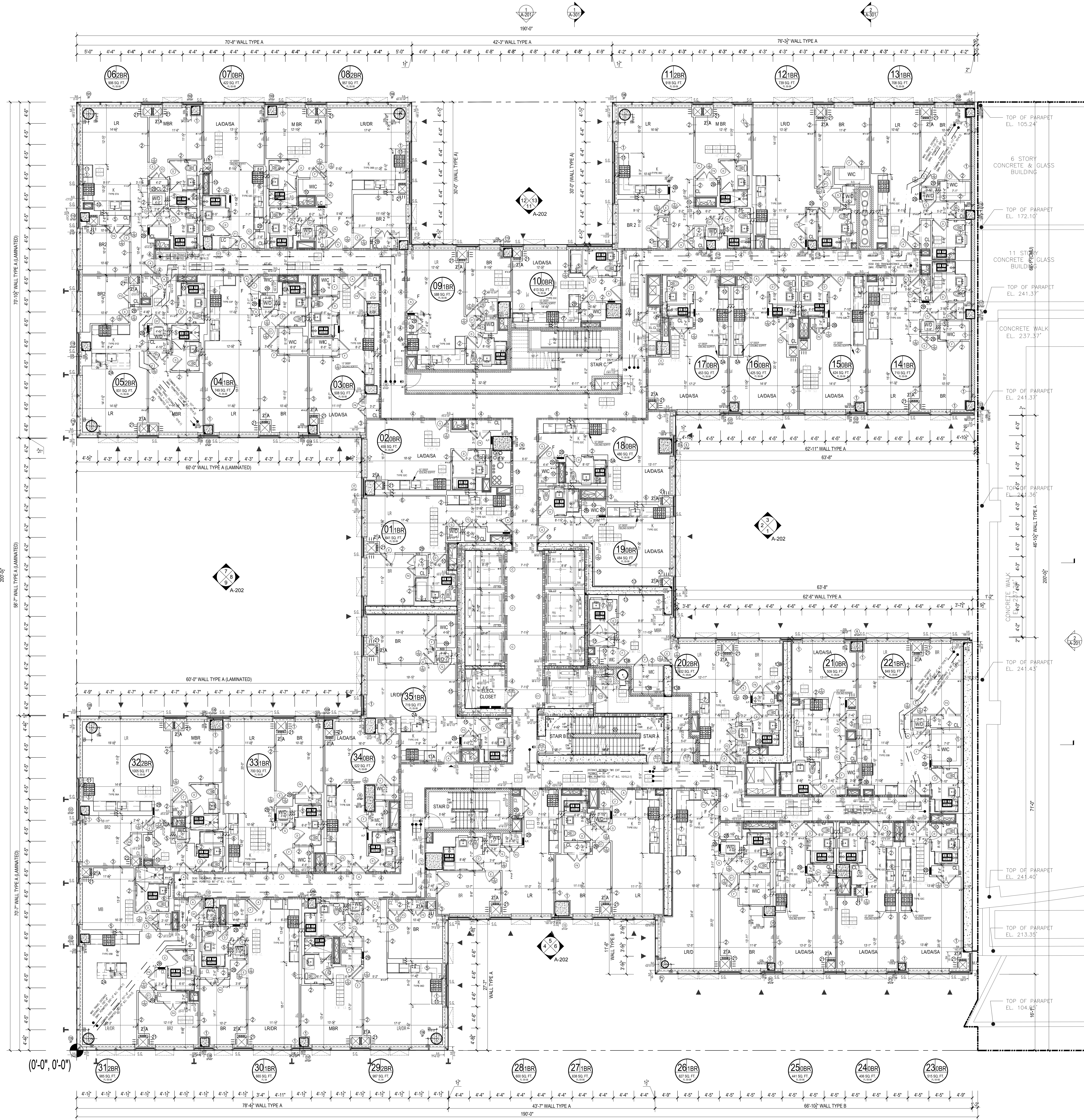
Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:  
**5TH FLOOR PLAN (PODIUM LEVEL)**  
SEAL & SIGNATURE:  
PROJECT #  
DATE: 10/06/2017  
PROJECT #  
SCALE: 1/8"=1'-0"  
A-105.00  
DWG NO.  
025 OF 105



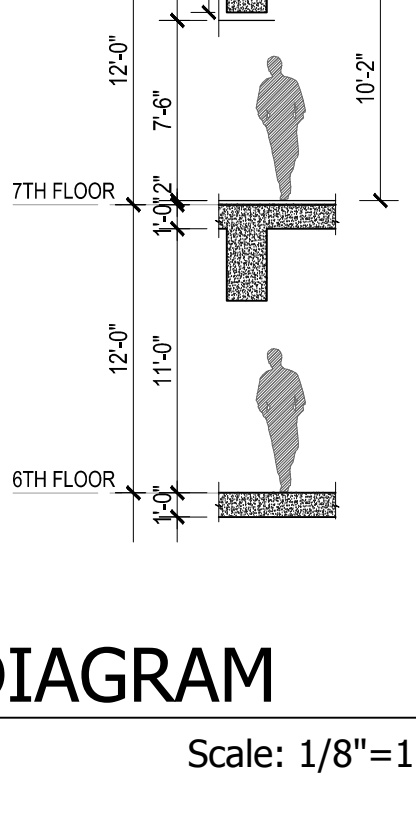


1 6TH FLOOR PLAN  
Scale: 1/8"=1'

Apt. Light & Air Calculations 5th - 6th Floor (12'0" Height)						
UNIT	ROOM	HABITABLE AREA (Sq Ft)	10% LIGHT REQUIREMENT (Sq Ft)	LIGHT PROVIDED (Sq Ft)	% AIR REQUIREMENT (Sq Ft)	AIR PROVIDED (Sq Ft)
01	LR	297.22	29.72	163.90	14.86	17.81
	BR1	135.64	13.56	49.36	6.78	9.16
	BR2	105.15	10.52	46.15	5.36	8.91
02	LR	311.79	31.18	165.80	15.59	27.97
	BR1	121.18	12.12	23.58	6.06	9.32
	BR2	106.83	10.68	49.36	5.34	9.16
03	LR	278.64	27.86	47.16	13.93	18.64
	BR1	117.54	11.75	23.58	5.88	9.32
04	STUDIO	159.88	15.99	24.10	7.99	8.24
05	LR	213.55	21.36	41.98	10.68	17.81
	BR1	116.00	11.60	20.99	5.80	8.91
	BR2	238.12	23.81	41.98	11.91	17.81
06	BR1	116.68	11.67	46.15	5.83	8.91
07	STUDIO	166.54	16.65	41.98	8.22	9.91
08	STUDIO	168.23	16.82	48.88	8.41	8.99
09	LR	296.4	29.64	43.01	14.82	8.99
	BR1	139.02	13.90	21.51	6.95	8.99
10	BR1	256.87	25.69	129.57	12.84	27.39
	BR2	119.51	11.95	43.01	5.98	17.98
	BR3	99.74	9.97	49.36	4.99	9.16
11	LR	265.90	26.59	139.09	13.30	18.31
	BR1	111.69	11.17	22.02	5.58	9.07
	BR2	105.15	10.52	49.36	5.36	9.16
12	STUDIO	156.27	15.63	74.56	7.81	9.07
13	LR	272.83	27.28	160.08	13.64	27.22
	BR1	125.92	12.59	22.02	6.30	9.07
	BR2	91.20	9.12	42.76	4.56	9.07
14	LR	237.33	23.73	48.20	11.87	18.81
	BR1	104.91	10.49	24.10	5.25	9.41
15	STUDIO	160.34	16.03	48.20	8.02	18.81
16	LR	267.48	26.75	158.49	13.37	27.05
	BR1	115.32	11.53	21.51	5.77	8.99
	BR2	91.20	9.12	47.18	4.56	9.07
17	LR	301.55	30.16	68.73	15.08	17.98
	BR1	127.82	12.78	21.51	6.39	8.99
18	LR	235.47	23.55	43.01	11.77	17.98
	BR1	135.05	13.51	21.51	6.75	8.99
19	LR	274.20	27.42	45.09	13.71	18.31
	BR1	138.22	13.82	22.54	6.91	9.16
20	STUDIO	166.75	16.68	45.09	8.34	18.31
21	STUDIO	166.23	16.62	45.09	8.31	18.31
22	STUDIO	205.02	20.50	45.09	10.25	18.31
23	STUDIO	173.32	17.33	21.51	8.62	8.99
24	STUDIO	246.95	24.70	68.73	12.35	17.98
25	LR	224.60	22.46	40.42	11.23	17.48
	BR1	153.25	15.33	21.51	7.66	8.99
	BR2	105.17	10.52	49.36	5.36	9.24
26	STUDIO	195.60	19.56	50.43	9.78	18.48
27	LR	249.93	24.99	46.12	12.50	18.48
	BR1	115.68	11.57	23.06	5.78	9.24
28	STUDIO	199.77	19.98	45.09	9.99	18.31
29	STUDIO	150.13	15.02	45.09	7.51	18.31
30	STUDIO	163.19	16.32	45.09	8.16	18.31
31	LR	399.58	39.96	128.03	19.98	18.31
	BR1	116.12	11.61	45.09	5.81	9.16
32	LR	236.99	23.70	44.05	11.85	18.14
	BR1	107.18	10.72	22.02	5.36	9.07
33	LR	146.60	14.66	44.05	7.33	18.14
	BR1	118.58	11.86	69.03	5.93	9.07
34	LR	234.01	23.40	46.12	11.70	18.48
	BR1	110.97	11.10	46.15	5.55	8.91
	BR2	123.22	12.32	114.99	6.26	8.91
35	LR	282.72	28.27	41.98	14.14	17.81
	BR1	99.10	9.91	20.99	4.96	8.91

6TH FLOOR OCCUPANT LOAD CALCULATIONS				
ROOM	OCCUPANCY CLASS	GROSS AREA	PER OCCUPANT TABLE 1004.1	OCCUPANT LOAD
UNIT 01	R	998	200	5
UNIT 02	R	1007	200	5
UNIT 03	R	700	200	4
UNIT 04	R	521	200	3
UNIT 05	R	719	200	4
UNIT 06	R	642	200	3
UNIT 07	R	455	200	2
UNIT 08	R	507	200	3
UNIT 09	R	748	200	4
UNIT 10	R	932	200	5
UNIT 11	R	907	200	5
UNIT 12	R	420	200	2
UNIT 13	R	956	200	5
UNIT 14	R	593	200	3
UNIT 15	R	417	200	2
UNIT 16	R	918	200	5
UNIT 17	R	729	200	4
UNIT 18	R	708	200	4
UNIT 19	R	704	200	4
UNIT 20	R	424	200	2
UNIT 21	R	428	200	2
UNIT 22	R	459	200	2
UNIT 23	R	479	200	2
UNIT 24	R	483	200	2
UNIT 25	R	934	200	5
UNIT 26	R	526	200	3
UNIT 27	R	845	200	4
UNIT 28	R	510	200	3
UNIT 29	R	428	200	2
UNIT 30	R	425	200	2
UNIT 31	R	829	200	4
UNIT 32	R	637	200	3
UNIT 33	R	601	200	3
UNIT 34	R	980	200	5
UNIT 35	R	659	200	3
(EACH ROOM) TOTAL OCCUPANT LOAD				116

SECTION BC100.1.1			
EXIT WIDTH AND CAPACITY PROVIDED			
EXIT TYPE	WIDTH	EGRESS WIDTH PER PERSON	EXIT OCCUPANCY
STAR A DOOR	36.0 IN.	0.2	180
STAR B DOOR	36.0 IN.	0.2	180
STAR C DOOR	36.0 IN.	0.2	180
STAR D DOOR	36.0 IN.	0.2	180
TOTAL EXIT DOOR CAPACITY			720
STAR A	45.0 IN.	0.3	150
STAR B	45.0 IN.	0.3	150
STAR C	45.0 IN.	0.3	150
STAR D	45.0 IN.	0.3	150
TOTAL EXIT STAIR CAPACITY			600
TOTAL OCCUPANT LOAD AT 6TH FLOOR			
STAR A & B	T.O.S.		
6TH FLOOR	87'-9"		
STAR C	T.O.S.		
6TH FLOOR	87'-9"		
STAR D	T.O.S.		
6TH FLOOR	87'-9"		



KEY PLAN

NOTES:

LEGEND:

- 2 HR. RATED FIRE SEPARATION
- 3 HR. RATED FIRE SEPARATION

NOT FOR CONSTRUCTION

10/06/2017 ISSUED FOR DOB  
09/15/2017 99% DOB SET AND #3  
06/02/2017 65% DOB SET  
02/04/2017 50% DOB SET  
03/10/2017 ISSUED FOR DOB  
03/01/2017 ISSUED FOR DOB  
02/14/2017 ISSUED FOR DOB  
01/07/2017 SUPERSTRUCTURE SET  
01/05/2017 ISSUED FOR DOB  
11/01/2016 100% DOB FOUNDATION SET  
10/12/2016 ISSUED FOR DOB  
05/08/2016 ISSUED FOR DOB  
02/05/2016 DOB FILING SET

Number: Date: Revision:  
Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

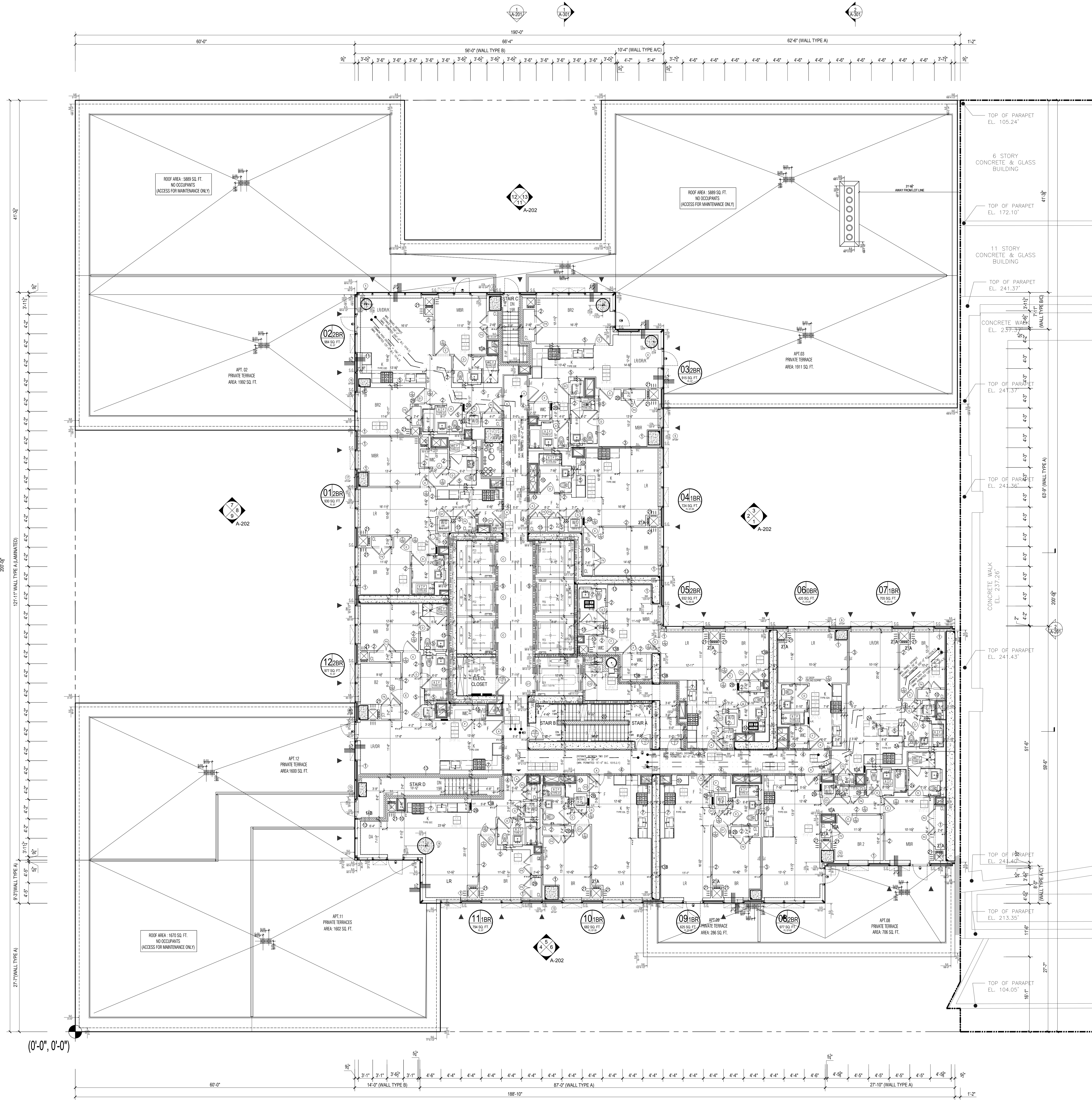
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:  
**6TH FLOOR PLAN (PODIUM LEVEL)**

SEAL & SIGNATURE: PROJECT # DATE: 10/06/2017  
PROJECT # 15412  
SCALE: 1/8"=1'-0"  
**A-106.00**  
DWG NO. 005 OF 105





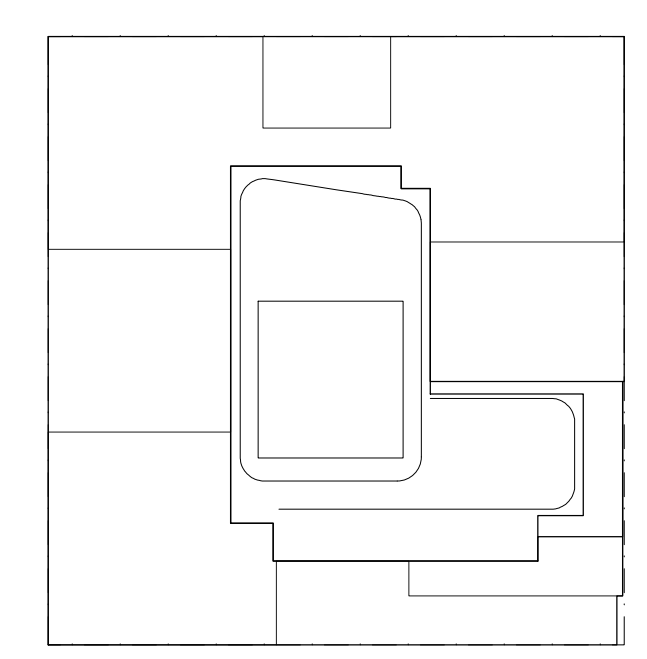
1 7TH FLOOR PLAN  
Scale: 1/8"=1'

Apt. Light & Air Calculations 7th Floor (12'0" Height)							
UNIT	ROOM	HABITABLE AREA (Sq Ft)	10% LIGHT REQUIREMENT (Sq Ft)	LIGHT PROVIDED (Sq Ft)	10% AIR REQUIREMENT (Sq Ft)	5% AIR PROVIDED (Sq Ft)	AIR PROVIDED (Sq Ft)
01	LR	326.23	32.62	209.43	16.31	17.31	
	BR1	123.58	12.36	48.29	6.18	9.07	
02	LR	184.55	18.46	46.15	9.23	8.91	
	BR1	142.89	14.29	46.15	7.14	8.91	
03	LR	165.81	16.58	46.15	8.29	8.91	
	BR1	125.16	12.52	20.99	6.26	8.91	
04	LR	234.27	23.43	143.44	11.71	17.81	
	BR1	130.04	13.00	55.46	6.50	8.24	
05	LR	109.37	10.94	46.15	5.47	8.91	
	BR1	248.20	24.82	112.41	12.41	17.98	
06	LR	105.95	10.60	21.51	5.30	8.99	
	BR2	139.47	13.95	130.74	6.97	24.38	
07	LR	233.30	23.33	68.73	11.67	17.98	
	BR1	137.98	13.80	47.22	6.90	8.99	
08	LR	224.60	22.46	40.42	11.23	17.48	
	BR1	153.25	15.33	21.51	7.66	8.99	
09	LR	105.17	10.52	50.43	5.26	9.24	
	BR1	157.06	15.71	50.43	7.85	9.24	
10	LR	281.25	28.13	46.12	14.06	18.48	
	BR1	140.09	14.01	23.06	7.00	9.24	
11	LR	272.16	27.22	100.81	13.61	26.05	
	BR1	138.95	13.90	45.09	6.95	18.31	
12	LR	97.67	9.77	22.54	4.88	9.16	
	BR1	223.58	22.36	44.05	11.18	18.14	
13	LR	121.62	12.16	22.02	6.08	9.07	
	BR1	257.64	25.76	44.05	12.88	18.14	
14	LR	120.52	12.05	22.02	6.03	9.07	
	BR1						

7TH FLOOR OCCUPANT LOAD CALCULATIONS			
ROOM	OCCUPANCY CLASS	GROSS AREA	OCCUPANT LOAD
UNIT 01	R	793	200
UNIT 02	R	977	200
UNIT 03	R	931	200
UNIT 04	R	977	200
UNIT 05	R	924	200
UNIT 06	R	721	200
UNIT 07	R	934	200
UNIT 08	R	424	200
UNIT 09	R	703	200
UNIT 10	R	975	200
UNIT 11	R	624	200
UNIT 12	R	682	200
(EACH FLOOR) TOTAL OCCUPANT LOAD			
48			

(SECTION BC1005.1)			
EXIT TYPE	WIDTH	EGRESS WIDTH PER PERSON	EXIT OCCUPANCY
STAIR A DOOR	36.0 IN.	0.2	180
STAIR B DOOR	36.0 IN.	0.2	180
TOTAL EXIT DOOR CAPACITY			360
STAIR A	45.0 IN.	0.3	150
STAIR B	45.0 IN.	0.3	150
TOTAL EXIT STAIR CAPACITY			300
TOTAL OCCUPANT LOAD AT 7TH FLOOR			
48			

STAIR A	T.O.S.
7TH FLOOR	99'-9"
STAIR B	T.O.S.
7TH FLOOR	99'-9"
STAIR C	T.O.S.
7TH FLOOR	99'-9"
STAIR D	T.O.S.
7TH FLOOR	99'-9"



KEY PLAN

NOTES:

LEGEND:  
2 HR. RATED FIRE SEPARATION  
3 HR. RATED FIRE SEPARATION

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/15/2017	99% CD SET AND #3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/11/2016	100% DO FOUNDATION HD SET
10/12/2016	ISSUED FOR DOB
05/08/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

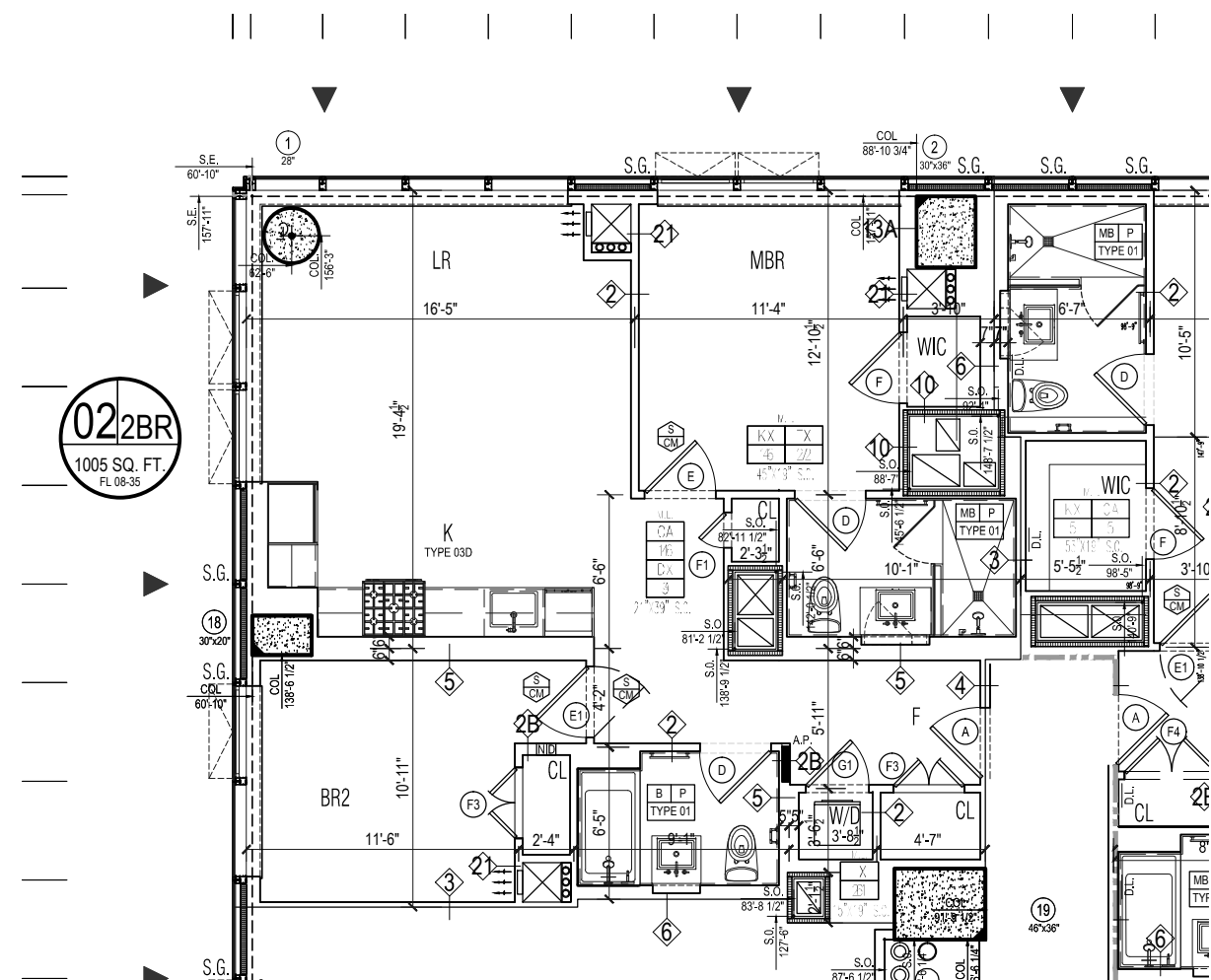
DWG TITLE:  
7TH FLOOR PLAN  
(LOWER LEVEL)

SEAL & SIGNATURE:  
PROJECT #  
SCALE: 1/8"=1'-0"  
DWG NO.  
DATE: 10/06/2017  
PROJECT # 15412  
SCALE: 1/8"=1'-0"  
A-107.00

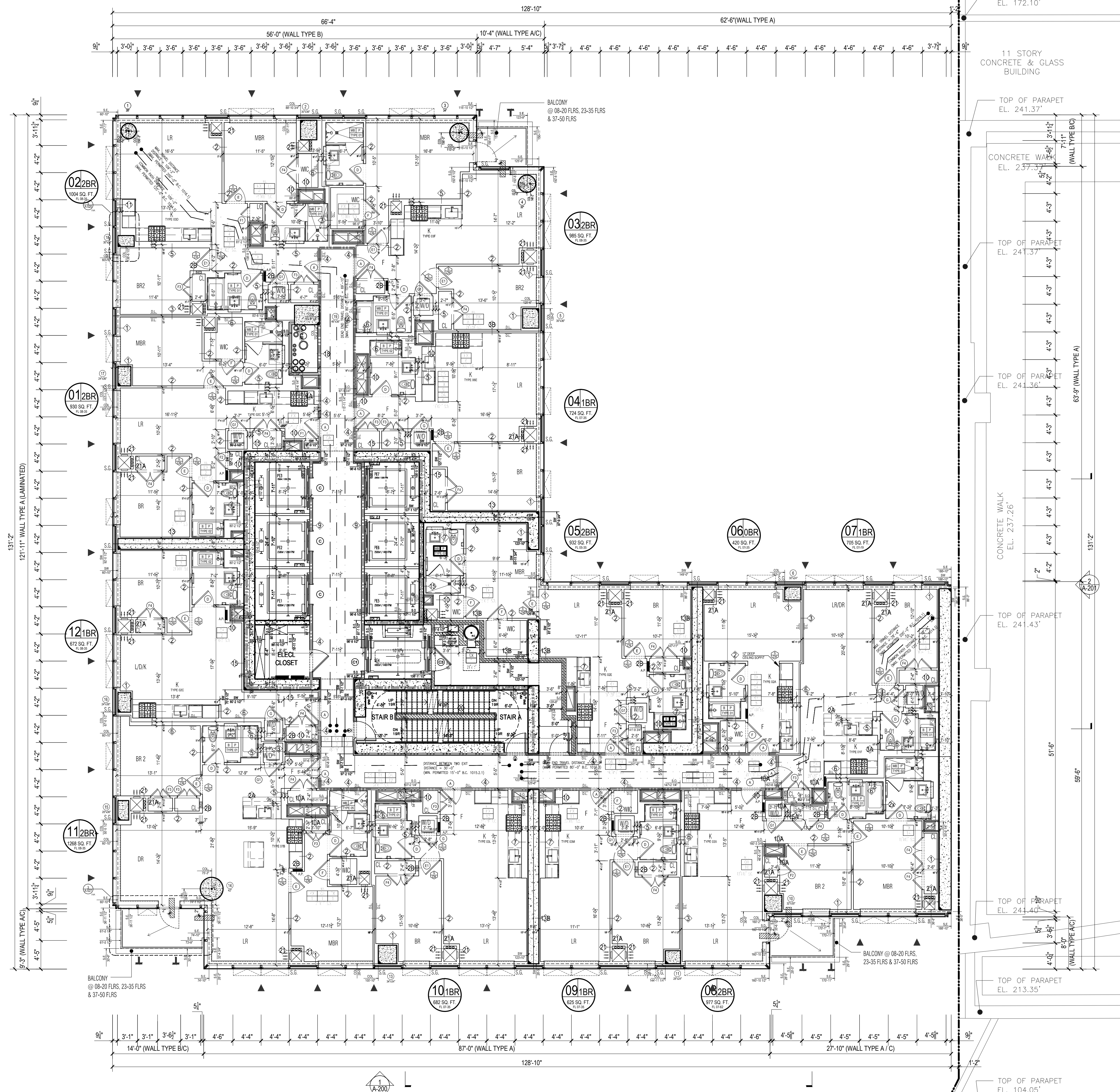


HEIGHT DIAGRAM  
Scale: 1/8"=1'





2 UNIT 4 PARTIAL PLAN @ 8TH FL.  
Scale: 1/8"=1'



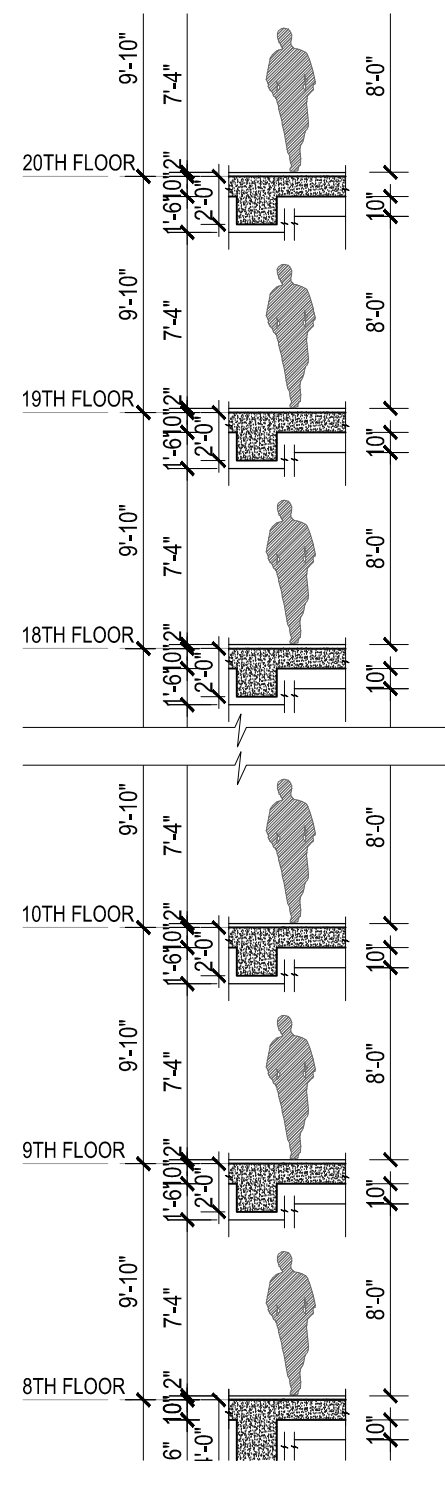
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1 8TH -19TH FLOOR PLAN  
Scale: 1/8"=1'

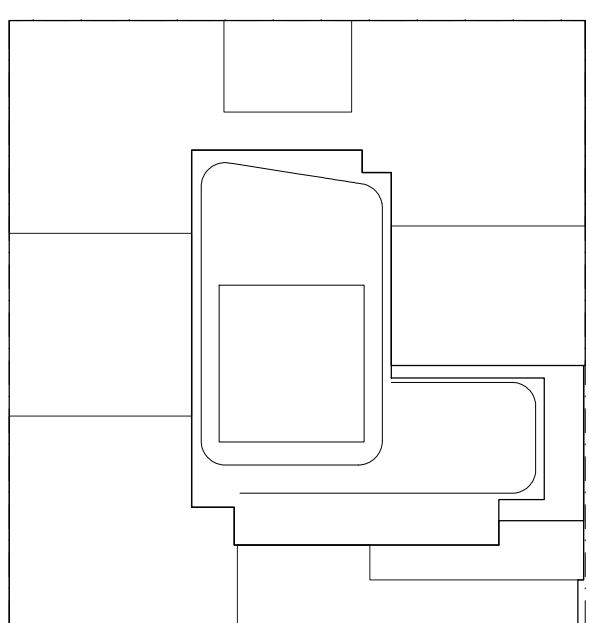
Apt. Light & Air Calculations 8-19th Floor (9'10" Height)					
UNIT	ROOM	HABITABLE AREA (Sq Ft)	10% LIGHT REQUIREMENT (Sq Ft)	LIGHT PROVIDED (Sq Ft)	% AIR REQUIREMENT (Sq Ft)
01	LR	583.22	58.32	284.09	29.16
	BR1	146.57	14.66	49.54	7.33
	BR2	112.01	11.20	47.34	5.60
02	LR	193.82	19.38	47.34	9.69
	BR1	106.43	10.64	47.34	5.32
	LR	165.81	16.58	47.34	8.29
03	LR	125.16	12.52	21.55	6.26
	BR2	107.99	10.80	47.34	5.40
	LR	234.27	23.43	147.12	11.71
04	BR1	146.94	14.69	56.91	7.35
	BR2	109.37	10.94	47.34	5.47
	LR	212.40	21.24	115.30	10.62
05	BR1	175.67	17.57	134.11	8.68
	BR2	126.62	12.66	22.08	6.23
	LR	233.30	23.33	70.52	11.67
06	LR	137.98	13.80	48.44	6.90
	LR	224.60	22.46	41.51	11.23
	BR1	153.25	15.33	22.08	7.66
07	BR2	105.17	10.52	51.74	5.26
	STUDIO	157.06	15.71	51.74	7.85
	LR	281.25	28.13	47.36	14.06
08	BR1	140.09	14.01	23.68	7.00
	LR	272.16	27.22	103.44	13.61
	BR1	138.05	13.80	46.29	6.95
09	BR2	97.67	9.77	23.15	4.88
	LR	223.58	22.36	45.23	11.18
	BR1	121.62	12.16	22.62	6.08
10	LR	257.64	25.76	45.23	12.88
	BR1	120.52	12.05	22.62	6.03
	BR1				

8TH THRU 19TH FLOOR OCCUPANT LOAD CALCULATIONS			
ROOM	OCCUPANCY CLASS	GROSS AREA PER OCCUPANT (TABLE 1004.1)	OCCUPANT LOAD
UNIT 01	R	1268	200
UNIT 02	R	672	200
UNIT 03	R	931	200
UNIT 04	R	1004	200
UNIT 05	R	989	200
UNIT 06	R	721	200
UNIT 07	R	934	200
UNIT 08	R	424	200
UNIT 09	R	703	200
UNIT 10	R	975	200
UNIT 11	R	624	200
UNIT 12	R	682	200
(EACH FLOOR) TOTAL OCCUPANT LOAD			60
TOTAL OCCUPANT LOAD EACH FLOOR (8TH-19TH FLOOR)			50

(SECTION RC1005.1)			
EXIT QUANTITY AND CAPACITY PROVIDED:			
EXIT TYPE	WIDTH	EGRESS WIDTH PER PERSON	EXIT OCCUPANCY
STAR A DOOR	36.0 IN.	0.2	180
STAR B DOOR	36.0 IN.	0.2	180
TOTAL EXIT DOOR CAPACITY			360
STAR A	45.0 IN.	0.3	150
STAR B	45.0 IN.	0.3	150
TOTAL EXIT STAR CAPACITY			300



HEIGHT DIAGRAM  
Scale: 1/8"=1'



KEY PLAN

NOTES:

- LEGEND:
- 2 HR. RATED FIRE SEPARATION
  - 3 HR. RATED FIRE SEPARATION

VERTICAL GUIDE TRACK  
ANCHOR INSTALLED IN BUILDING  
FACADE FOR INTERMITTENT  
STABILIZATION OF SUSPENDED  
PLATFORM.

APPROXIMATE LOCATION OF  
STAINLESS STEEL BUILDING  
ANCHOR INSTALLED IN BUILDING  
FACADE FOR INTERMITTENT  
STABILIZATION OF SUSPENDED  
PLATFORM.

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/19/2017	90% CD SET AND #3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/11/2016	100% CD FOUNDATION SET
10/12/2016	ISSUED FOR DOB
05/09/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:  
8TH-19TH FLOORS PLAN  
(LOWER LEVEL)

SEAL & SIGNATURE:  
REGISTERED ARCHITECT  
PROJECT #  
DATE: 10/06/2017  
PROJECT # 15412  
SCALE: 1/8"=1'-0"  
A-108.00  
DWG NO.

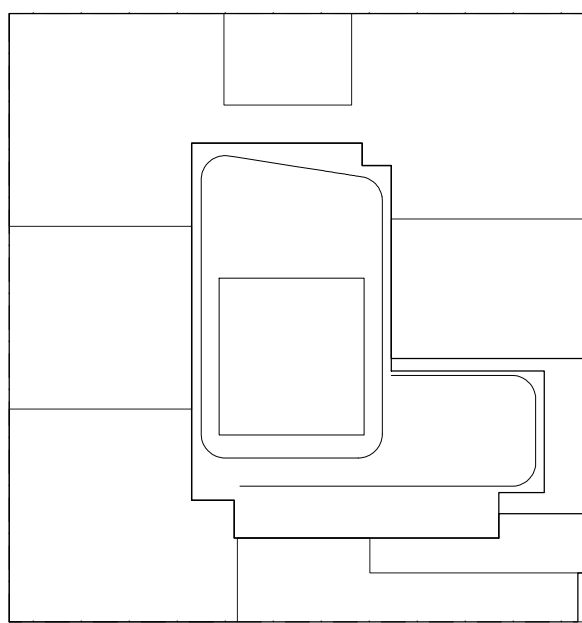












KEY PLAN

NOTES:

LEGEND:  
2 HR. RATED FIRE SEPARATION  
3 HR. RATED FIRE SEPARATION

Apt. Light & Air Calculations 37th Floor (12'0" Height)					
UNIT	ROOM	HABITABLE AREA (Sq Ft)	10% LIGHT REQUIREMENT (Sq Ft)	LIGHT PROVIDED (Sq Ft)	5% AIR REQUIREMENT (Sq Ft)
01	LR	292.45	29.25	112.34	14.62
	BR1	190.29	19.03	147.61	9.51
	BR2	110.74	11.07	48.29	5.54
02	LR	243.96	24.40	41.98	12.20
	BR1	156.90	15.69	20.99	7.85
	BR2	217.69	21.77	92.30	10.88
03	LR	133.59	13.36	46.15	6.68
	BR1	262.45	26.25	127.13	13.12
	BR2	137.28	13.73	46.15	6.86
04	LR	113.39	11.34	38.10	5.67
	BR1	278.16	27.82	130.74	13.91
	BR2	118.98	11.90	17.35	5.95
05	LR	225.32	22.53	43.01	11.77
	BR1	106.17	10.62	74.93	5.31
	BR2	166.19	16.62	43.01	8.31
06	LR	125.90	12.59	47.22	6.30
	BR1	240.30	24.03	66.86	12.02
	BR2	102.61	10.26	40.03	5.13
07	STUDIO	154.00	15.40	46.12	7.70
	LR	254.53	25.45	129.07	12.73
	BR1	127.10	12.71	50.43	6.36
08	LR	96.49	9.65	58.83	4.82
	BR1	272.68	27.27	112.83	13.63
	BR2	138.96	13.90	49.36	6.95
09	LR	97.67	9.77	26.82	4.88
	BR1	270.83	27.08	44.05	13.54
	BR2	136.32	13.63	44.05	6.82
10	LR	105.67	10.57	22.02	5.28
	BR1	105.67	10.57	22.02	5.28
	BR2	105.67	10.57	22.02	5.28

37TH FLOOR OCCUPANT LOAD CALCULATIONS			
ROOM	OCCUPANCY CLASS	GROSS AREA PER OCCUPANT (TABLE 1004.1)	OCCUPANT LOAD
UNIT 01	R	1313	7
UNIT 02	R	753	4
UNIT 03	R	726	4
UNIT 04	R	983	5
UNIT 05	R	684	3
UNIT 06	R	643	3
UNIT 07	R	623	3
UNIT 08	R	739	4
UNIT 09	R	401	2
UNIT 10	R	962	5
UNIT 11	R	975	5
UNIT 12	R	973	5
(EACH FLOOR) TOTAL OCCUPANT LOAD			49
TOTAL OCCUPANT LOAD AT 37TH FLOOR			49

(SECTION RC1006.1)			
EXIT TYPE	WIDTH	EGRESS WIDTH PER PERSON	EXIT OCCUPANCY
STAR A DOOR	36.0 IN.	0.2	180
STAR B DOOR	36.0 IN.	0.2	180
TOTAL EXIT DOOR CAPACITY			360
STAR A	45.0 IN.	0.3	150
STAR B	45.0 IN.	0.3	150
TOTAL EXIT STAR CAPACITY			300

NOT FOR CONSTRUCTION

10/06/2017 ISSUED FOR DOB  
09/15/2017 99% CD SET AND #3  
09/02/2017 65% CD SET  
03/04/2017 50% CD SET  
03/10/2017 ISSUED FOR DOB  
03/01/2017 ISSUED FOR DOB  
02/14/2017 ISSUED FOR DOB  
01/07/2017 SUPERSTRUCTURE SET  
01/05/2017 ISSUED FOR DOB  
11/11/2016 100% DOB FOUNDATION HD SET  
10/12/2016 ISSUED FOR DOB  
05/09/2016 ISSUED FOR DOB  
02/05/2016 DOB FILING SET

Number: Date: Revision:

Project:

**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:

**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:

**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:

**37TH FLOOR PLAN**  
(HIGH LEVEL)

SEAL & SIGNATURE:

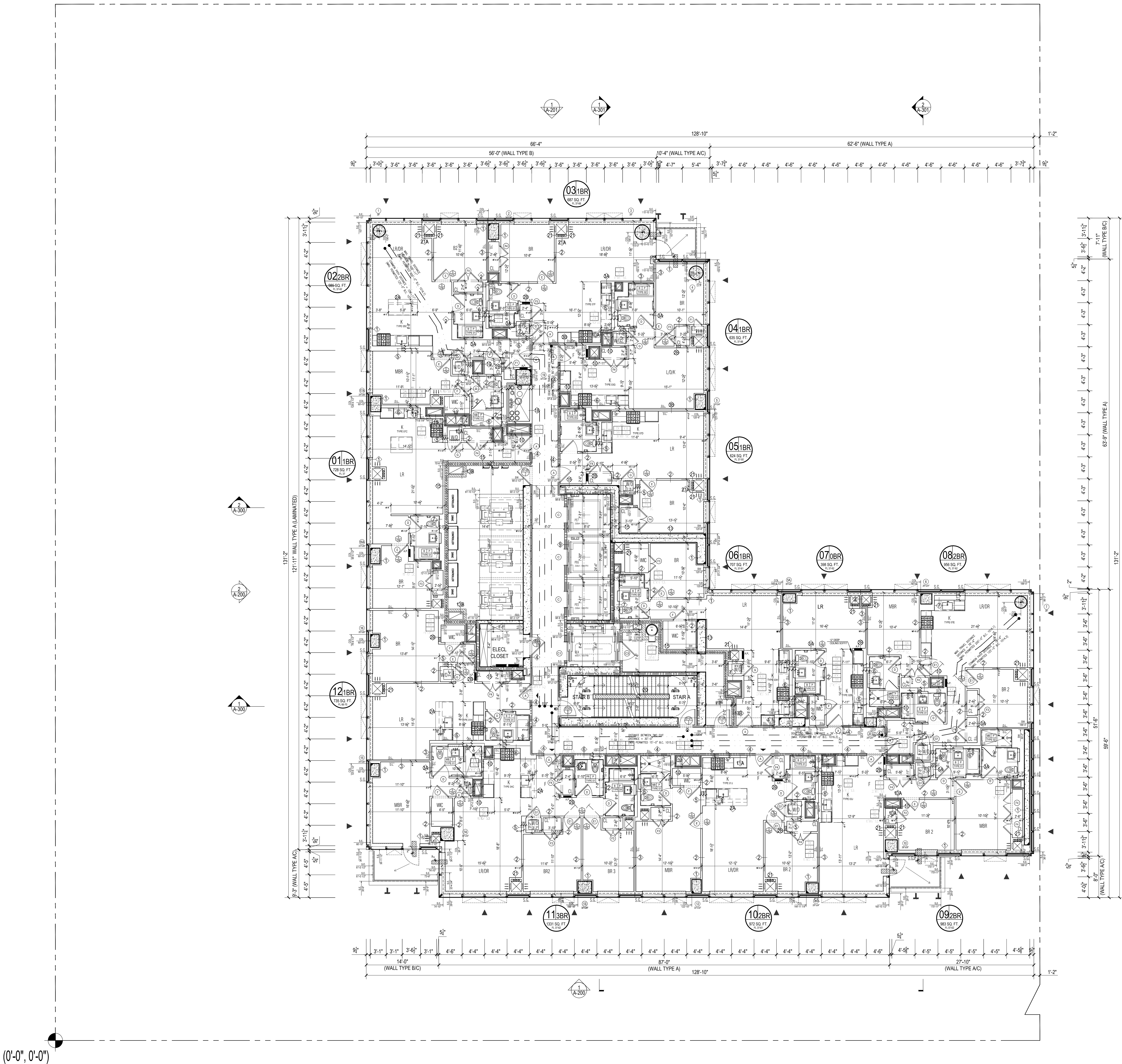
REGISTERED ARCHITECT  
PROJECT #  
DATE  
SCALE  
DWG NO.

DATE: 10/06/2017

PROJECT # 15412

SCALE: 1/8" = 1'-0"

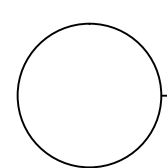
DWG NO. A-111.00



1

**37TH FLOOR PLAN**

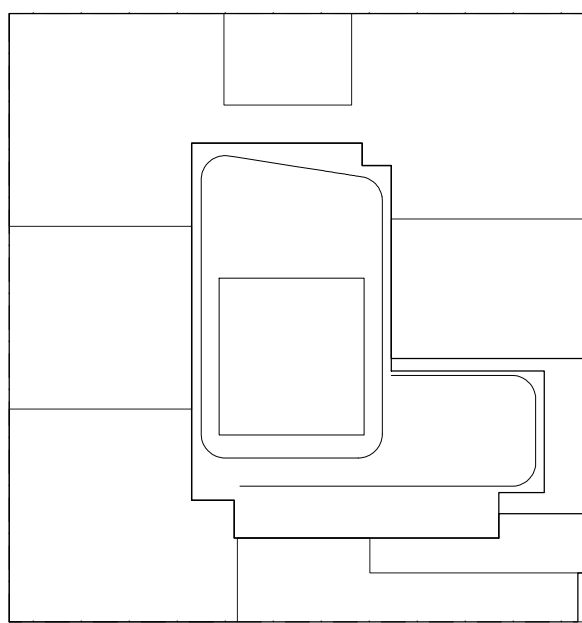
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**HEIGHT DIAGRAM**

Scale: 1/8" = 1'





KEY PLAN

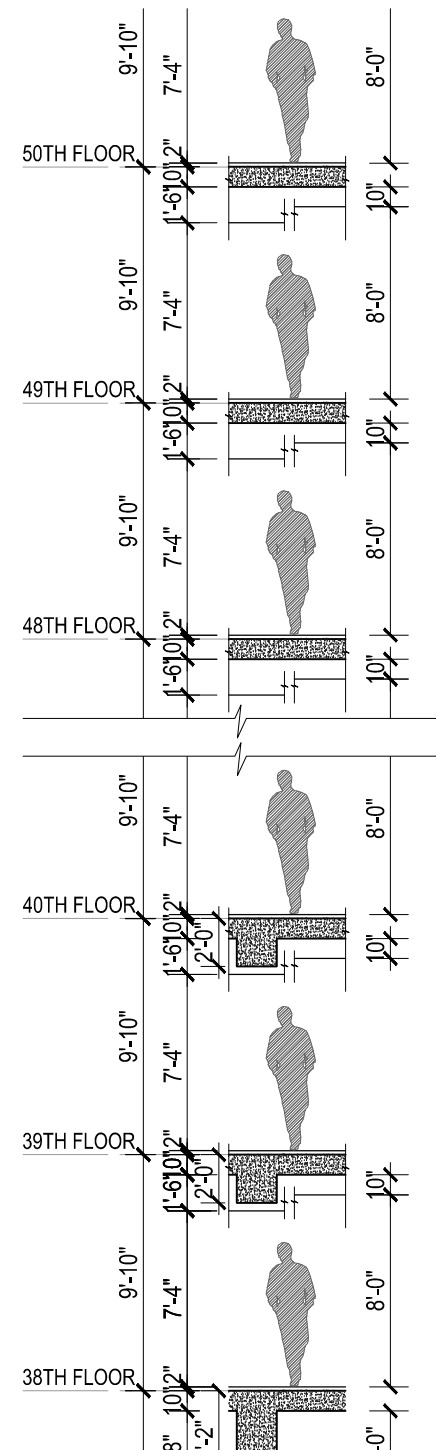
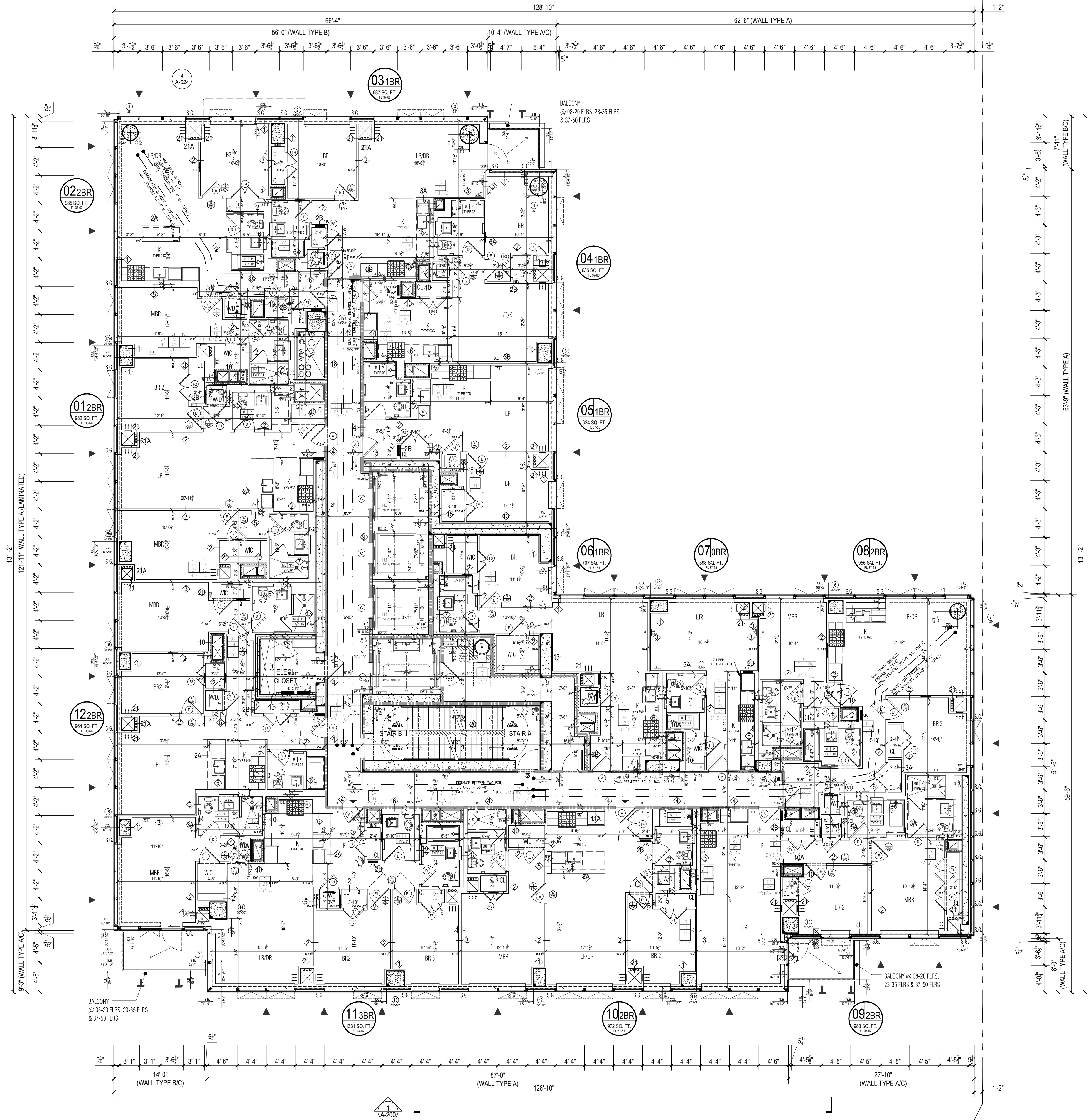
NOTES:

LEGEND:  
2 HR. RATED FIRE SEPARATION  
3 HR. RATED FIRE SEPARATION

Apt. Light & Air Calculations 38-49th Floor (9'10" Height)					
UNIT	ROOM	HABITABLE AREA (Sq Ft)	10% LIGHT REQUIREMENT (Sq Ft)	LIGHT PROVIDED (Sq Ft)	5% AIR REQUIREMENT (Sq Ft)
01	LR	292.45	29.25	115.23	14.62
	BR1	190.29	19.03	151.36	9.51
	BR2	110.74	11.07	49.54	5.54
02	LR	228.96	22.90	43.10	11.45
	BR1	113.14	11.31	21.55	5.66
	BR2	111.01	11.10	47.34	5.55
03	LR	298.39	29.84	43.10	14.92
	BR1	113.63	11.36	47.34	6.38
	BR2	108.14	10.81	21.55	5.41
04	LR	262.45	26.25	130.39	13.12
	BR1	137.28	13.73	47.34	6.86
	BR2	113.39	11.34	39.08	5.67
05	LR	278.15	27.82	134.11	13.91
	BR1	118.98	11.90	17.83	5.95
	BR2	235.32	23.53	44.17	11.77
06	LR	106.17	10.62	74.80	5.31
	BR1	171.21	17.12	44.17	8.56
	BR2	132.59	13.26	46.44	6.63
07	LR	240.31	24.03	68.62	12.02
	BR1	102.61	10.26	41.07	5.13
	BR2	96.49	9.65	60.34	4.82
08	LR	272.69	27.27	115.77	13.63
	BR1	138.96	13.90	50.64	6.95
	BR2	97.64	9.76	27.49	4.88
09	LR	270.83	27.08	45.23	13.54
	BR1	136.32	13.63	45.23	6.82
	BR2	105.67	10.57	22.62	5.28

38TH THRU 49TH FLOOR OCCUPANT LOAD CALCULATIONS			
ROOM	OCCUPANCY CLASS	GROSS AREA PER OCCUPANT (TABLE 1004.1)	OCCUPANT LOAD
UNIT 01	R	1313	200
UNIT 02	R	980	200
UNIT 03	R	973	200
UNIT 04	R	983	200
UNIT 05	R	684	200
UNIT 06	R	643	200
UNIT 07	R	623	200
UNIT 08	R	709	200
UNIT 09	R	401	200
UNIT 10	R	962	200
UNIT 11	R	975	200
UNIT 12	R	973	200
(EACH FLOOR) TOTAL OCCUPANT LOAD			51
TOTAL OCCUPANT LOAD AT EACH FLOOR (38TH - 50TH FLOOR)			51

(SECTION BC1005.1)			
EXIT TYPE	EXIT QUANTITY AND CAPACITY PROVIDED	EXIT OCCUPANCY	EXIT
STAIR A DOOR	36.0 IN. 0.2	180	
STAIR B DOOR	36.0 IN. 0.2	180	
TOTAL EXIT DOOR CAPACITY			360
STAIR A	45.0 IN. 0.3	150	
STAIR B	45.0 IN. 0.3	150	
TOTAL EXIT STAIR CAPACITY			300



1 38TH -50TH FLOOR PLAN  
Scale: 1/8"=1'

HEIGHT DIAGRAM  
Scale: 1/8"=1'

NOT FOR CONSTRUCTION

10/06/2017 ISSUED FOR DOB  
09/15/2017 PER DOB SET AND #3  
06/02/2017 65% CD SET  
03/04/2017 50% CD SET  
03/10/2017 ISSUED FOR DOB  
03/01/2017 ISSUED FOR DOB  
02/14/2017 ISSUED FOR DOB  
01/07/2017 SUPERSTRUCTURE SET  
01/05/2017 ISSUED FOR DOB  
11/11/2016 100% DO FOUNDATION HD SET  
10/12/2016 ISSUED FOR DOB  
05/08/2016 ISSUED FOR DOB  
02/05/2016 DOB FILING SET

Number: Date: Revision:  
Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101  
Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:  
38TH-50TH FLOOR PLANS  
(HIGH LEVEL)

SEAL & SIGNATURE: PROJECT # 15412 SCALE: 1/8"=1'-0" DWG NO. A-112.00  
DATE: 10/06/2017  
PROJECT # 15412  
SCALE: 1/8"=1'-0"  
DWG NO. A-112.00



 2 HR. RATED FIRE SEPARATION  
 3 HR. RATED FIRE SEPARATION

ROOM	50TH THRU 60TH FLOOR OCCUPANT LOAD CALCULATIONS			OCCUPANT LOAD
	OCCUPANCY CLASS	GROSS AREA	GROSS AREA PER OCCUPANT (TABLE 1004.1)	
UNIT 01	R	1313	200	7
UNIT 02	R	980	200	5
UNIT 03	R	973	200	5
UNIT 04	R	983	200	5
UNIT 05	R	684	200	3
UNIT 06	R	643	200	3
UNIT 07	R	632	200	3
UNIT 08	R	709	200	4
UNIT 09	R	401	200	2
UNIT 10	R	962	200	5
UNIT 11	R	975	200	5
UNIT 12	R	973	200	5

(EACH FLOOR) TOTAL OCCUPANT LOAD	51
TOTAL OCCUPANT LOAD AT EACH FLOOR: (51ST - 61ST FLOOR)	51

(SECTION 901065.1)			
EXIT QUANTITY AND CAPACITY PROVIDED			
EXIT TYPE	WIDTH	EGRESS WIDTH PER PERSON	EXIT OCCUPANCY
STAIR A DOOR	36.0 IN.	0.2	180
STAIR B DOOR	36.0 IN.	0.2	180
TOTAL EXIT DOOR CAPACITY			360
STAIR A	45.0 IN.	0.3	150
STAIR B	45.0 IN.	0.3	150
TOTAL EXIT STAIR CAPACITY			300

10/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET AND # 3
06/02/2017	60% CD SET
03/24/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/24/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/11/2016	100% MD TO MD/MD/MD SET
10/12/2016	ISSUED FOR DOB
05/09/2016	ISSUED FOR DOB
02/05/2016	DOB PLING SET

er:	Date:	Revision:
-----	-------	-----------

Object:

City View Tower at  
Court Square  
23-15 44th Drive  
Long Island City, NY 11101

Cityview Tower LLC  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

architect:

**HILL | WEST**  
**ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

consultant:

**ESIMONE  
CONSULTING ENGINEERS**  
Broadway, 25th Floor  
New York, NY, 10005  
(212) 532-2211

**osentini Associates**  
One Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

**/whitehall**  
Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

STAMPS &amp; SIGNATURES:

TITLE: 51ST-61ST FLOOR PLANS  
(HIGH LEVEL)

DATE: 10/06/2017	TIME: 10:00
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DATE: 11/06/2017

★ SCALE: 1/8" = 1'-0"

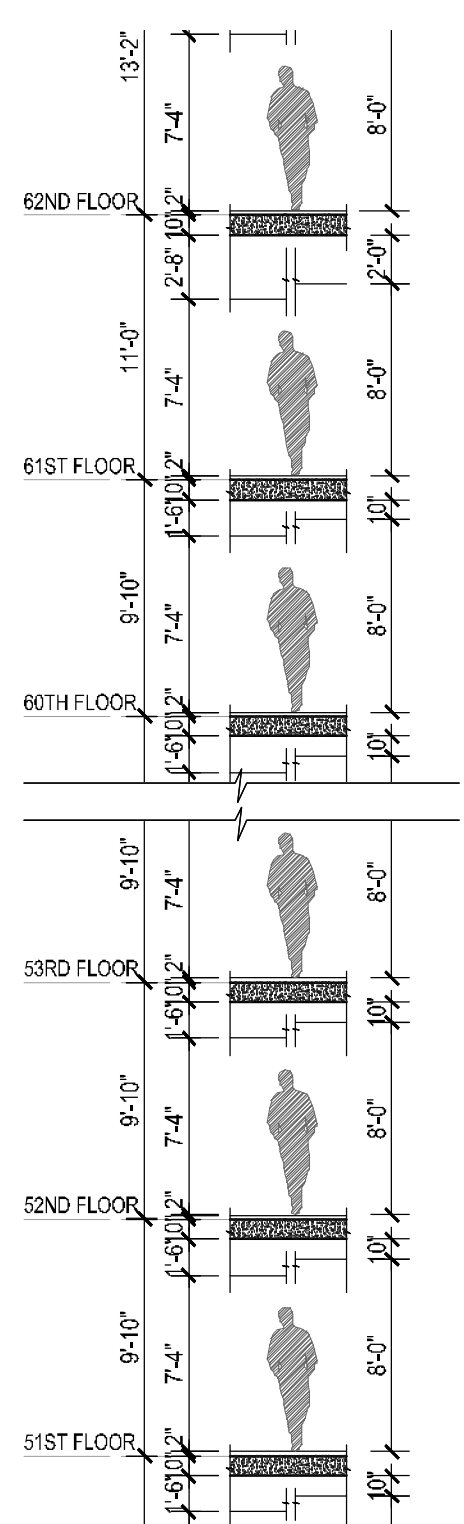
A 112 00

	A-	3.00
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03 OF 105

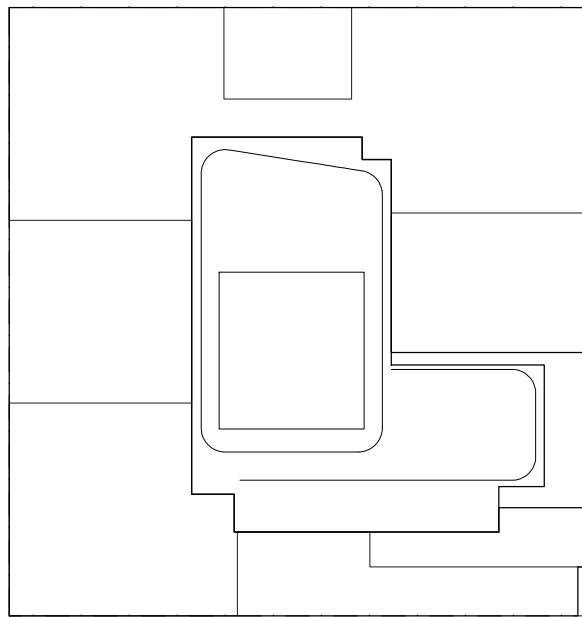
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Scale: 1/8"=1'

Scale: 1/8"=1'





# KEY PLAN

## NOTES:

LEGEND:  
2 HR. RATED FIRE SEPARATION  
3 HR. RATED FIRE SEPARATION

Apt. Light & Air Calculations 61st Floor (12'0" Height)					
UNIT	ROOM	HABITABLE AREA (Sq Ft)	10% LIGHT REQUIREMENT (Sq Ft)	LIGHT PROVIDED (Sq Ft)	5% AIR REQUIREMENT (Sq Ft)
01	LR	292.45	29.25	112.34	14.62
	BR1	190.29	19.03	147.61	9.51
	BR2	110.74	11.07	48.29	5.54
02	LR	227.03	22.70	41.98	11.35
	BR1	113.14	11.31	46.15	5.66
	BR2	111.01	11.10	20.99	5.55
03	LR	298.35	29.84	41.98	14.92
	BR1	113.63	11.36	20.99	6.58
	BR2	108.14	10.81	20.99	5.41
04	LR	262.45	26.25	127.13	13.12
	BR1	137.28	13.73	46.15	6.86
	BR2	113.39	11.34	36.10	5.67
05	LR	278.15	27.82	133.88	13.91
	BR1	118.98	11.90	17.36	5.95
	BR2	106.17	10.62	128.78	5.31
06	LR	235.32	23.53	43.01	11.77
	BR1	106.17	10.62	128.78	5.31
	BR2	113.39	11.34	43.01	8.56
07	LR	132.60	13.26	47.22	6.63
	BR1	132.60	13.26	47.22	6.63
	BR2	132.60	13.26	47.22	6.63
08	LR	254.54	25.45	129.07	12.73
	BR1	129.83	12.98	50.43	6.49
	BR2	96.49	9.65	58.83	4.82
09	LR	272.68	27.27	116.21	13.63
	BR1	138.96	13.90	49.36	6.95
	BR2	97.67	9.77	26.82	4.88

61ST FLOOR OCCUPANT LOAD CALCULATIONS				
ROOM	OCCUPANCY CLASS	GROSS AREA	GROSS AREA PER OCCUPANT (TABLE 1004.1)	OCCUPANT LOAD
UNIT 01	R	1313	200	7
UNIT 02	R	980	200	5
UNIT 03	R	973	200	5
UNIT 04	R	963	200	5
UNIT 05	R	684	200	3
UNIT 06	R	643	200	3
UNIT 07	R	632	200	3
UNIT 08	R	401	200	2
UNIT 09	R	962	200	5
UNIT 10	R	973	200	5
UNIT 11	R	973	200	5
UNIT 12	R	973	200	5
(EACH FLOOR) TOTAL OCCUPANT LOAD				48
TOTAL OCCUPANT LOAD AT 62ND FLOOR				48
(SECTION 80105.1)				
EXIT QUANTITY AND CAPACITY PROVIDED				
EXIT TYPE	WIDTH	EGRESS WIDTH PER PERSON	EXIT OCCUPANCY	
STAIR A DOOR	36.0 IN.	0.2	180	
STAIR B DOOR	36.0 IN.	0.2	180	
TOTAL EXIT DOOR CAPACITY			360	
STAIR A	45.0 IN.	0.3	150	
STAIR B	45.0 IN.	0.3	150	
TOTAL EXIT STAIR CAPACITY			300	

## NOT FOR CONSTRUCTION

10/06/2017 ISSUED FOR DOB  
09/15/2017 99% CD SET AND #3  
09/02/2017 65% CD SET  
03/04/2017 50% CD SET  
03/10/2017 ISSUED FOR DOB  
03/01/2017 ISSUED FOR DOB  
02/14/2017 ISSUED FOR DOB  
01/07/2017 SUPERSTRUCTURE SET  
01/05/2017 ISSUED FOR DOB  
11/11/2016 100% DO FOUNDATION HD SET  
10/12/2016 ISSUED FOR DOB  
03/09/2016 ISSUED FOR DOB  
02/05/2016 DOB FILING SET

Number: Date: Revision:

Project:

**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:

**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:

**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

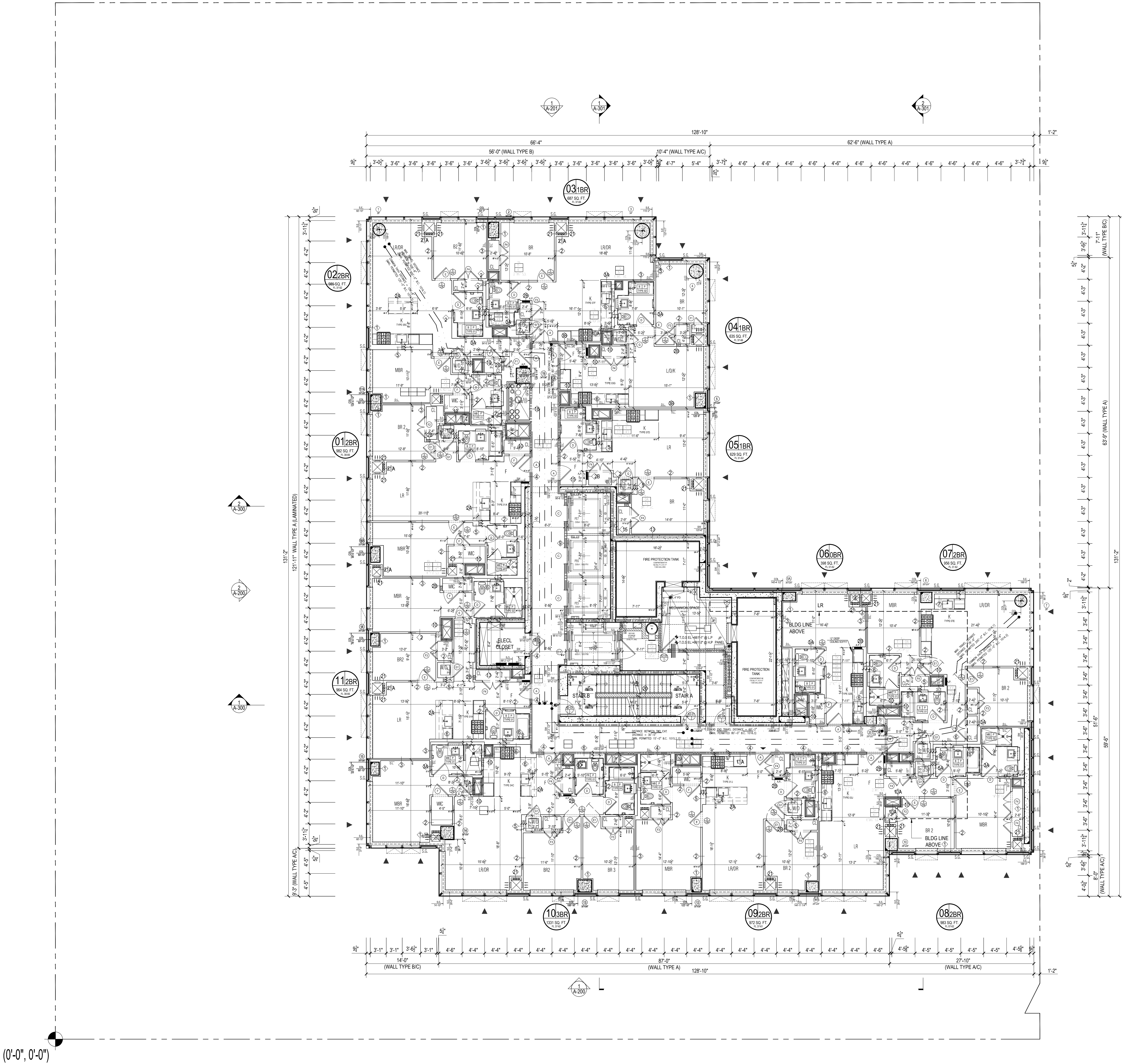
DOB STAMPS & SIGNATURES:

DWG TITLE:

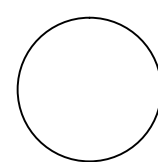
**62ND FLOOR PLAN (HIGH LEVEL)**

SEAL & SIGNATURE:

10/18/2017  
PROJECT # 15412  
SCALE: 1/8"=1'-0"  
DWG NO. A-114.00

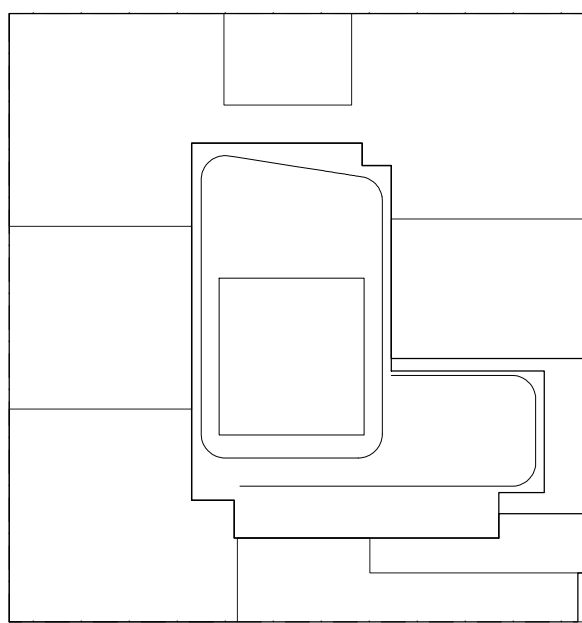


**62ND FLOOR PLAN**  
Scale: 1/8"=1'



**HEIGHT DIAGRAM**  
Scale: 1/8"=1'





## KEY PLAN

### NOTES:

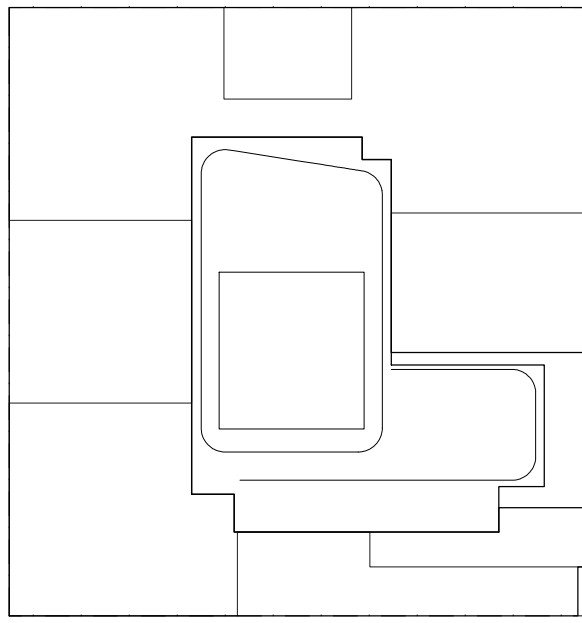
- LEGEND:
- 2 HR. RATED FIRE SEPARATION
  - 3 HR. RATED FIRE SEPARATION

Apt. Light & Air Calculations 62-65th Floor (11'0" Height) & 66th Floor (13'2" Height)						
UNIT	ROOM	HABITABLE AREA (Sq. Ft.)	10% LIGHT REQUIREMENT (Sq. Ft.)	LIGHT PROVIDED (Sq. Ft.)	5% AIR REQUIREMENT (Sq. Ft.)	AIR PROVIDED (Sq. Ft.)
01	LR	292.45	29.25	94.96	14.62	16.75
	BR1	190.29	19.03	125.16	9.51	16.42
	BR2	110.74	11.07	40.79	5.54	8.37
02	LR	227.03	22.70	95.23	13.35	16.42
	BR1	113.14	11.31	38.98	5.66	8.21
	BR2	113.61	11.10	17.61	5.55	8.21
03	LR	298.29	29.84	35.23	14.92	16.42
	BR1	131.03	13.16	17.61	6.58	8.21
	BR2	108.14	10.81	17.61	5.41	8.21
04	LR	262.45	26.25	107.55	13.12	16.42
	BR1	137.28	13.73	38.98	6.86	8.21
	BR2	113.39	11.34	52.38	5.67	7.54
05	LR	274.86	27.49	113.43	13.74	15.08
	BR1	118.98	11.90	14.57	5.95	7.54
	BR2	106.17	10.62	109.15	5.31	8.29
07	LR	150.04	15.00	36.10	7.50	16.58
	BR1	164.26	16.43	39.89	8.21	8.29
	BR2	131.50	13.15	39.89	6.58	8.29
08	LR	263.74	26.37	112.27	13.19	22.62
	BR1	117.19	11.72	97.70	5.86	15.08
	BR2	86.66	8.67	29.14	4.33	7.54
09	LR	318.60	31.86	36.97	15.93	16.75
	BR1	136.32	13.63	40.79	6.82	8.37
	BR2	91.77	9.18	18.48	4.59	8.37
06	LR	274.86	27.49	113.43	13.74	15.08
	BR1	118.98	11.90	14.57	5.95	7.54
	BR2	106.17	10.62	109.15	5.31	8.29
08	LR	263.74	26.37	112.27	13.19	22.62
	BR1	117.19	11.72	97.70	5.86	15.08
	BR2	86.66	8.67	29.14	4.33	7.54
09	LR	318.60	31.86	36.97	15.93	16.75
	BR1	136.32	13.63	40.79	6.82	8.37
	BR2	91.77	9.18	18.48	4.59	8.37

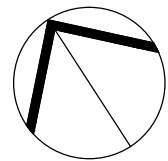








KEY PLAN



NOTES:

LEGEND:  
2 HR. RATED FIRE SEPARATION  
3 HR. RATED FIRE SEPARATION

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET AND #3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/11/2016	100% DOB FOUNDATION HD SET
10/12/2016	ISSUED FOR DOB
05/09/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:

**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:

**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:

**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211

**Cosentini Associates**

Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121

(212) 615-3600

**Whitehall**

11 Broadway, 17th Floor  
New York, NY 10004

(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:

**MAIN ROOF  
(MECHANICAL LEVEL)**

SEAL & SIGNATURE:

PROJECT #

SCALE: 1/8"=1'-0"

DWG NO.

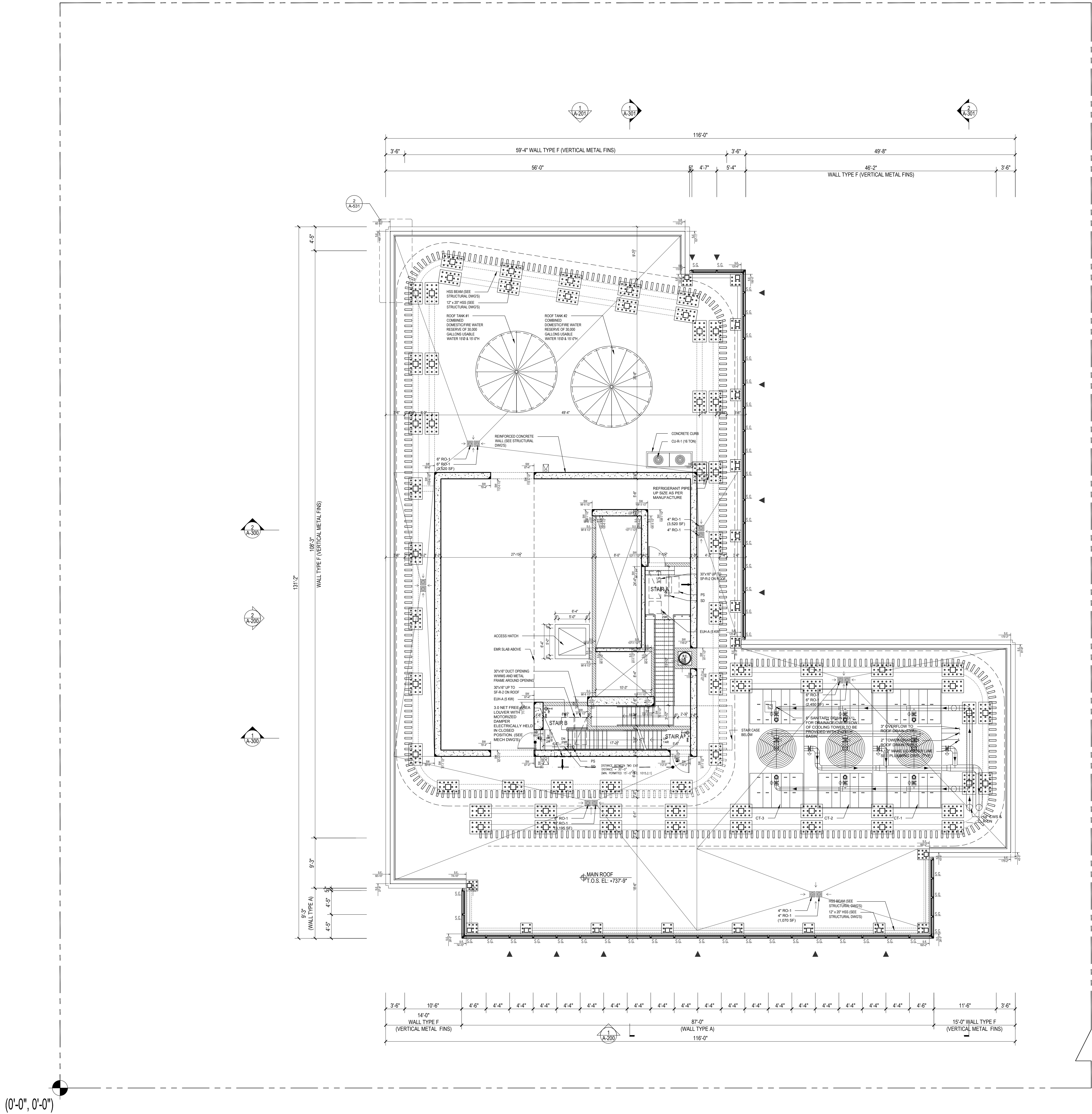
DATE: 10/06/2017

PROJECT # 15112

SCALE: 1/8"=1'-0"

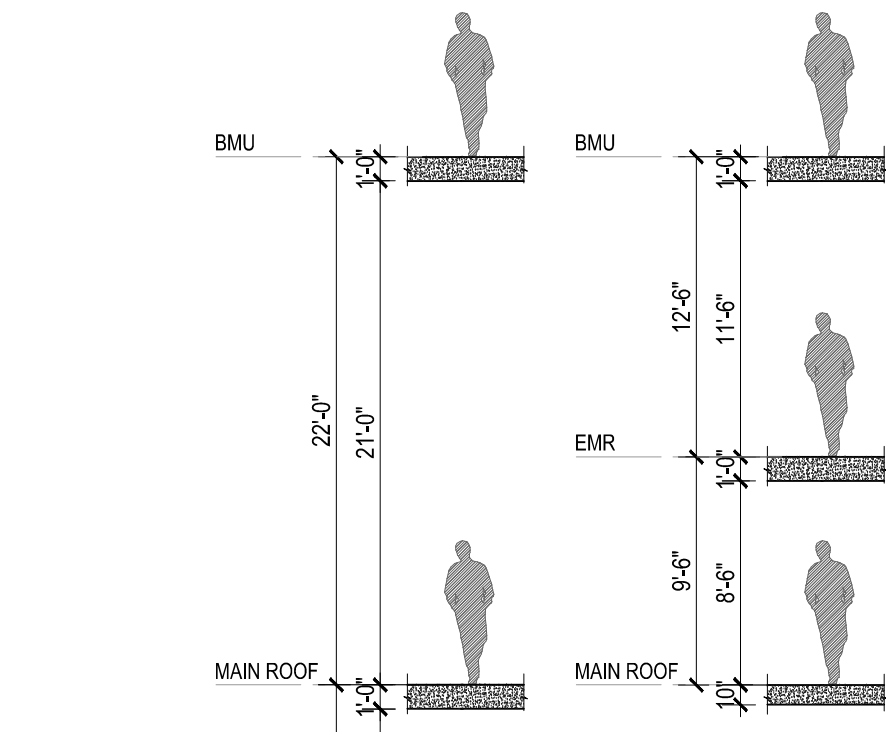
DWG NO. A-117.00

007 OF 105



(0'-0", 0'-0")

**1 MAIN ROOF (MECHANICAL)**  
Scale: 1/8"=1'



**HEIGHT DIAGRAM**  
Scale: 1/8"=1'



LEGEND:

NOT	FOR	CONSTRUCTION
-----	-----	--------------

Number:	Date:	Revision:
---------	-------	-----------

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Consultant:


**DESIMONE**  
**CONSULTING ENGINEERS**  
140 Broadway, 25th Floor  
New York, NY, 10005  
(212) 532-2211

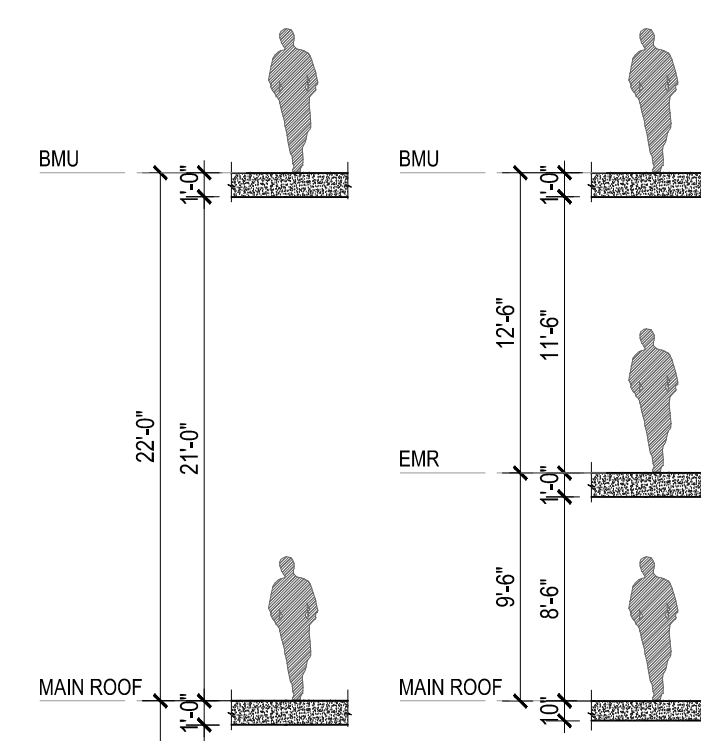
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

OB STAMPS &amp; SIGNATURES:

WG TITLE: EMR (BULKHEAD)

	DATE:	10.06.2017
	PROJECT #:	1541
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DWG NO.		



Scale: 1/8"=1



LEGEND:

2 HR. RATED FIRE SEPARATION  
3 HR. RATED FIRE SEPARATION

10/06/2017	ISSUED FOR COB
09/15/2017	60% CO SET AJD # 3
06/02/2017	85% CO SET
03/24/2017	50% CO SET
03/10/2017	ISSUED FOR COB
03/01/2017	ISSUED FOR COB
02/14/2017	ISSUED FOR COB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR COB
11/11/2016	100% CO/FOUNDATION BID SET
10/12/2016	ISSUED FOR COB
05/09/2016	ISSUED FOR COB
02/05/2016	DOB FILING SET

er:	Date:	Revision:
-----	-------	-----------

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

architect:

**HILL | WEST**  
ARCHITECTS

11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007


**RESIMONE  
CONSULTING ENGINEERS**  
80 Broadway, 25th Floor  
New York, NY, 10005  
(212) 532-2211

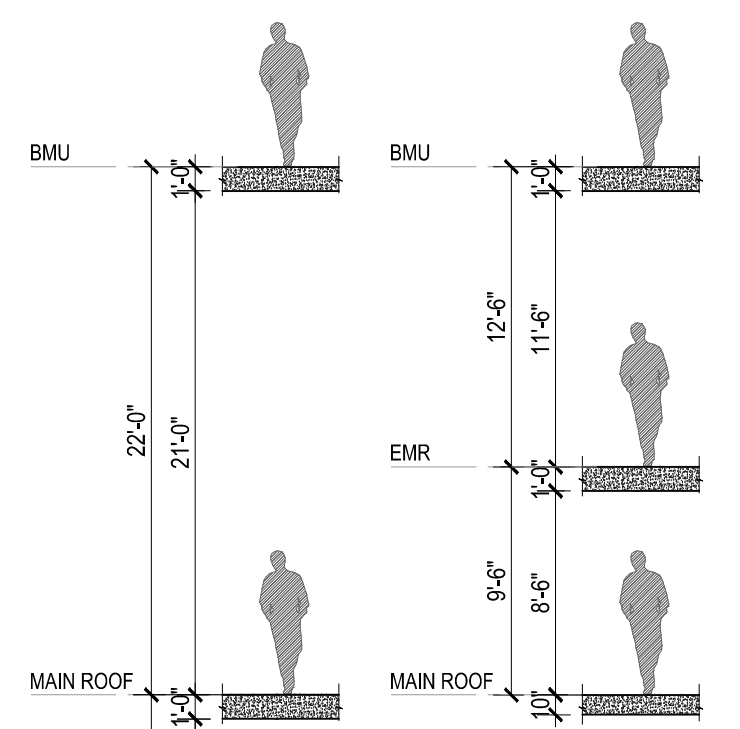
**Costantini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

**Whitehall**  
80 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

STAMPS &amp; SIGNATURES:

TITLE: BMU ROOF PLAN

	DATE: 10/06/2017
	PROJECT #: 15A12
	SCALE: 1/8" = 1'-0"
	<b>A-119.00</b>
	DWG NO.

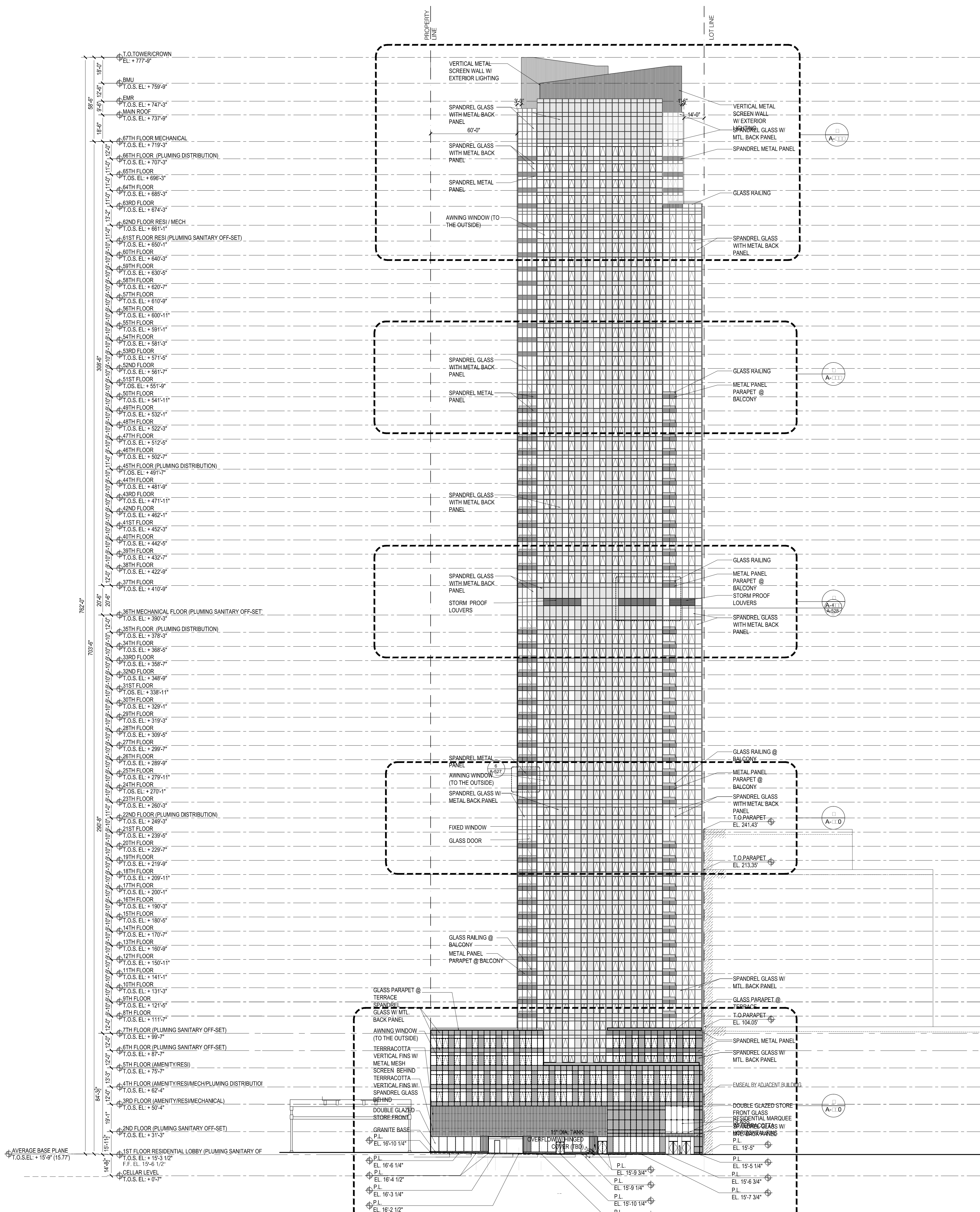


## HEIGHT DIAGRAM

1 BMU ROOF PLAN  
Scale: 1/8"=1'



**NOTES:**



10/06/2017	ISSUED FOR DOB
09/15/2017	96% CD SET /ADD # 3
06/02/2017	85% CD SET
03/04/2017	56% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/11/2016	100% DD FOUNDATION
10/12/2016	ISSUED FOR DOB
05/09/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION BID SET
02/05/2016	DOB FILING SET

Dr:	Date:	Revision:
-----	-------	-----------

City View Tower at  
Court Square  
23-15 44th Drive  
Long Island City, NY 11101

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

architect: **HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

onsultant:


**ESIMONE  
CONSULTING ENGINEERS**  
10 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211

**osentini Associates**  
100 Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

**Whitehall**  
Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

STAMPS &amp; SIGNATURES:

**TITLE:**

	DATE:	10/06/2017
	PROJECT #:	15A12
	SCALE:	1/8" = 1'-0"
	<div style="font-size: 2em; font-weight: bold;">A-200.00</div>	
DWG NO.		



**NOTES:**



10/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET AUD # 3
06/02/2017	85% CD SET
01/24/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/11/2016	100% CD FOUNDATION BID SET
10/12/2016	ISSUED FOR DOB
05/09/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION BID SET
03/05/2016	DOB RMC SET

Author:	Date:	Revision:
---------	-------	-----------

City View Tower at  
Court Square  
23-15 44th Drive  
Long Island City, NY 11101

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

architect:

**HILL | WEST**  
**ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

**ESIMONE**  
**CONSULTING ENGINEERS**  
10 Broadway 25th Floor  
New York, NY 10005  
(2) 532-2211


**Posentini Associates**  
100 Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(2) 615-3600

**Whitehall**  
Broadway, 17th Floor  
New York, NY 10004  
(2) 908-4940

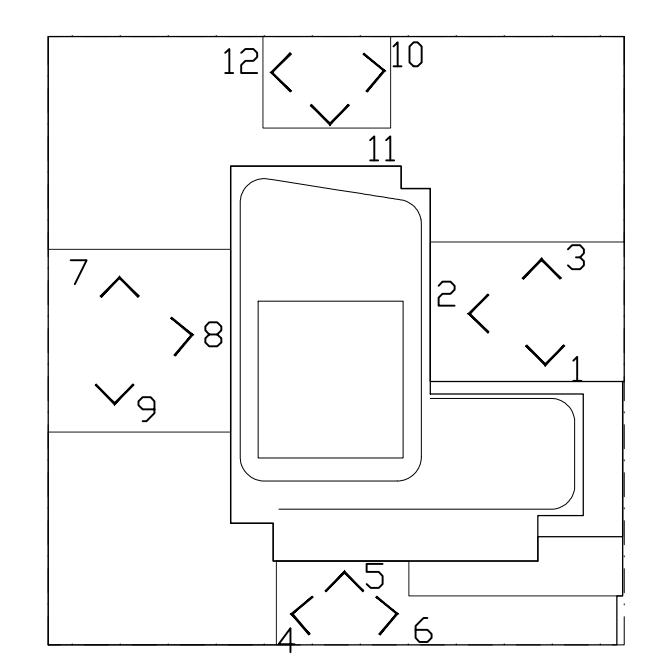
STAMPS &amp; SIGNATURES:

TITLE: BUILDING ELEVATIONS N.E.

DATE:	10/06/2017
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	SCALE:	1/32" = 1'-0"
<div style="font-size: 2em; font-weight: bold;">A-201.00</div>		
DWG NO.		





KEY PLAN

NOTES:

NOT FOR CONSTRUCTION

Number	Date	Revision
10/06/2017	ISSUED FOR DOB	
09/15/2017	99% CD SET AND #3	
06/02/2017	65% CD SET	
03/04/2017	99% CD SET	
03/10/2017	ISSUED FOR DOB	
03/01/2017	ISSUED FOR DOB	
02/14/2017	ISSUED FOR DOB	
01/07/2017	SUPERSTRUCTURE SET	
01/05/2017	ISSUED FOR DOB	
11/11/2016	100% DO FOUNDATION HD SET	
10/12/2016	ISSUED FOR DOB	
06/09/2016	ISSUED FOR DOB	
02/05/2016	DOB FILING SET	

Project: City View Tower at Court Square

23-15 44th Drive  
Long Island City, NY 11101

Client: Cityview Tower LLC  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

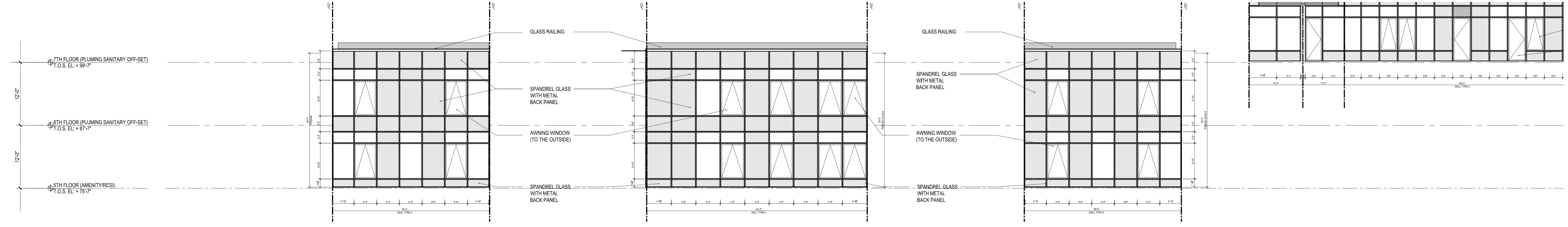
Architect: HILL | WEST ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant: DESIMONE CONSULTING ENGINEERS  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
Cosentini Associates  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
Whitehall  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE: PODIUM COURTYARD ELEVATIONS

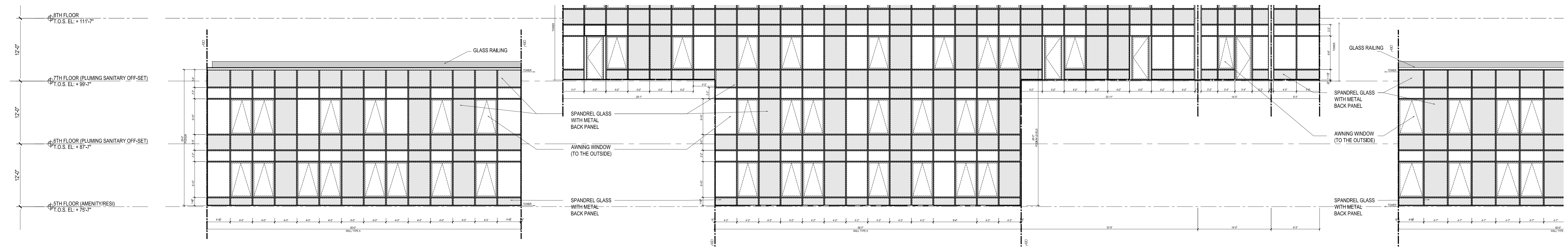
SEAL & SIGNATURE: REGISTERED ARCHITECT  
DATE: 10/06/2017  
PROJECT # 15412  
SCALE: 1/8" = 1'-0"  
A-202.00  
DWG NO. 042 OF 105



10 NORTH WEST ELEVATION  
Scale: 1/8"=1'

11 NORTH EAST ELEVATION  
Scale: 1/8"=1'

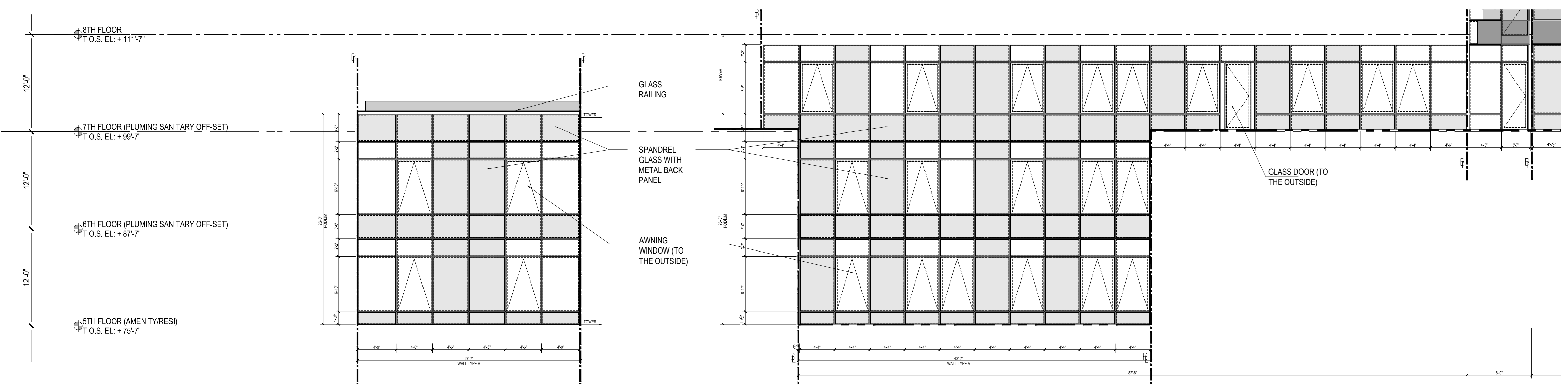
12 WEST ELEVATION  
Scale: 1/8"=1'



1 WEST ELEVATION  
Scale: 1/8"=1'

2 EAST ELEVATION  
Scale: 1/8"=1'

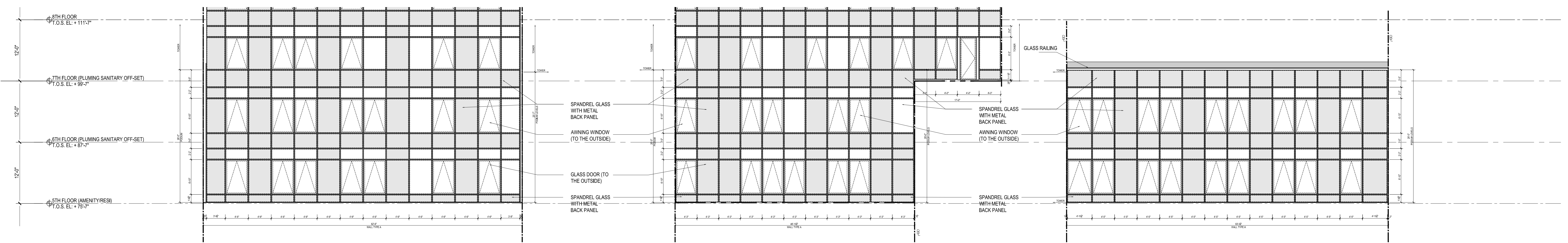
3 WEST ELEVATION  
Scale: 1/8"=1'



4 SOUTH WEST ELEVATION  
Scale: 1/8"=1'

5 WEST ELEVATION  
Scale: 1/8"=1'

6 SOUTH EAST ELEVATION  
Scale: 1/8"=1'

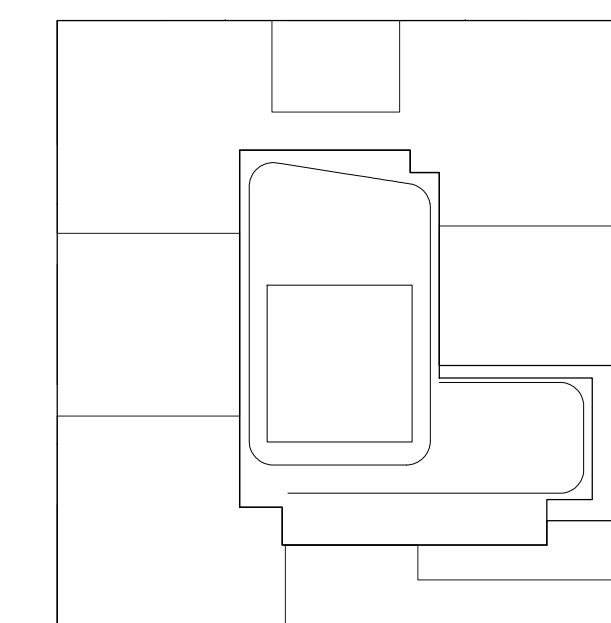



1 EAST ELEVATION  
Scale: 1/8"=1'

2 EAST ELEVATION  
Scale: 1/8"=1'

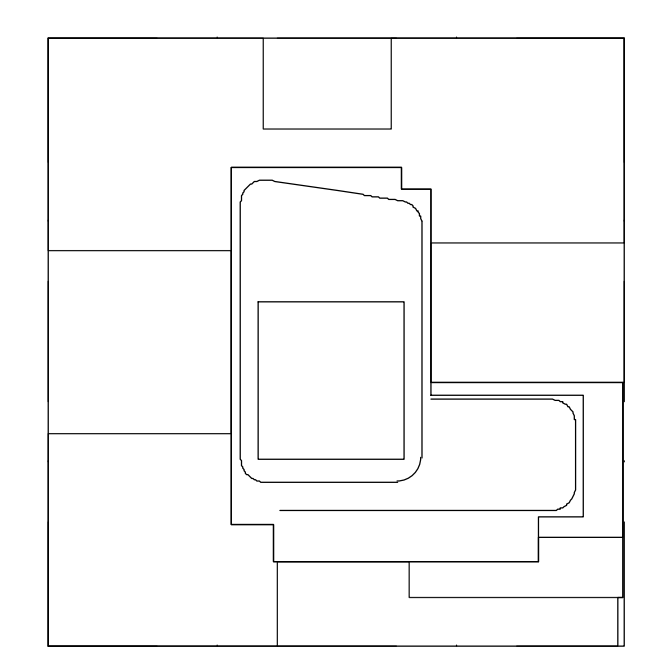
3 EAST ELEVATION  
Scale: 1/8"=1'





	DATE:	10/06/2017
	PROJECT #:	15412
	SCALE:	1/8" = 1'-0"
	<div style="font-size: 2em; font-weight: bold;">A-210.00</div> <div>DWG NO.</div>	





### KEY PLAN

#### NOTES:

#### NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
02/10/2017	90% CD SET, ADD # 3
04/02/2017	60% CD SET
02/04/2017	90% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTARY SET
01/02/2017	ISSUED FOR DOB
11/11/2016	100% EDITION/REVISION SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION NO SET
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

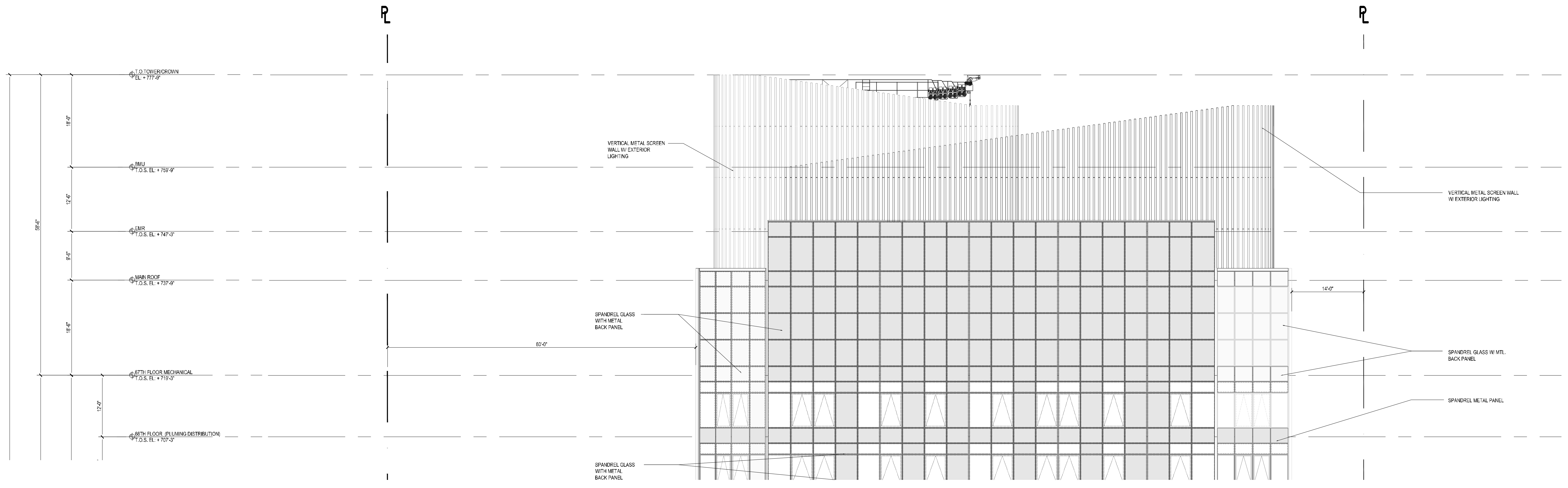
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

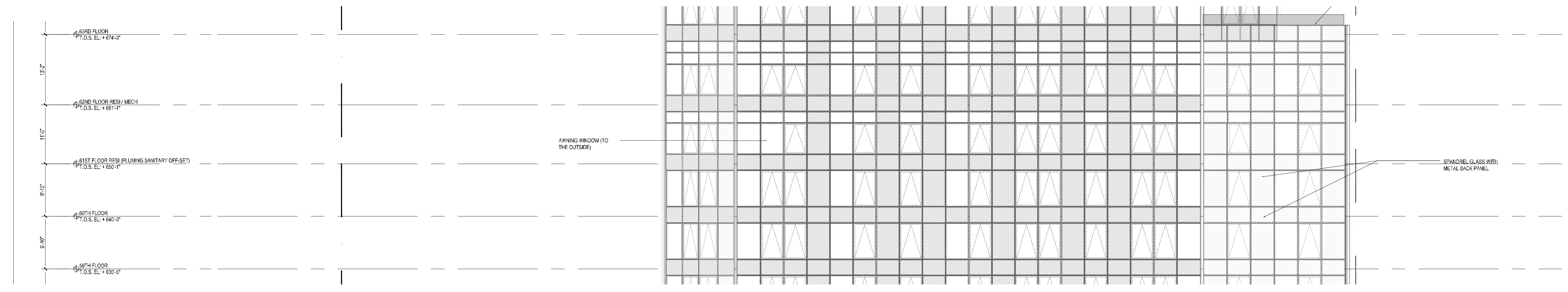
DWG TITLE:  
PARTIAL SOUTH ELEVATION  
(MID & HIGH ZONE)

SEAL & SIGNATURE:  
REGISTERED ARCHITECT  
STEPHEN J. HILL  
NEW YORK  
DATE: 10/08/2017  
PROJECT # 15412  
SCALE: 1/8" = 1'-0"  
A-211.00  
DWG NO.

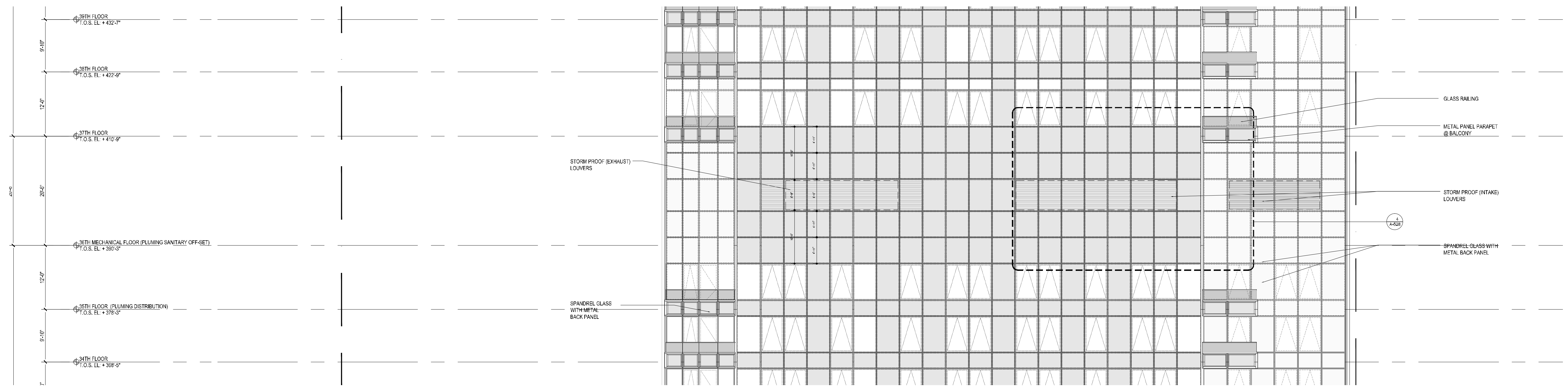
DATE: 10/08/2017  
PROJECT # 15412  
SCALE: 1/8" = 1'-0"  
A-211.00  
DWG NO.



3 PARTIAL SOUTH ELEVATION  
Scale: 1/8" = 1'-0"

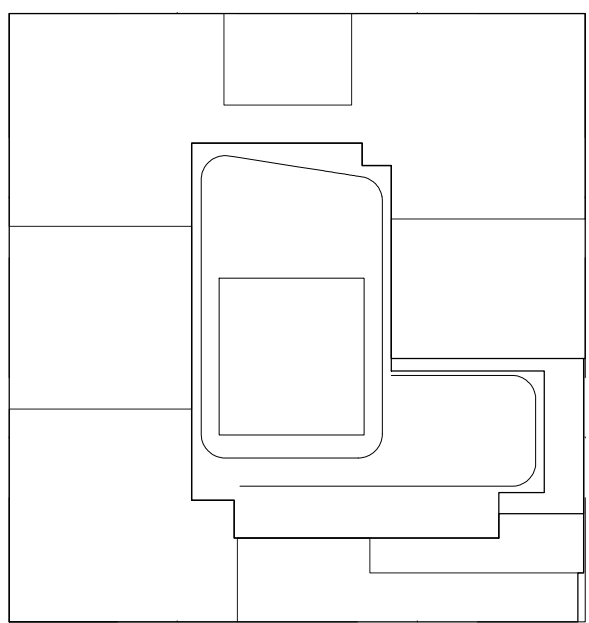


2 PARTIAL SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



1 PARTIAL SOUTH ELEVATION  
Scale: 1/8" = 1'-0"





KEY PLAN

NOTES:

Number:	Date:	Revision:
10/06/2017	ISSUED FOR DOB	
08/15/2017	95% CD SET AND # 3	
08/02/2017	65% CD SET	
03/04/2017	50% CD SET	
03/10/2017	ISSUED FOR DOB	
03/01/2017	ISSUED FOR DOB	
02/14/2017	ISSUED FOR DOB	
01/07/2017	SUPPLEMENTAL SET	
01/05/2017	ISSUED FOR DOB	
11/11/2016	100% DOB FOUNDATION SET	
10/12/2016	ISSUED FOR DOB	
02/05/2016	DOB FILING SET	

NOT FOR CONSTRUCTION

Project: City View Tower at Court Square

23-15 44th Drive  
Long Island City, NY 11101

Client: Cityview Tower LLC  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

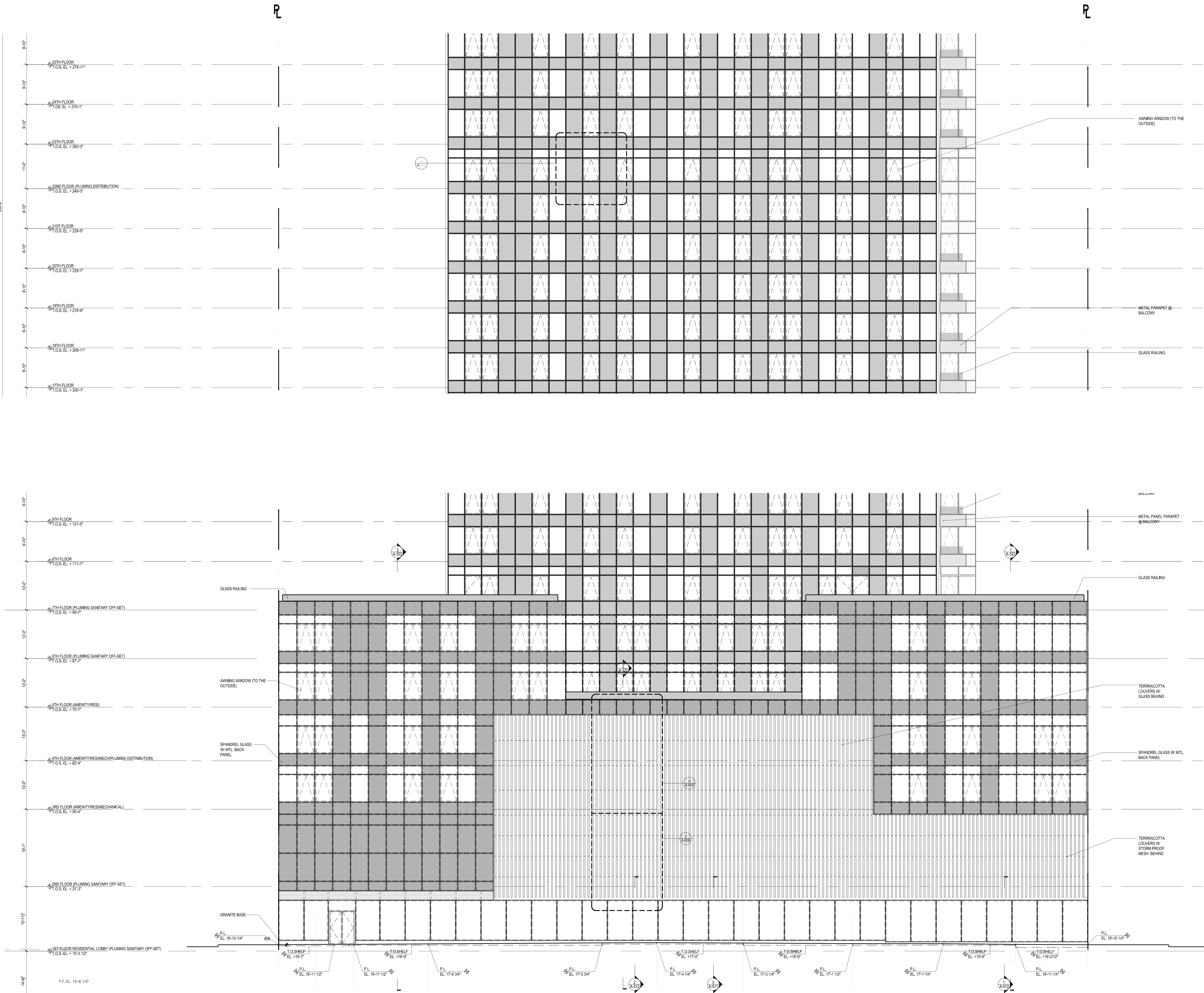
Architect: HILL | WEST ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant: DESIMONE CONSULTING ENGINEERS  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
Cosentini Associates  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
Whitehall  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

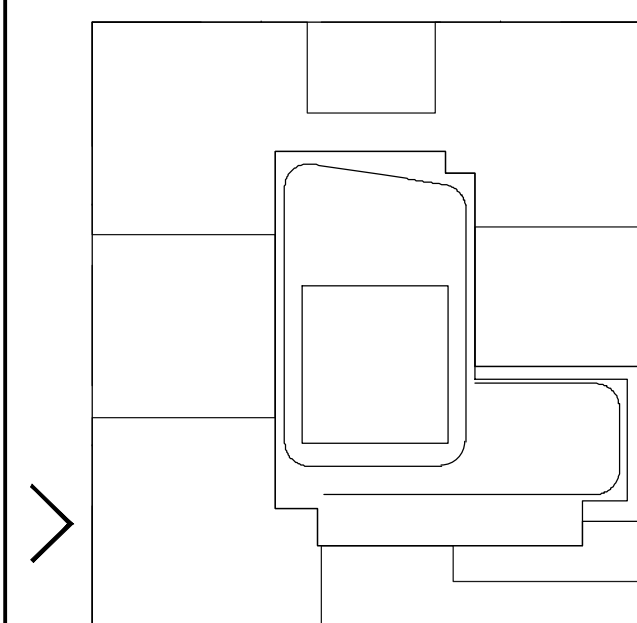
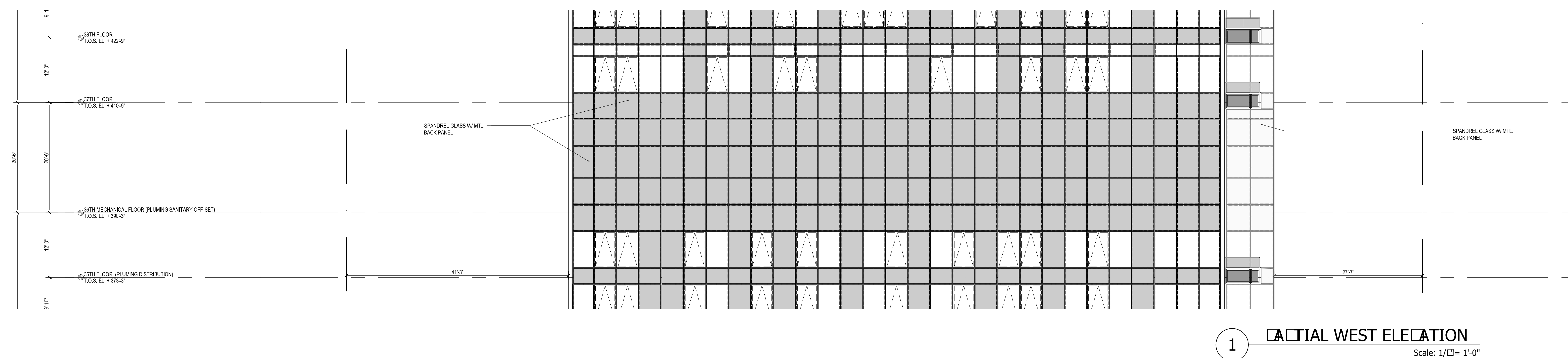
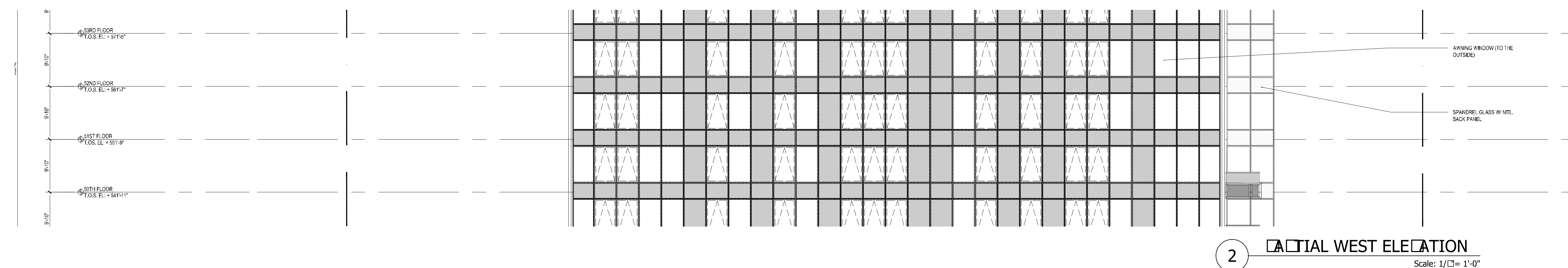
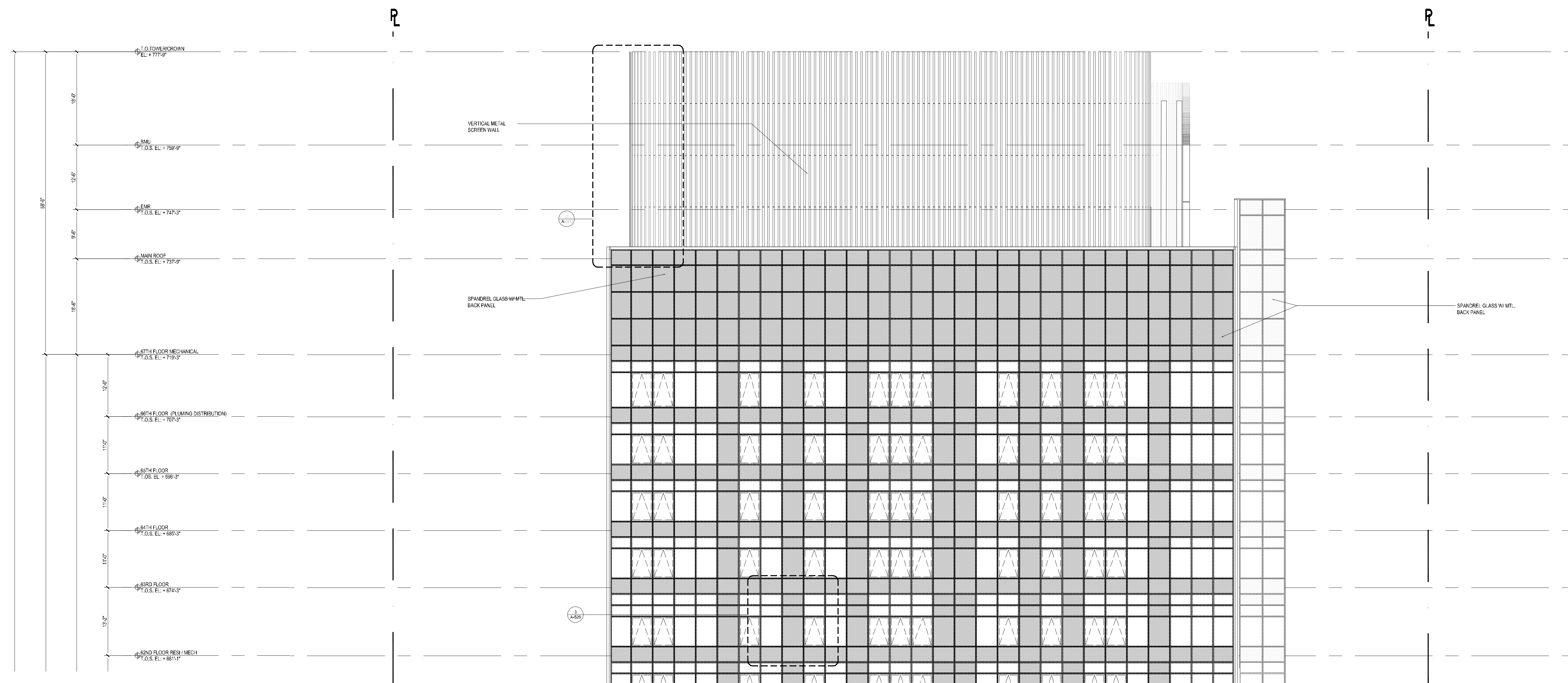
DWG TITLE: PARTIAL WEST ELEVATION (BASE & MID ZONE)

SEAL & SIGNATURE: PROJECT # 15412 SCALE: 1/8" = 1'-0" DWG NO. A-212.00



1 WEST CASE ELEVATION  
Scale: 1/8" = 1'-0"





## KEY PLAN

**NOTES:**

	NOT FOR	CONSTRUCTION
10/06/2017		ISSUED FOR ADS
09/15/2017		90% CD SET ADS # 3
06/02/2017		60% CD SET
03/24/2017		50% CD SET
03/15/2017		ISSUED FOR ADS
03/01/2017		ISSUED FOR ADS
02/24/2017		ISSUED FOR ADS
01/07/2017		SUPPLEMENTAL SET
01/05/2017		ISSUED FOR ADS
11/11/2016		100% EIT/ADDITIONAL SET
10/12/2016		ISSUED FOR ADS
02/05/2016		DOB PLING SET

Number:	Date:	Revision:
---------	-------	-----------

Number:	Date:	Revision:
Project:		
<b>City View Tower at Court Square</b>		
23-15 44th Drive		
Long Island City, NY 11101		

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:

**DESIMONE  
CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211

**Consentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS &amp; SIGNATURES:

DWG TITLE: PARTIAL SOUTH ELEVATION  
(MID & HIGH ZONE)



DATE: 10/06/2017

PROJECT #:	15A12
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SCALE: 1/8" = 1'-0"

A-213.00  
DWG NO.



**NOTES:**

**NOTES:**

10/06/2017	ISSUED FOR DOB
09/15/2017	50% CD SET ADD # 3
06/02/2017	65% CD SET
03/24/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/11/2016	100% CD FOUNDATION BID SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number:	Date:	Revision:
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Number: \_\_\_\_\_ Date: \_\_\_\_\_ Revision: \_\_\_\_\_

Project:

**City View Tower at  
Court Square**

23-15 44th Drive  
Long Island City, NY 11101

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213.8007


Consultant:  
**DESIMONE  
CONSULTING ENGINEERS**  
140 Broadway, 25th Floor  
New York, NY, 10005  
(212) 532-2211

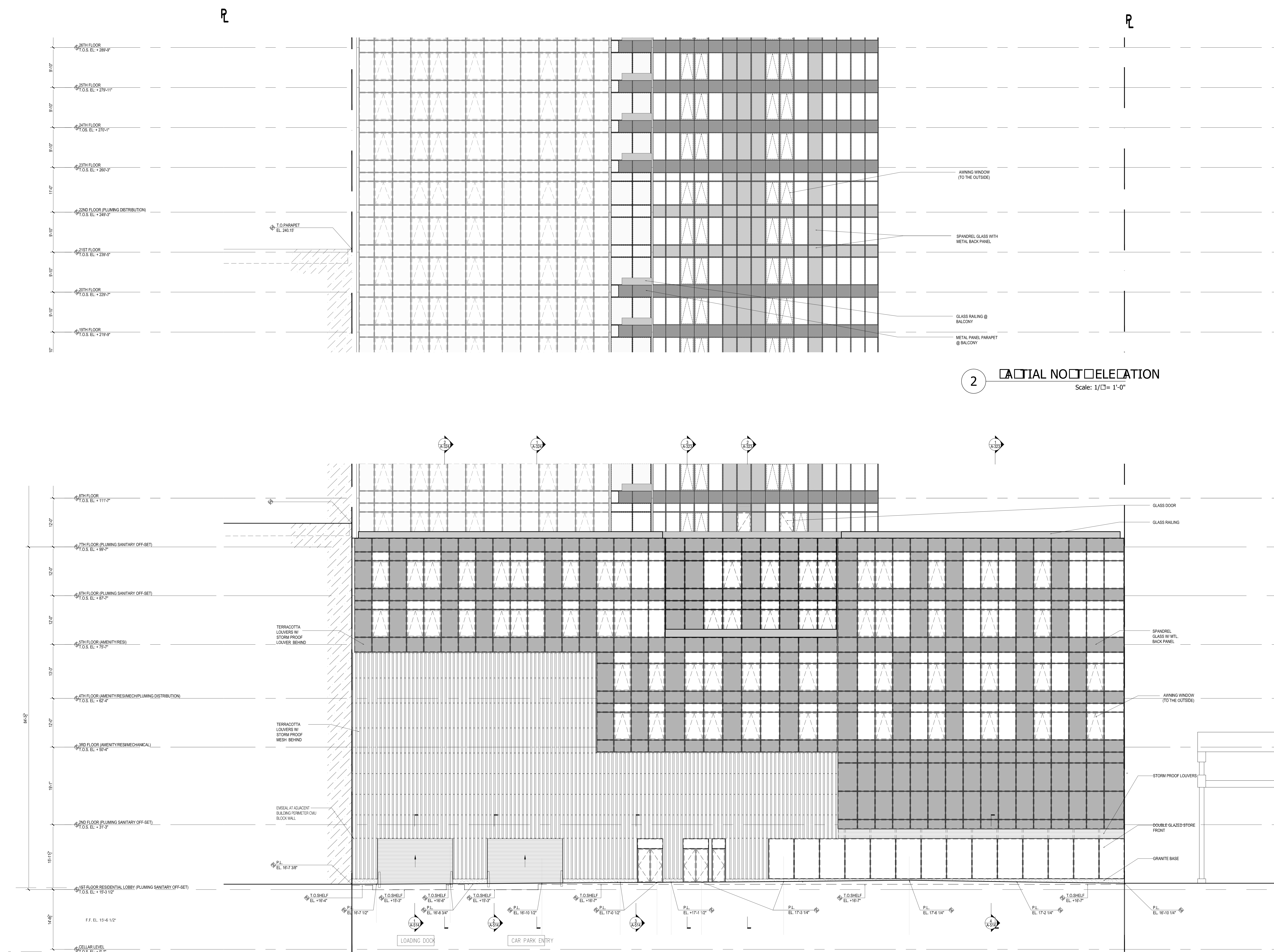
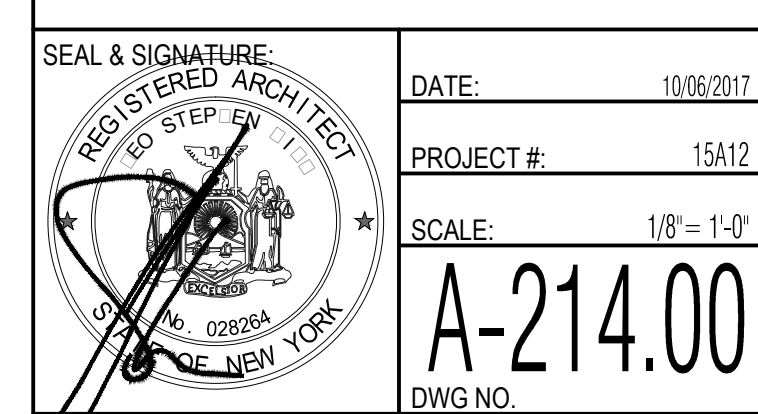
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS &amp; SIGNATURES:

DWG TITLE: PARTIAL NORTH ELEVATION  
(BASE & MID ZONE)

SEAL & SIGNATURE	DATE: 10/06/2017
	PROJECT #: 15A12
	SCALE: 1/8" = 1'-0"
	A-214.00
	DWG NO.



2 ☒ PARTIAL NO ☐ TELE ☐ ATION  
Scale: 1/□ = 1'-0"

2 ☒ PARTIAL NO ☐ TELE ☐ ATION  
Scale: 1/□ = 1'-0"

1 NOISE CASE ELEVATION  
Scale: 1/4" = 1'-0"

1 NOISE CASE ELEVATION  
Scale: 1/4" = 1'-0"





**NOTES:**

NOT	FOR	CONSTRUCTION
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10/06/2017	ISSUED FOR DOB
08/15/2017	90% CD SET /MO # 3
06/02/2017	60% CD SET
03/24/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/11/2016	100% DO FOUNDATION END SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number:	Date:	Revision
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Project:

**References**

# C

**Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Archite

**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant

**DESIMONE  
CONSULTING ENGINEERS**

140 Broadway 25th Floor  
New York, NY, 10005

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**Cosentini Associates**

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New York, NY 10121  
(212) 645-2000

**Whitehall**

11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

OB STAMPS &amp; SIGNATURES:

WG TITLE: PARTIAL NORTH FLEET

(PARTIAL NORTH ELEVATION)  
(MID & HIGH ZONE)

REAL & SIGNATURE: 	DATE:
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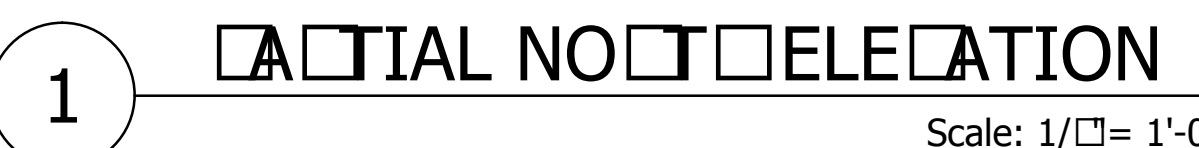
DATE:
PROJECT:

SCALE:

U.S. DEPARTMENT OF JUSTICE  
NEW YORK

DWG NO.

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NOT	FOR	CONSTRUCTION
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09/10/2017	90% CO SET #000 # 3
05/05/2017	85% CO SET
03/04/2017	60% CO SET
03/09/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/24/2017	ISSUED FOR DOB
01/07/2017	SUPERSTYLING CO SET
01/05/2017	ISSUED FOR DOB
11/11/2016	100% ED FOR INEATION BBO SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB PL JUNG SET

Number:	Date:	Revision:
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Project:

### City View Tower at

**City View Tower at  
Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:

**DESMONE  
CONSULTING ENGINEERS**

140 Broadway, 25th Floor  
New York, NY, 10005  
(212) 532-2211

**Cosentini Associates**


Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

**Whitehall**

11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

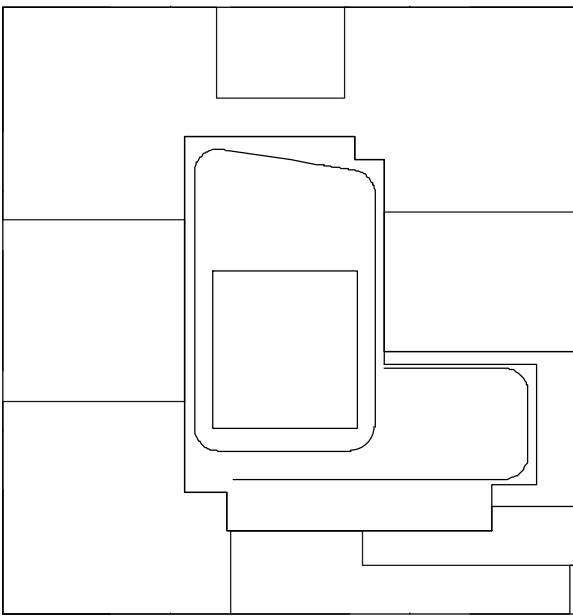
DOB STAMPS &amp; SIGNATURES:

DWG TITLE: PARTIAL EAST ELEVATION  
(BASE & MID ZONE)

SEAL & SIGNATURE: 	DATE: 10/08/2017 PROJECT #: 15412 SCALE: AS NOTED <div style="font-size: 2em; font-weight: bold;">A-216.00</div> DWG NO
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KEY PLAN

NOTES:

NOT FOR CONSTRUCTION

10/05/2017	ISSUED FOR DOB
08/15/2017	20% CD SET AND #3
06/05/2017	45% CD SET
03/24/2017	20% CD SET
03/19/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPPLEMENTAL SET
01/25/2017	ISSUED FOR DOB
11/11/2016	100% CD FOUNDATION AND SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB PLING SET

Number:      Date:      Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

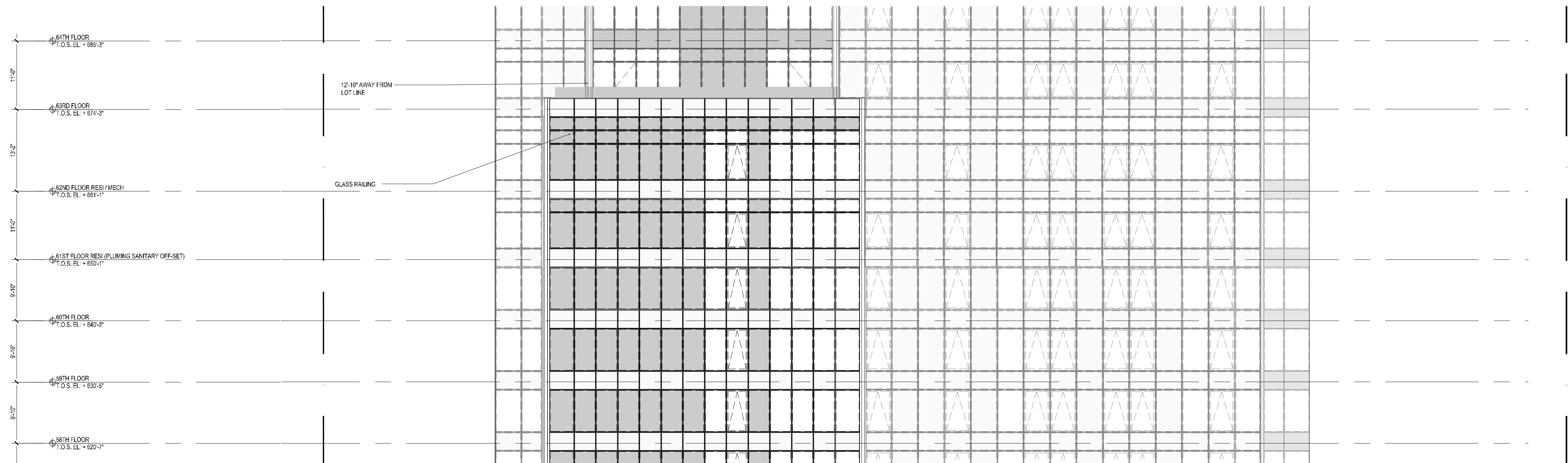
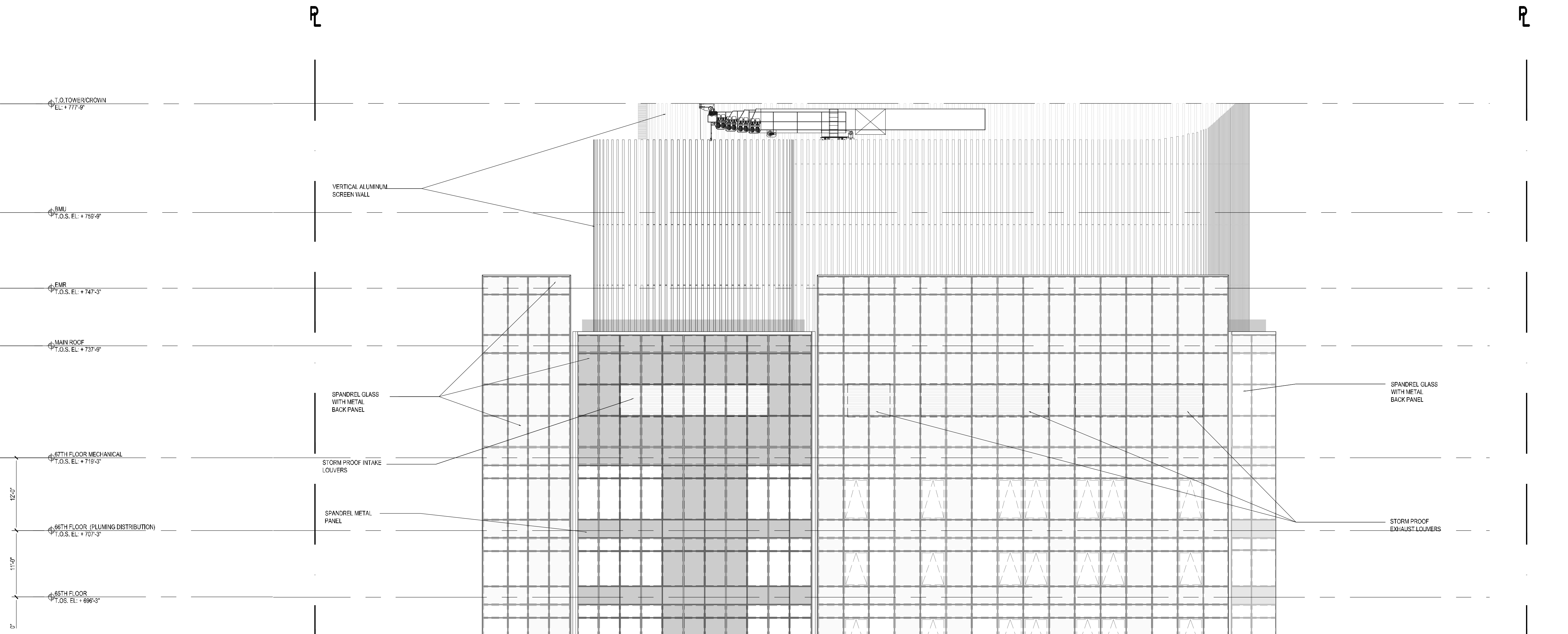
Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8807

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

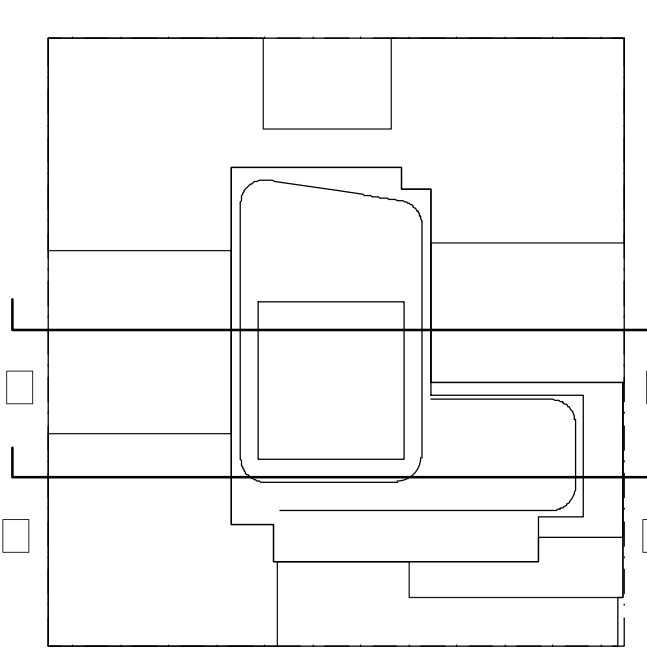
DOB STAMPS & SIGNATURES:

DWG TITLE:  
PARTIAL EAST ELEVATION  
(HIGH ZONE)

SEAL & SIGNATURE: 	DATE: 10/05/2017
PROJECT #:	15412
SCALE:	AS NOTED
DWG NO:	A-217.00







KEY PLAN

NOTES:

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/19/2017	90A D3 SET, ADD #3
04/02/2017	60A D3 SET
02/02/2017	90A D3 SET
03/30/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/02/2017	ISSUED FOR DOB
11/17/2016	FACADE PHASE SET
11/11/2016	100A D3 SET, ADD #1
10/12/2016	ISSUED FOR DOB
05/09/2016	ISSUED FOR DOB
04/09/2016	100A D3 SET, ADD #1
02/05/2016	008 FLOOR SET

Number:	Date:	Revision:
---------	-------	-----------

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

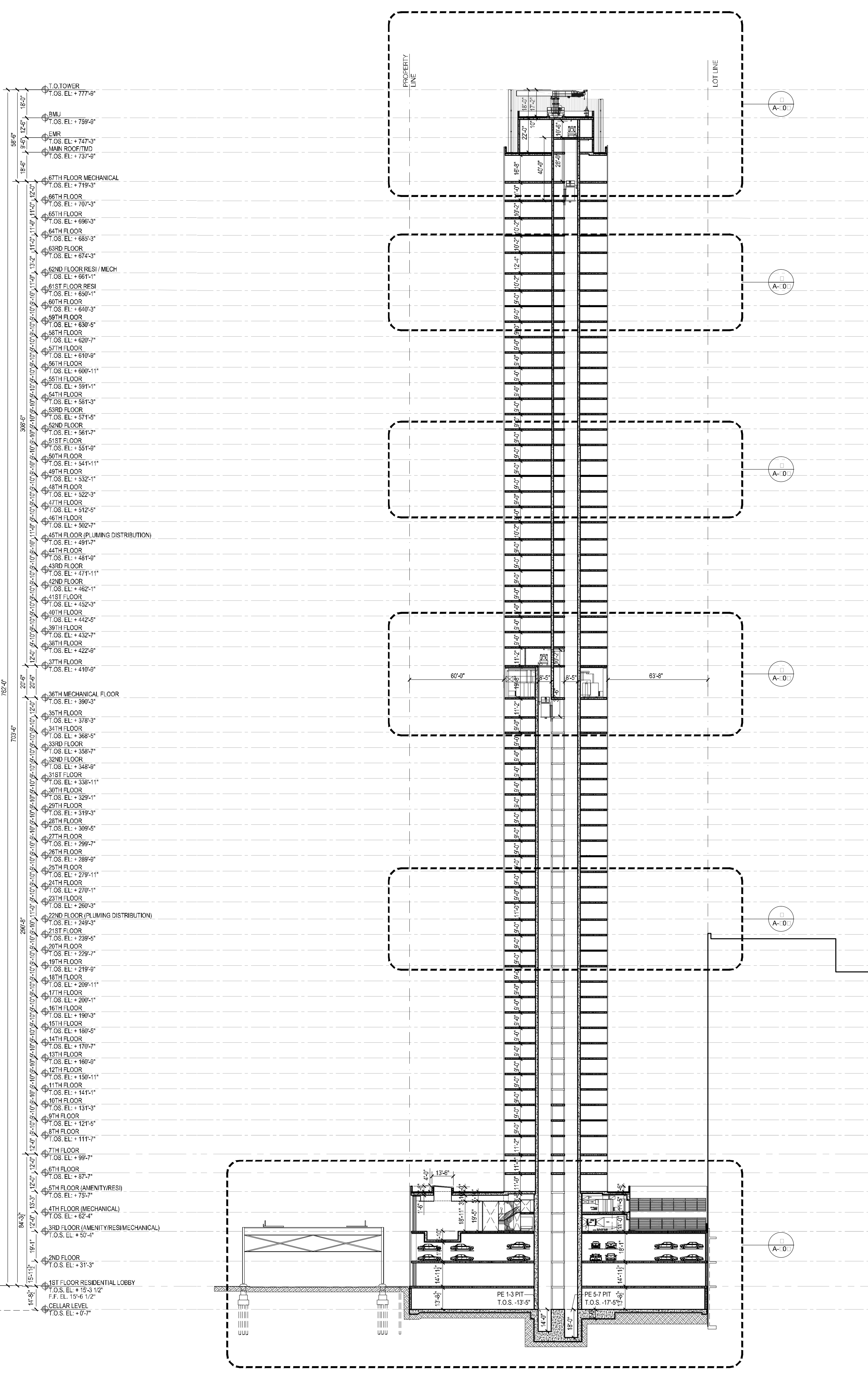
Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
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New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:  
OVERALL BUILDING SECTIONS

SEAL & SIGNATURE: REGISTERED ARCHITECT NEW YORK STATE	DATE: 10/06/2017
PROJECT #: 15412	SCALE: 1/32" = 1'-0"
DWG NO: <b>A-300.00</b>	





**NOTES:**

NOT	FOR	CONSTRUCT
10/06/2017	ISSUED FOR DUB	
08/10/2017	SWR CS-EPF-IND # 3	
06/02/2017	BOX CS-EPF	
03/04/2017	SWR CS-EPF	
03/10/2017	ISSUED FOR DUB	
03/01/2017	ISSUED FOR DUB	
02/14/2017	ISSUED FOR DUB	
01/07/2017	SUPPERSTRUCTURE SET	
01/09/2017	ISSUED FOR DUB	
11/01/2016	PACKAGE PRING SET	
11/01/2016	ITEM LIST TO HEAVY/BBB SET	
10/13/2016	ISSUED FOR DUB	
06/09/2016	ISSUED FOR DUB	
04/09/2016	FOR NC-7014-40 SET	
02/05/2016	DUB PLING SET	

Number:	Date:	Revision:
---------	-------	-----------

Project: **City View Tower at**

**City View Tower at  
Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:

**HILL | WES**  
**ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:


**DESIMONE  
CONSULTING ENGINEERS**  
140 Broadway, 25th Floor  
New York, NY, 10005  
(212) 532-2211

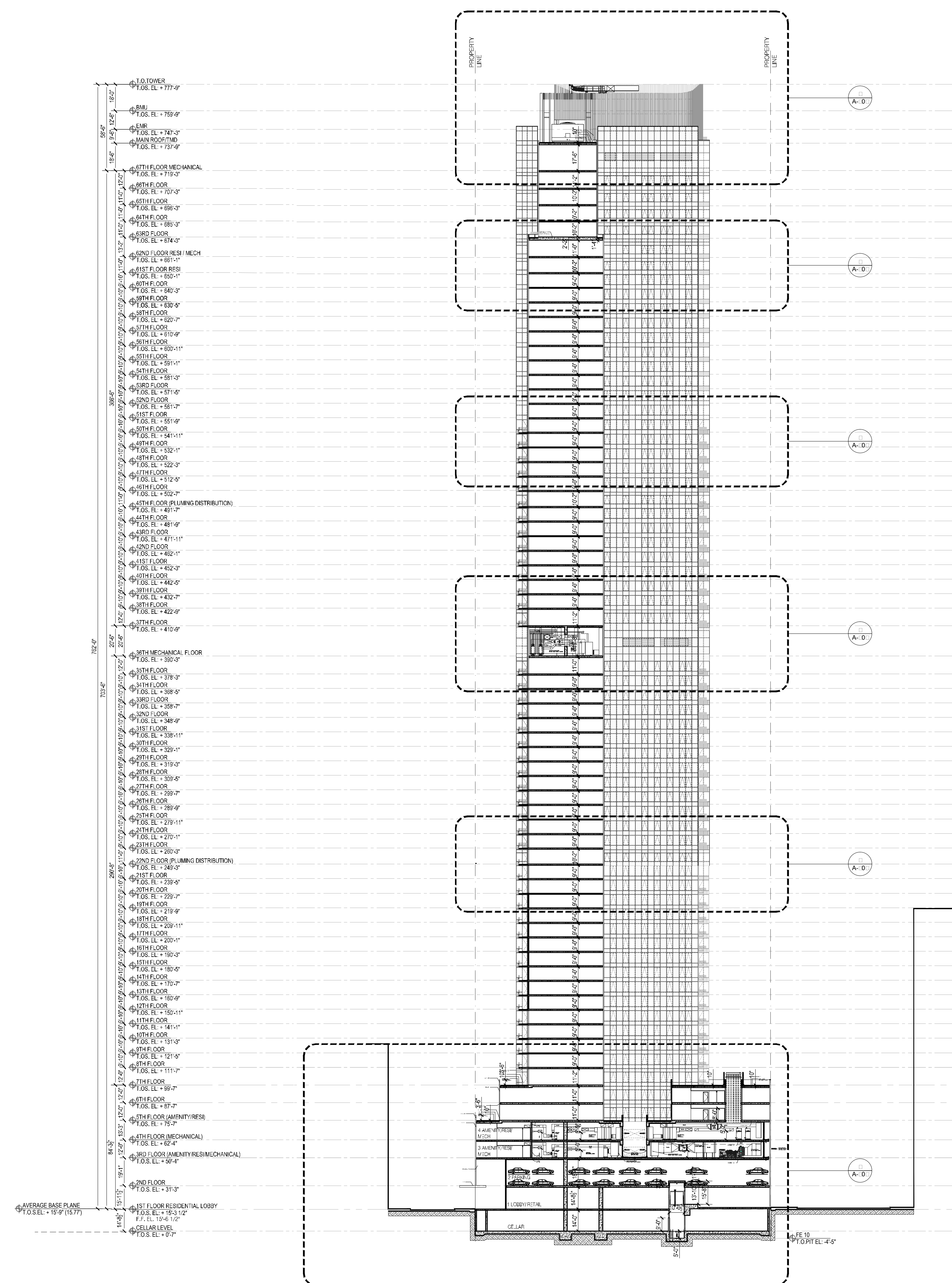
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

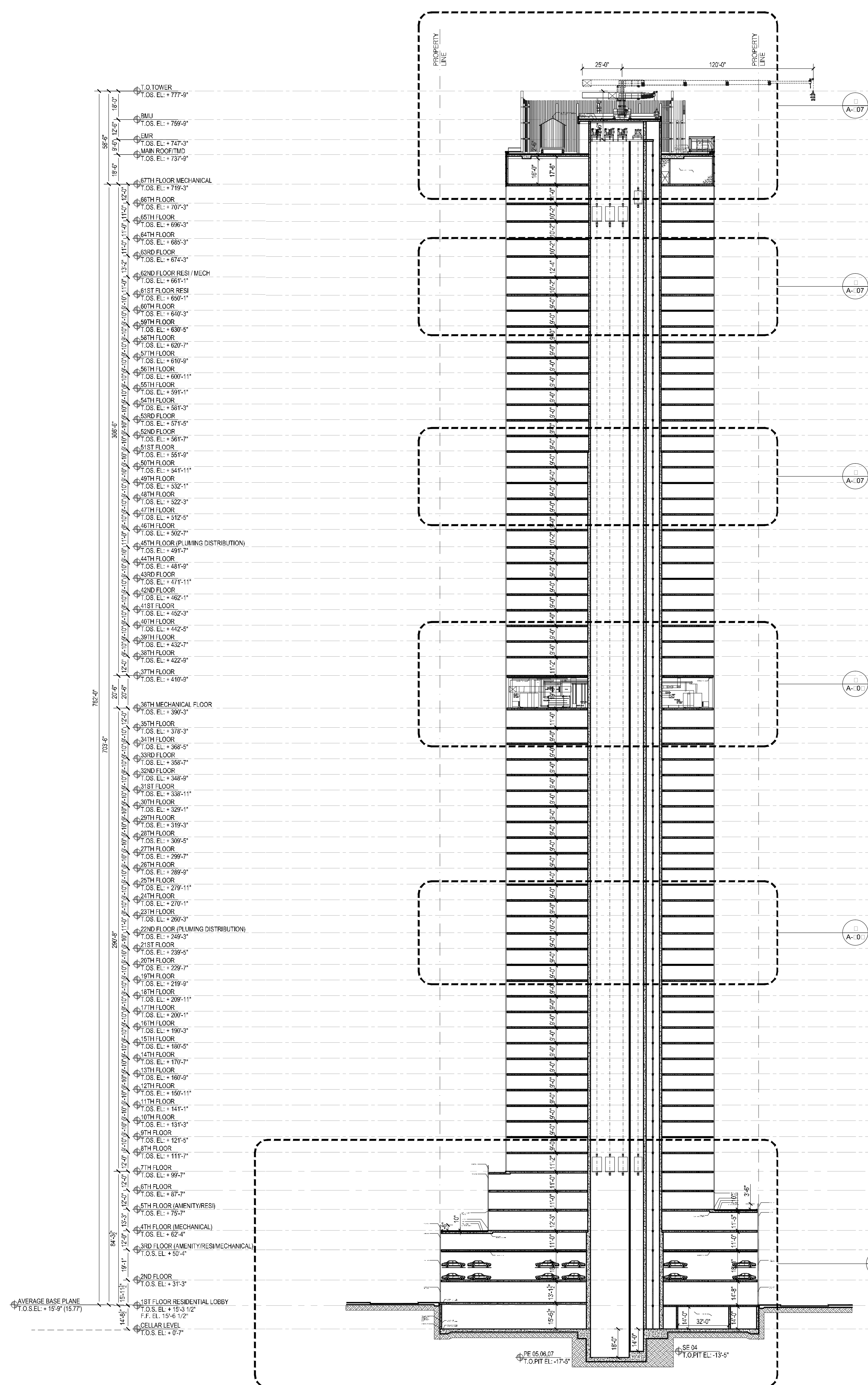
STAMPS & SIGNATURES:

OVERALL BUILDING SECTIONS

	DATE: 11/20/2011
	PROJECT #: 11111111
	SCALE: 1/32
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DWG NO.	

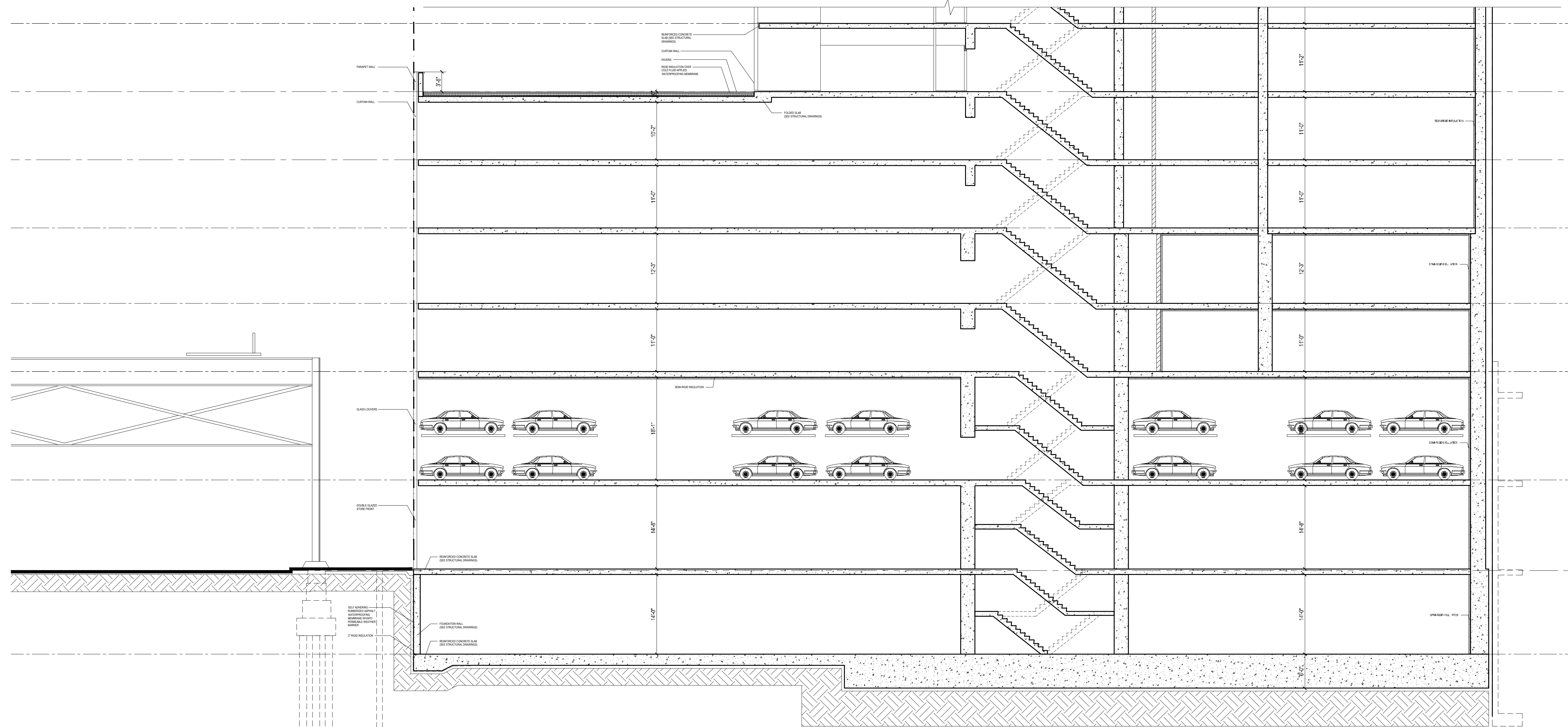
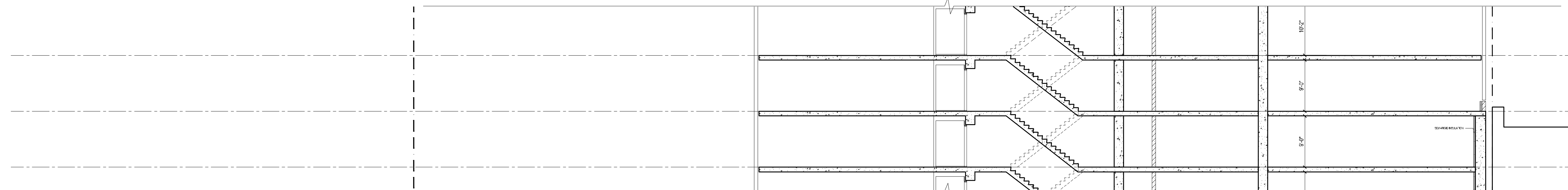
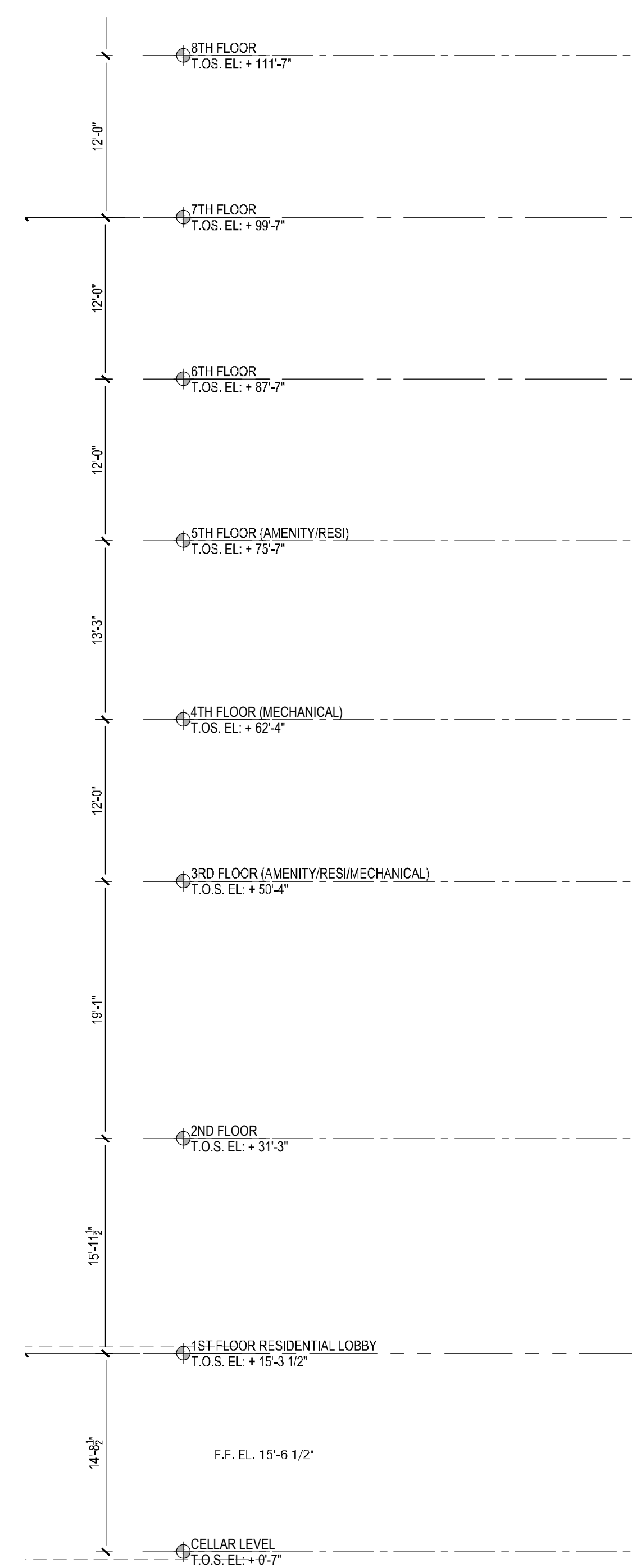


2 NORTH SOUTH SECTION



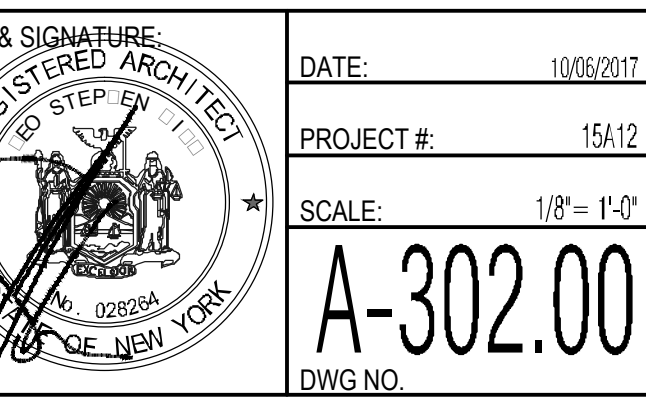
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2 EAST-WEST LOW-RISE TOWER SECTION

1 EAST-WEST CASE SECTION  
Scale: 1/4" = 1'-0"





**NOTES:**

NOT FOR CONSTRUCTION	
10/06/2017	ISSUED FOR DOB
09/19/2017	90% CD SET APPRO # 3
06/02/2017	80% CD SET
03/24/2017	50% CD SET
03/19/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPPLEMENTAL SET
01/27/2017	ISSUED FOR DOB
11/17/2016	FACIAL PRICING SET
11/17/2016	100% EID FOR BID SET
10/12/2016	ISSUED FOR DOB
04/09/2016	FOUNDATION BID SET
02/05/2016	DOB PLING SET

Number:	Date:	Revision:
---------	-------	-----------

Project:

**City View Tower at  
Court Square**

23-15 44th Drive  
Long Island City, NY 11101

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:

**HILL | WEST**  
**ARCHITECTS**  
11 BROADWAY  
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Consultant:

**DESIMONE  
CONSULTING ENGINEERS**

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**Cosentini Associates**


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New York, NY 10121  
(212) 615-3600

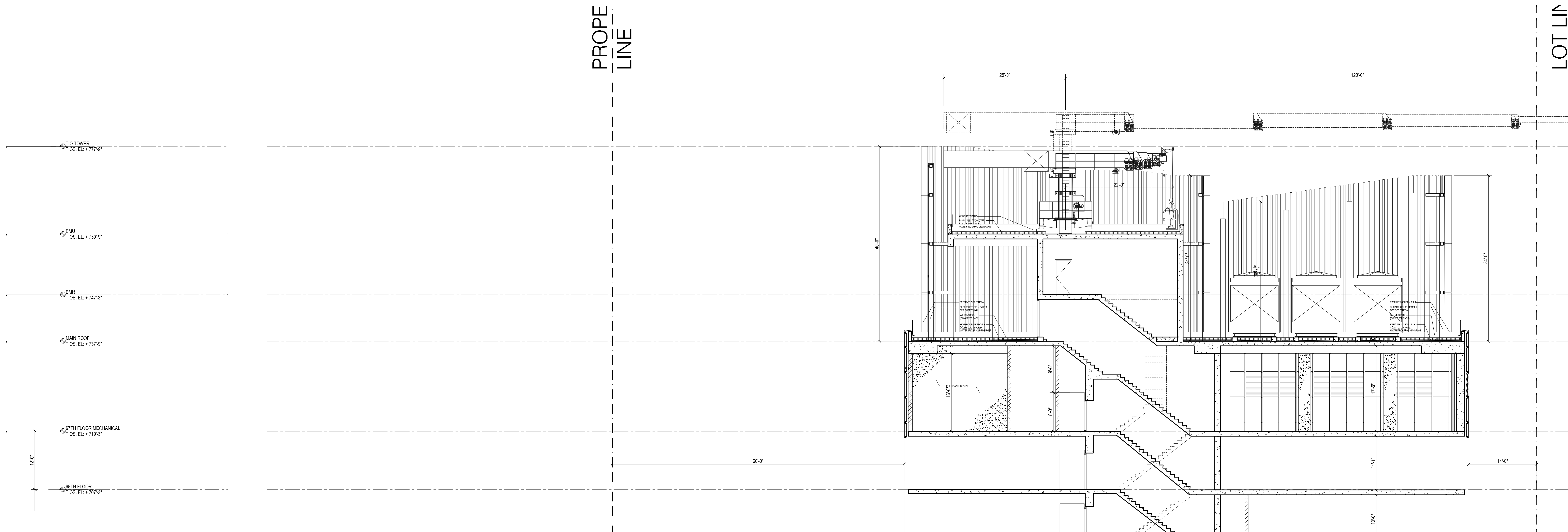
**Whitehall**

11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

OB STAMPS & SIGNATURES:


WG TITLE:  
PARTIAL WEST - EAST SECTION

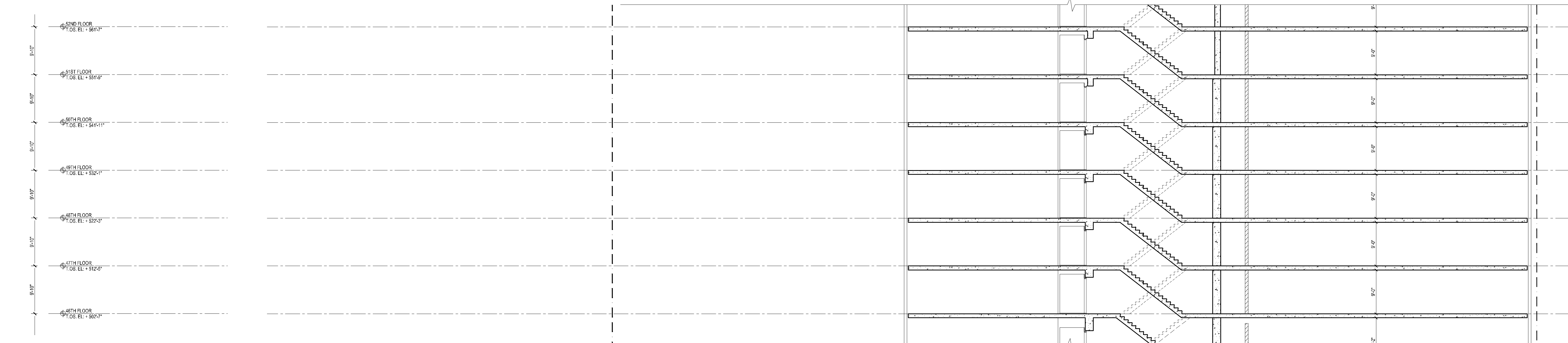
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	PROJECT #:	15A12
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	<div style="font-size: 2em; font-weight: bold;">A-303.00</div> <div>DWG NO.</div>	



3 EAST-WEST SECTION  
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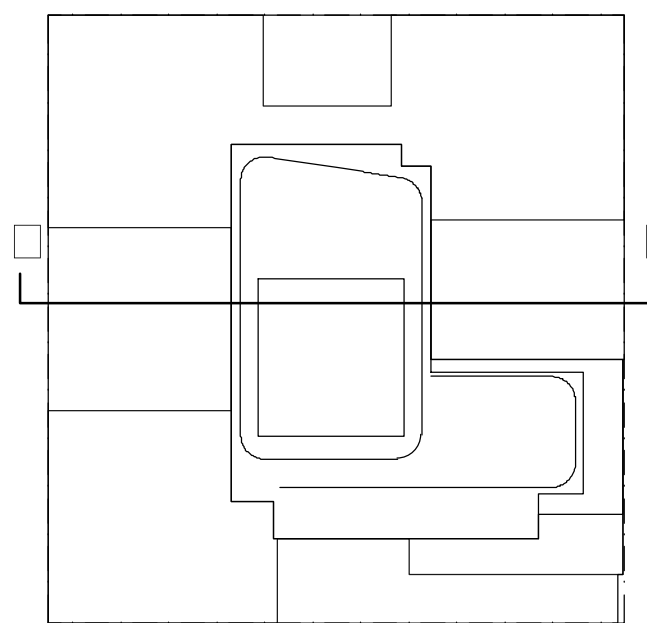


2 EAST-WEST ISE SECTION  
Scale: 1/1"= 1'-0"



1 EAST-WEST MIDDLE TOWER SECTION





KEY PLAN

NOTES:

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
02/10/2017	90% CD SET AND #3
04/05/2017	60% CD SET
02/04/2017	90% CD SET
03/30/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FACADE PHASE SET
11/11/2016	100% EDITIONARY AND SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION AND SET
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:

**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:

**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

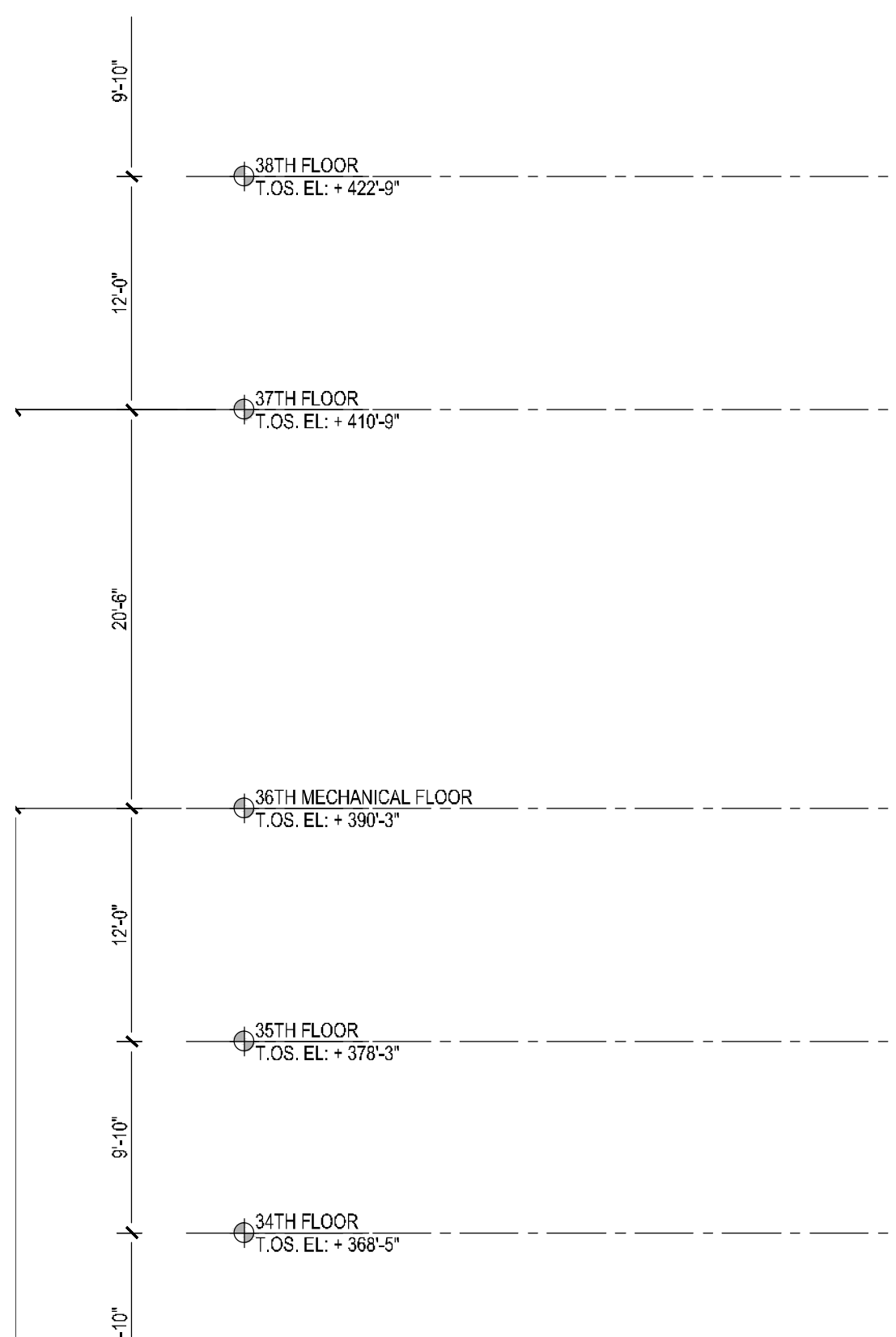
Consultant:

**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

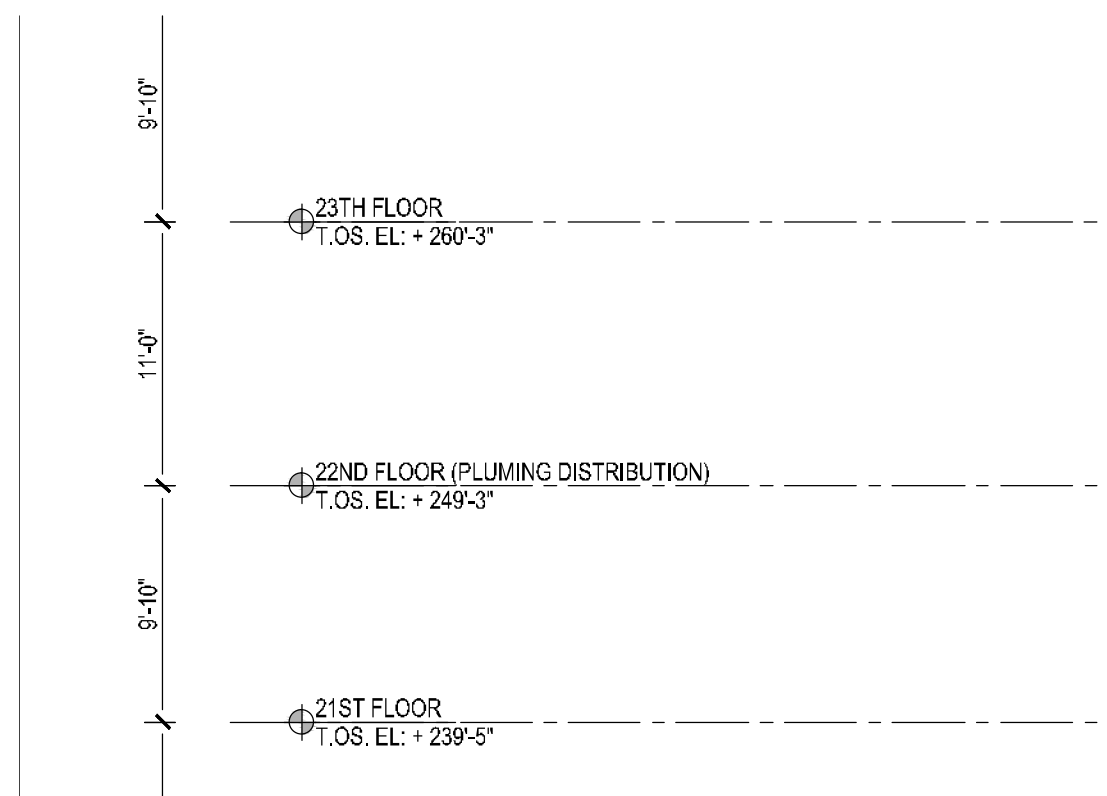
DOB STAMPS & SIGNATURES:

DWG TITLE:  
PARTIAL WEST - EAST SECTION

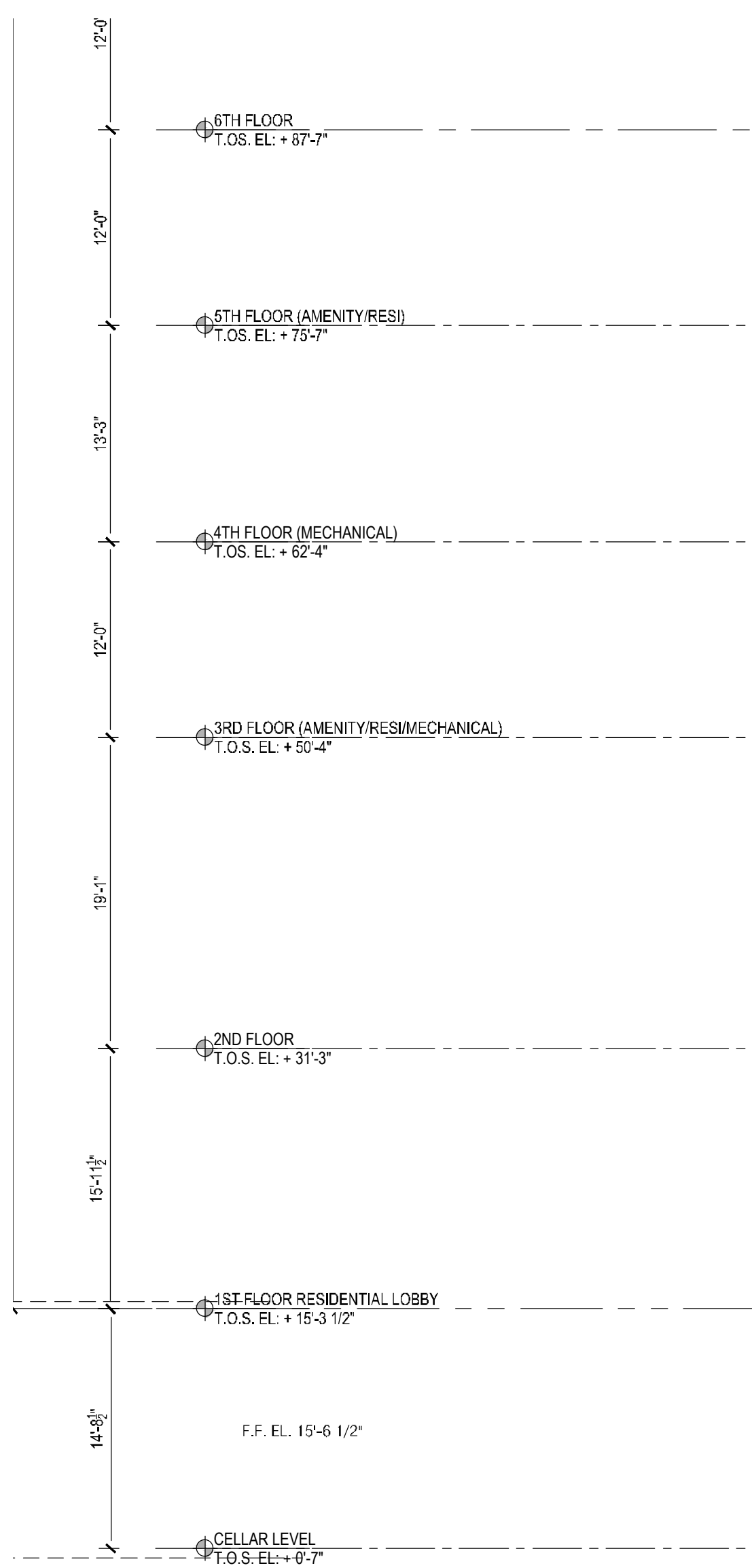
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---	---



3 EAST-WEST MID-RISE TOWER SECTION  
Scale: 1/8" = 1'-0"



2 EAST-WEST LOW-RISE TOWER SECTION  
Scale: 1/8" = 1'-0"



1 EAST-WEST CASE SECTION  
Scale: 1/8" = 1'-0"



**NOTES:**

10/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET, ADD # 3
06/02/2017	60% CD SET
03/24/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FACADE PRILING SET
11/11/2016	100% CD FOUNDATION AND SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION AND SET
02/05/2016	DOB PLING SET

Number:	Date:	Revision:
---------	-------	-----------

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:

**DESIMONE  
CONSULTING ENGINEERS**

140 Broadway, 25th Floor  
New York, NY, 10005  
(212) 532-2211

**Cosentini Associates**

Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

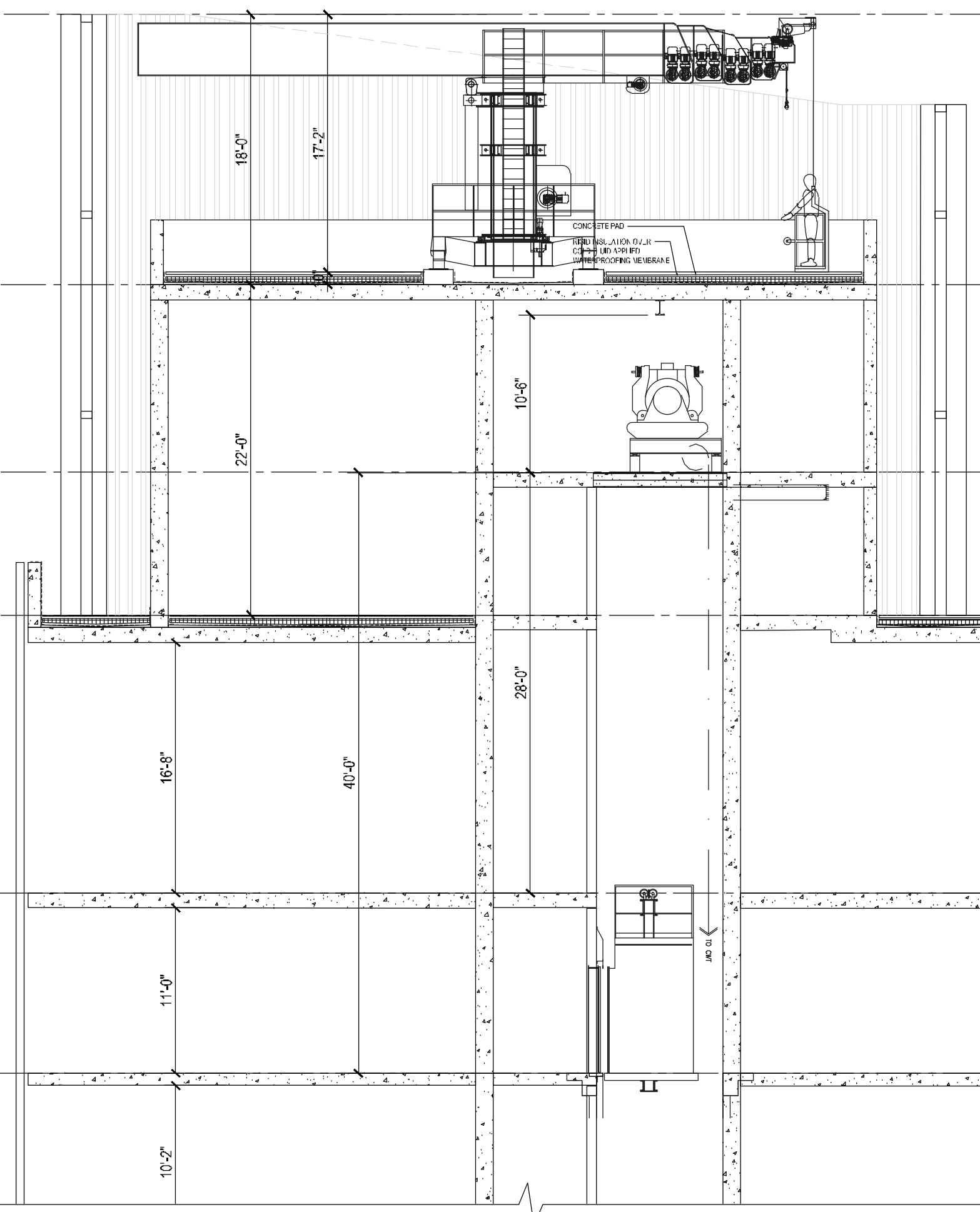
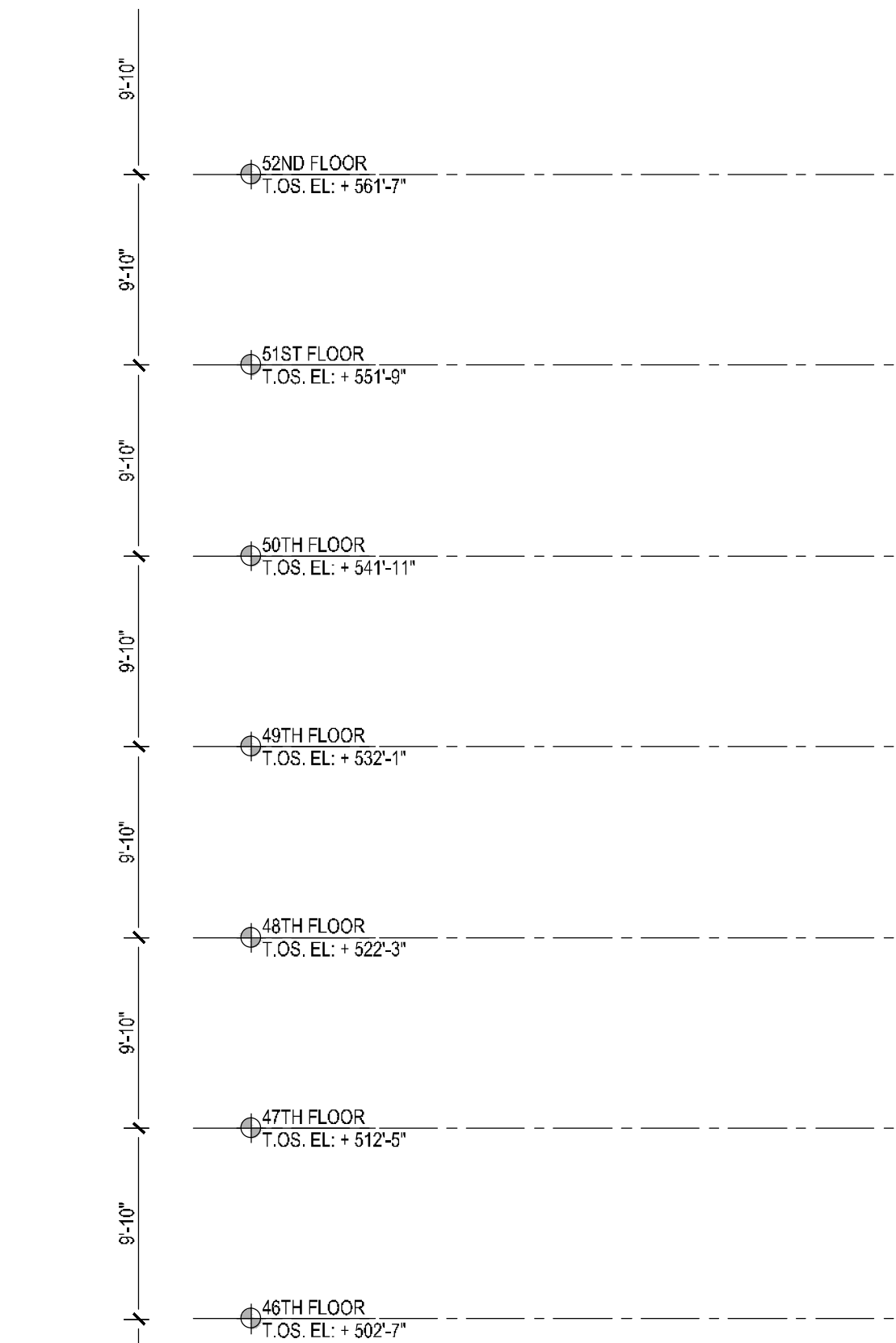
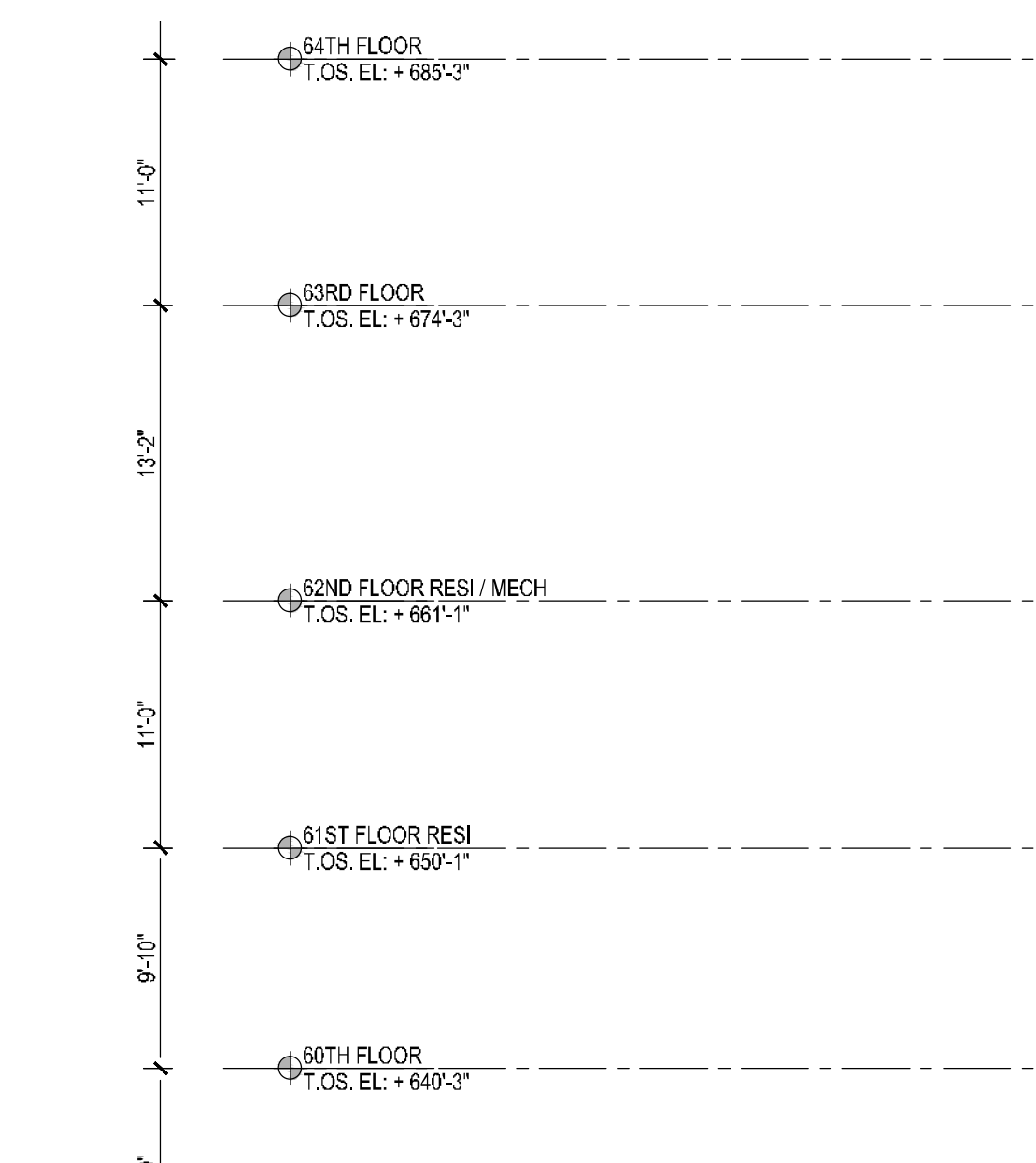
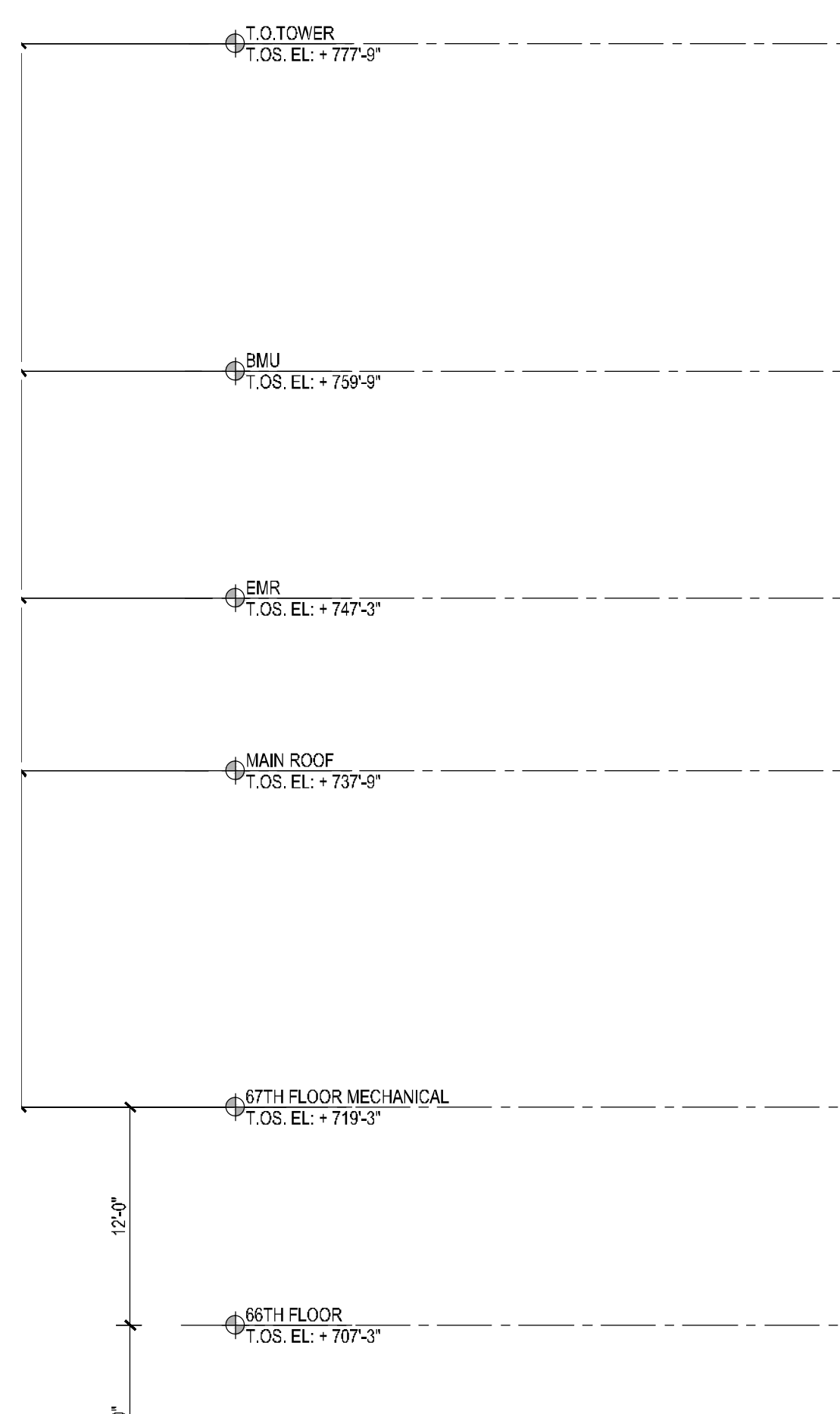
**Whitehall**



11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

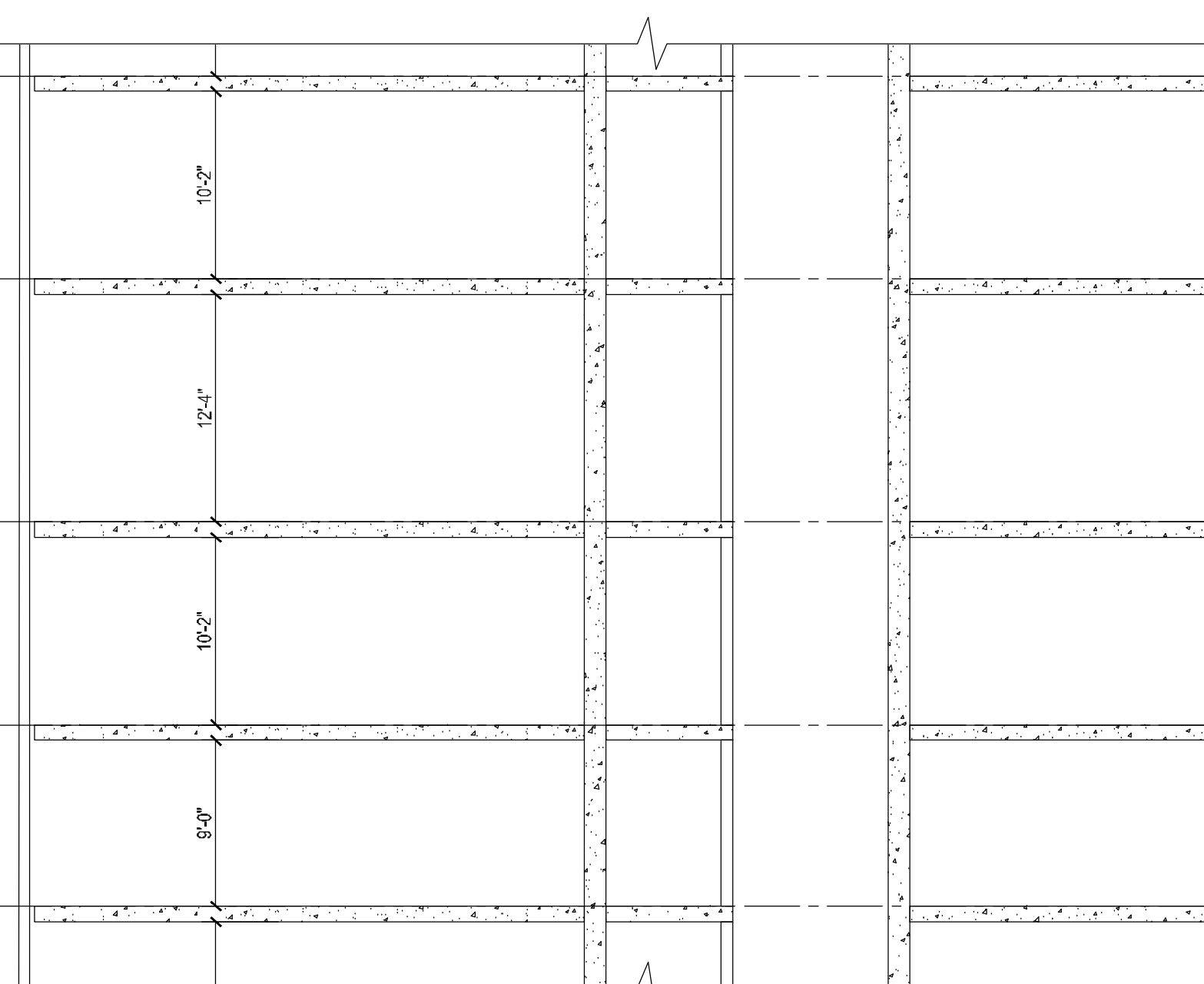
DOB STAMPS &amp; SIGNATURES:



DWG TITLE:  
PARTIAL WEST - EAST SECTION

SEAL & SIGNATURE:	DATE:	10/06/2017
	PROJECT #:	15412
	SCALE:	AS NOTED
<div style="font-size: 2em; font-weight: bold;">A-305.00</div>		
DWG NO.		



3 EAST-WEST  EISE SECTION  
Scale: 1/ = 1'-0"

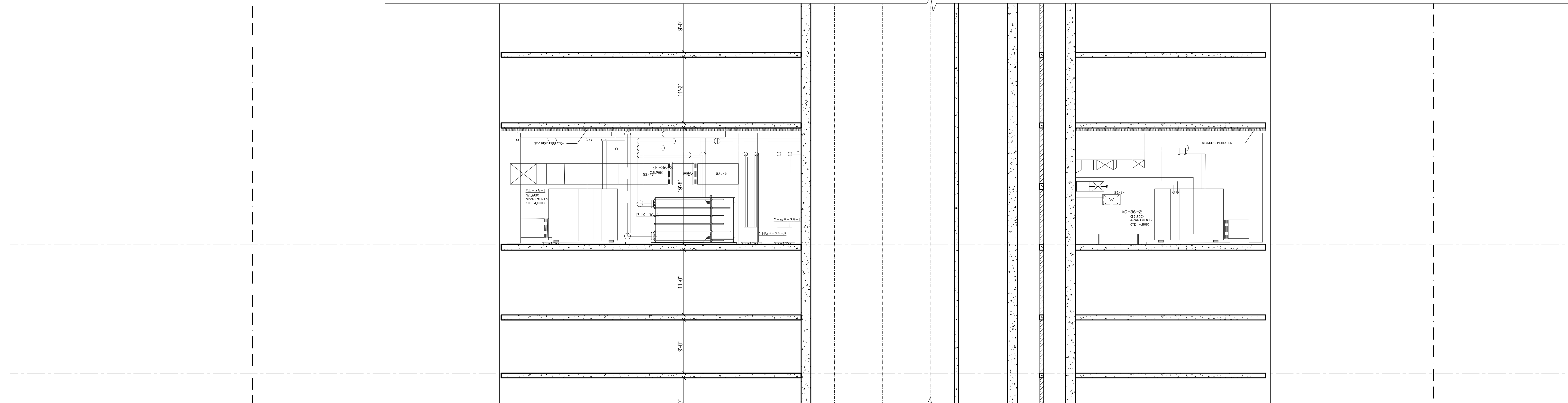
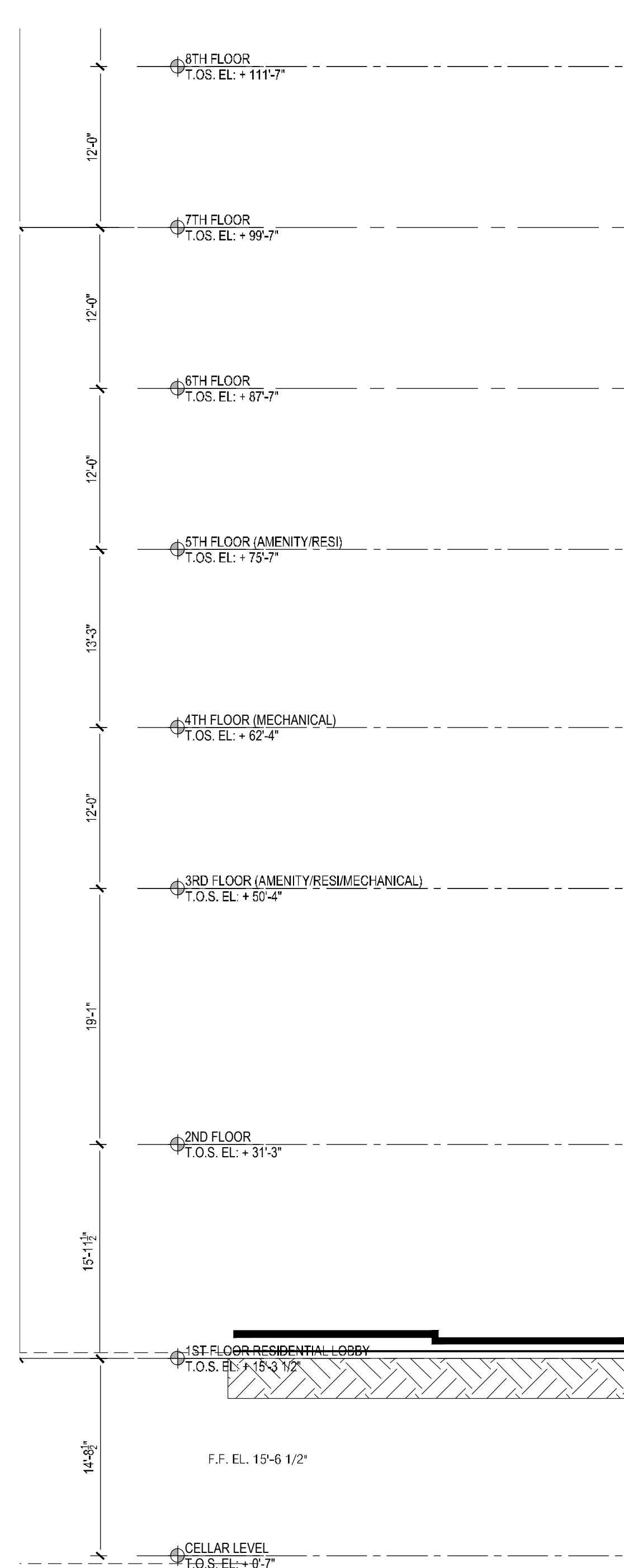


2 EAST-WEST  EISE SECTION  
Scale: 1/ = 1'-0"

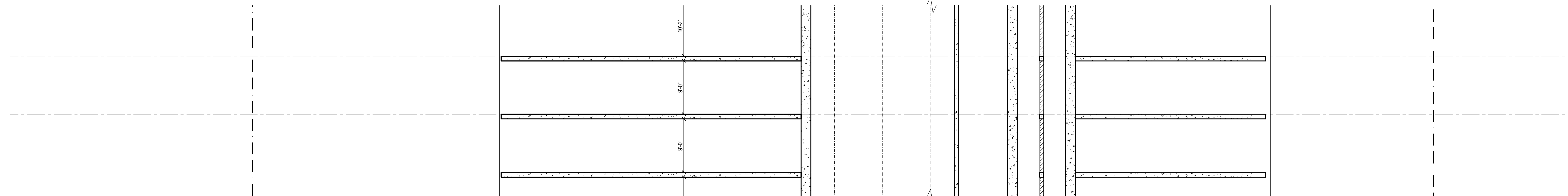


1 EAST-WEST MISE TOWER SECTION

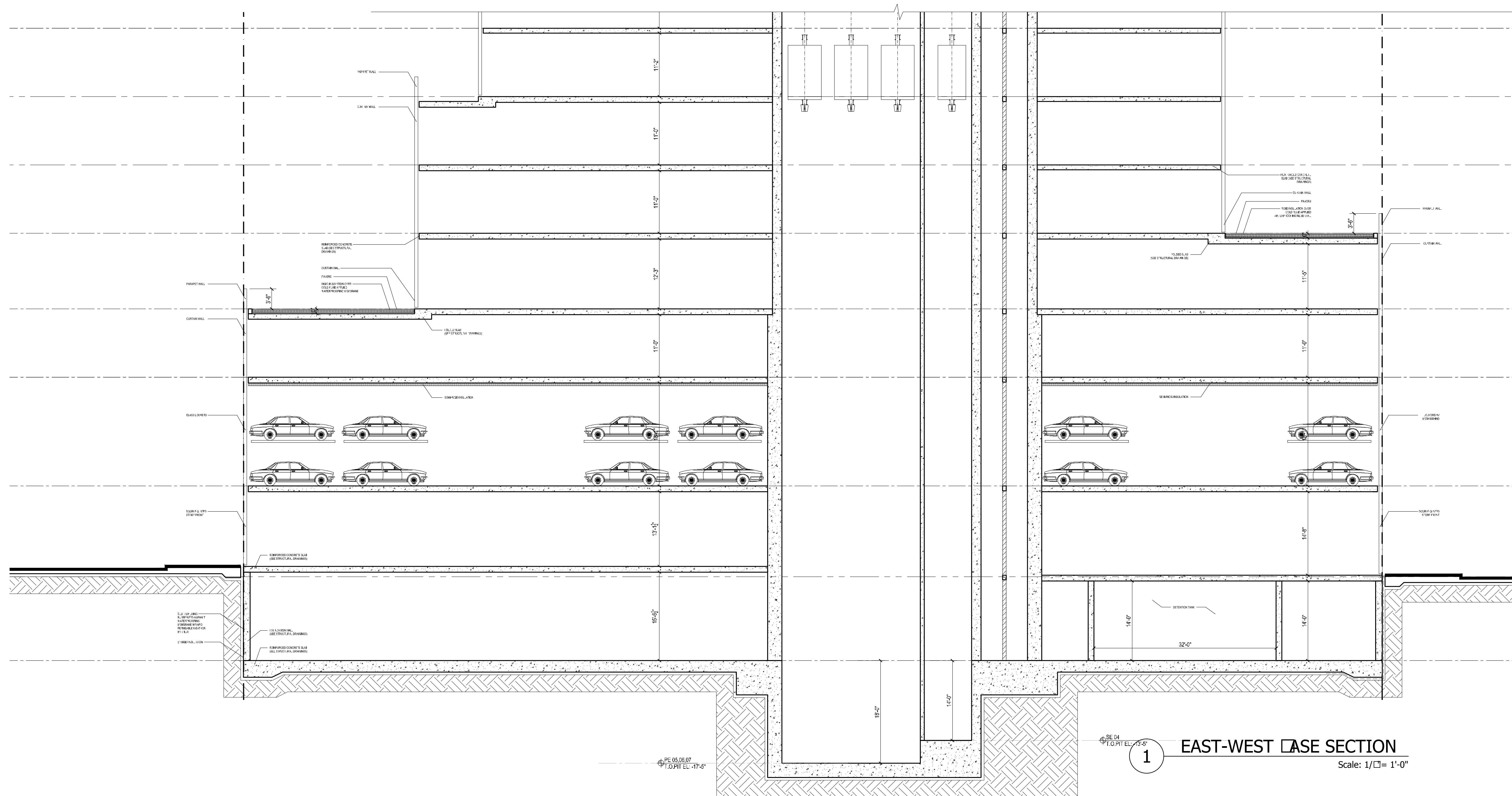




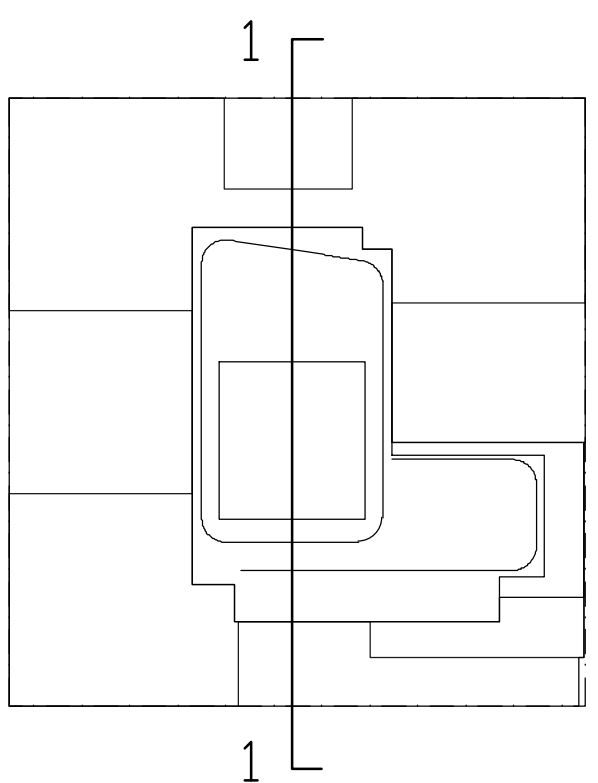
3 EAST-WEST MIDDLE TOWER SECTION  
Scale: 1/8" = 1'-0"



2 EAST-WEST LOW-RISE TOWER SECTION  
Scale: 1/4" = 1'-0"



1 EAST-WEST CASE SECTION  
Scale: 1/4" = 1'-0"



## KEY PLAN

**NOTES:**

NOT	FOR	CONSTRUCTION
-----	-----	--------------

10/09/2017	ISSUED FOR DOB
09/13/2017	90% CD SET ADD # 3
06/02/2017	65% CD SET
03/24/2017	50% CD SET
01/10/2017	ISSUED FOR DOB
01/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FACADE PRICING SET
11/11/2016	100% CD FOUNDATION BID SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION BID SET
02/05/2016	DOB PLUG SET

er:	Date:	Revision:
-----	-------	-----------

City View Tower at  
Court Square  
23-15 44th Drive  
Long Island City, NY 11101

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

architect:

**HILL | WEST**  
ARCHITECTS

11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

consultant:


**ESIMONE  
CONSULTING ENGINEERS**  
1 Broadway, 25th Floor  
New York, NY, 10005  
(212) 632-2211

**Posentini Associates**  
100 Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

**Whitehall**  
Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

STAMPS &amp; SIGNATURES:

TITLE: PARTIAL NORTH - SOUTH SECTION

	DATE:	10/06/2013
	PROJECT #:	15412
	SCALE:	AS NOTED
	<div style="font-size: 2em; font-weight: bold;">A-306.00</div>	
DWG NO.		





**NOTES:**

NOT	FOR	CONSTRUCTION
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10/09/2017	ISSUED FOR DOB
09/13/2017	90% CD SET ADD # 3
06/02/2017	65% CD SET
03/24/2017	50% CD SET
01/10/2017	ISSUED FOR DOB
01/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FACADE PRICING SET
11/11/2016	100% CD FOUNDATION BID SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION BID SET
02/05/2016	DOB PLUG SET

er:	Date:	Revision:
-----	-------	-----------

City View Tower at  
Court Square  
23-15 44th Drive  
Long Island City, NY 11101

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

architect:

**HILL | WEST**  
**ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007


**ESIMONE**  
**CONSULTING ENGINEERS**  
10 Broadway, 25th Floor  
New York, NY, 10005  
(212) 532-2211

**osentini Associates**  
100 Pennsylvania Plaza, 3rd FL.,  
New York, NY 10121  
(212) 615-3600

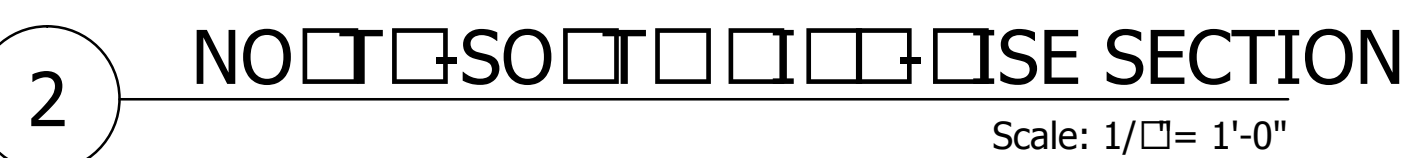
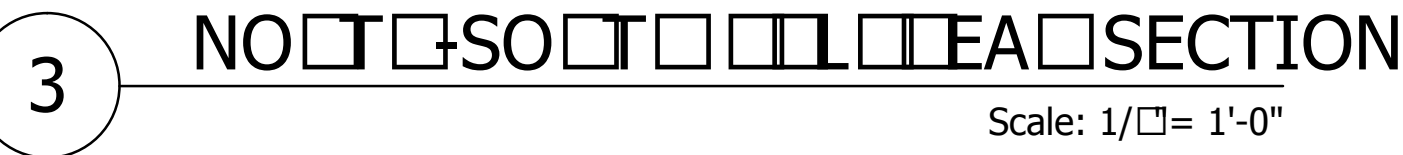
**Whitehall**  
Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

STAMPS &amp; SIGNATURES:

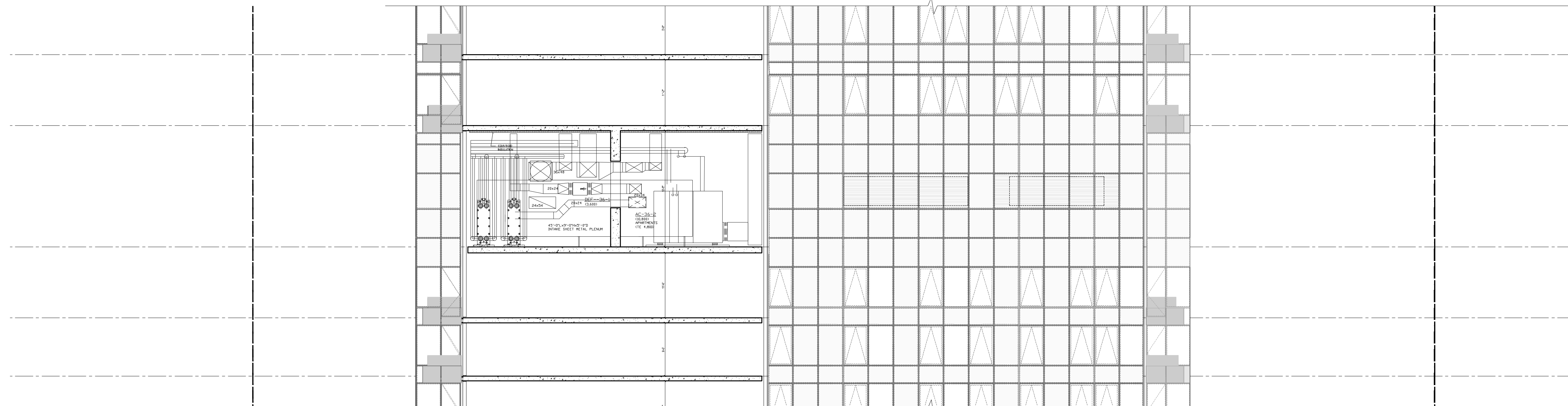
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	DATE:	10/06/2013
	PROJECT #:	15412
	SCALE:	AS NOTED
	<div style="font-size: 2em; font-weight: bold;">A-307.00</div>	
DWG NO.		

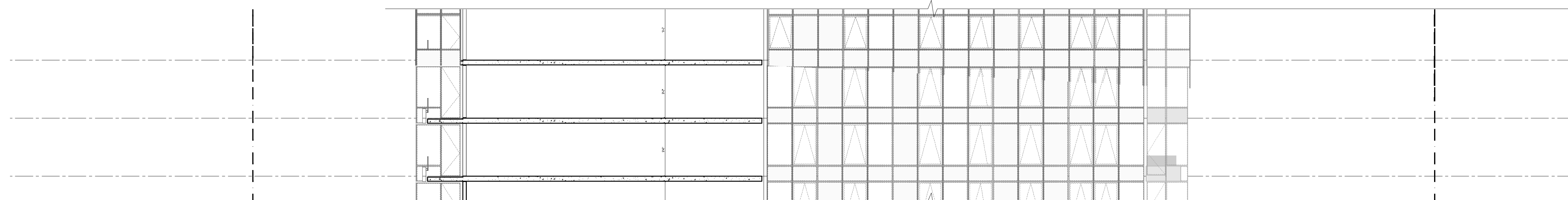
58 OF 105



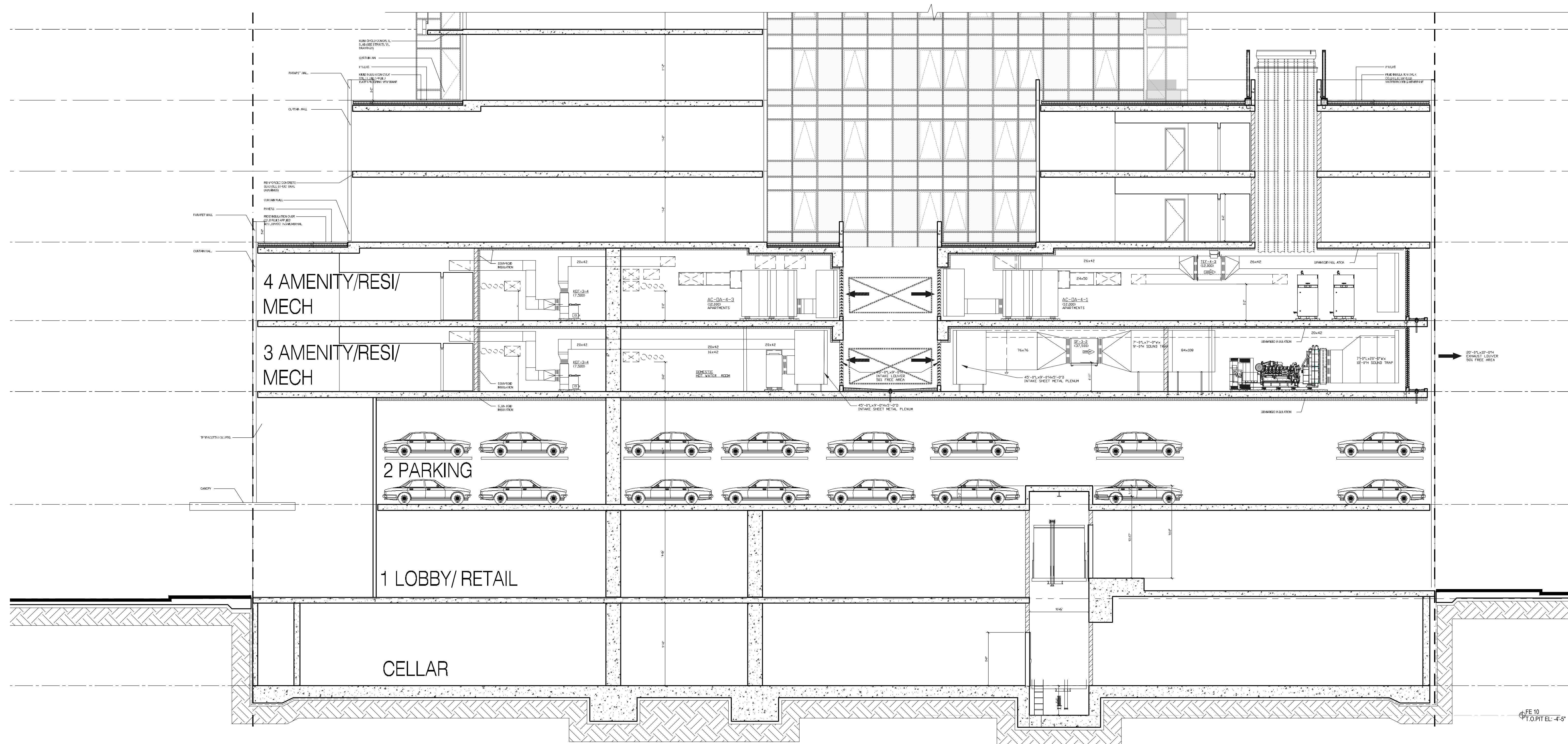




3



2



1



**NOTES:**

NOT	FOR	CONSTRUCTION
-----	-----	--------------

10/09/2017	ISSUED FOR DOB
09/05/2017	90% CD SET ADJ # 3
06/02/2017	60% CD SET
03/24/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FACADE PRICING SET
11/11/2016	100% DOB FOUNDATION BID SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION BID SET
02/05/2016	DOB PLING SET

Author:	Date:	Revision:
---------	-------	-----------

**City View Tower at  
Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

architect:  
**HILL | WEST**  
**ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213.8007

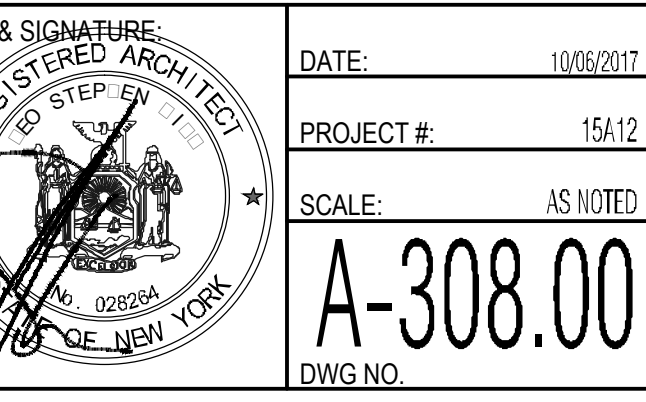
**ESIMONE**  
**CONSULTING ENGINEERS**  
10 Broadway, 25th Floor  
New York, NY, 10005  
Tel: 632-2211

**Posentini Associates**  
100 Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
Tel: 615-3600

**Whitehall**  
Broadway, 17th Floor  
New York, NY 10004  
Tel: 908-4940

STAMPS &amp; SIGNATURES:

TITLE: PARTIAL NORTH - SOUTH SECTION







**NOTES:**

NOT FOR CONSTRUCTION	
10/06/2017	ISSUED FOR DOB
09/13/2017	DOA CO-SET ANDO # 3
06/02/2017	60% CO-SET
03/24/2017	50% CO-SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	PHASE PRICING SET
11/11/2016	FROM BEST TO WARDENBAND SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION BAND SET
	OVERALL BIDDING SET

Number:	Date:	Revision:
---------	-------	-----------

Number:	Date:	Revision:
Project:		
<b>City View Tower at Court Square</b>		
23-15 44th Drive		
Long Island City, NY 11101		

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:

**HILL | WEST**  
ARCHITECTS

11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:

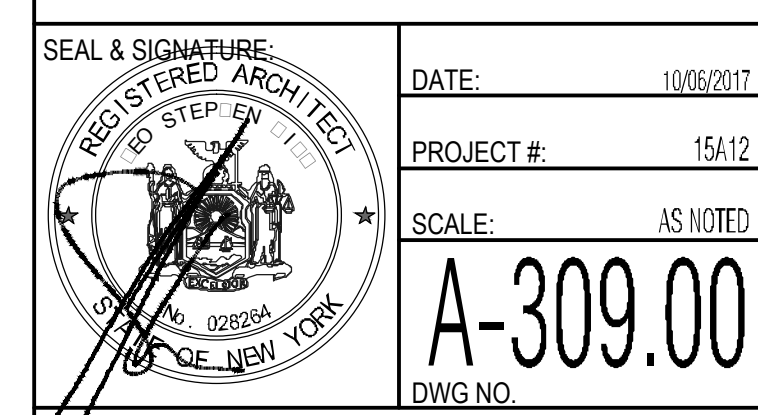
**DESIMONE  
CONSULTING ENGINEERS**  
140 Broadway, 25th Floor  
New York, NY, 10005  
(212) 532-2211

**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

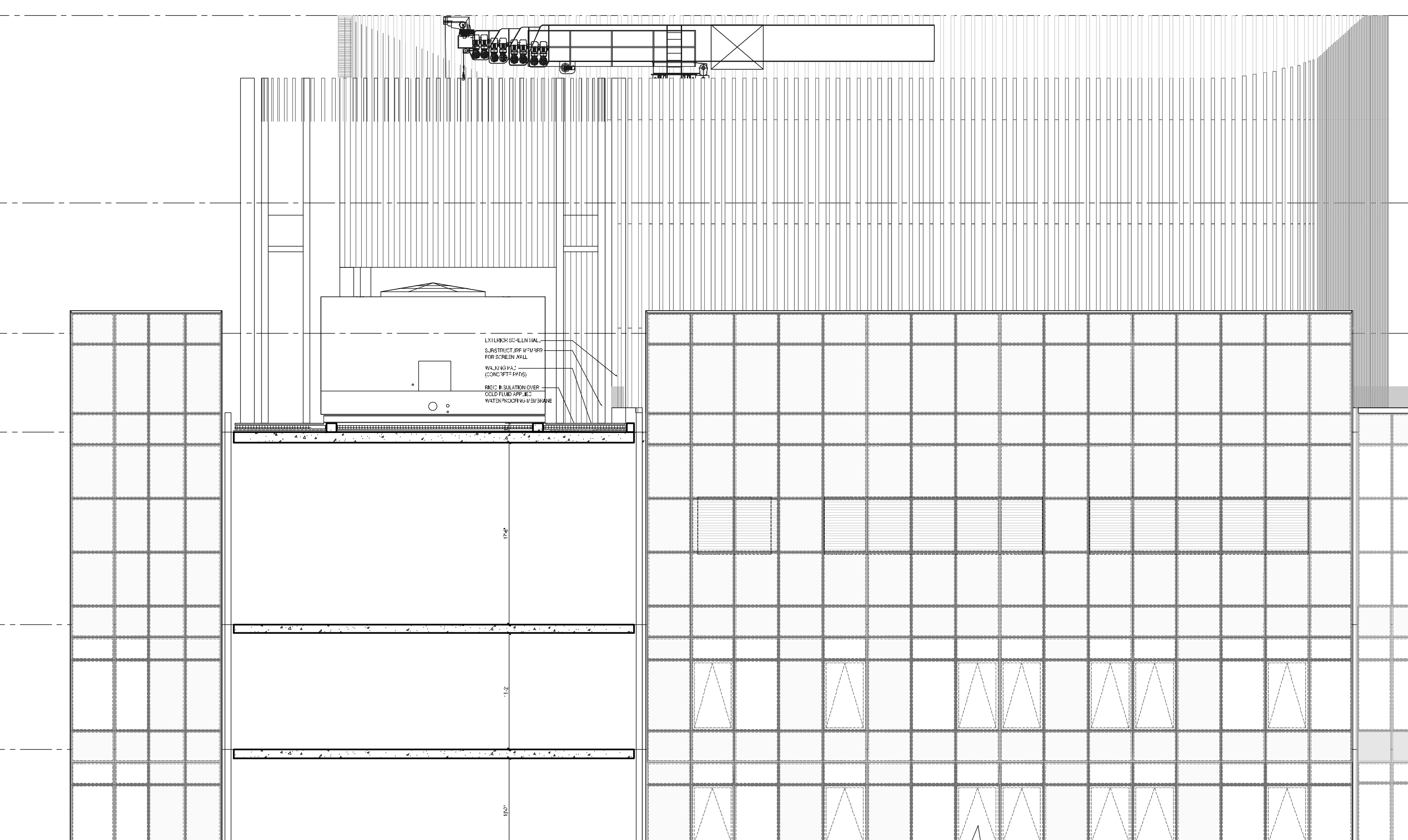
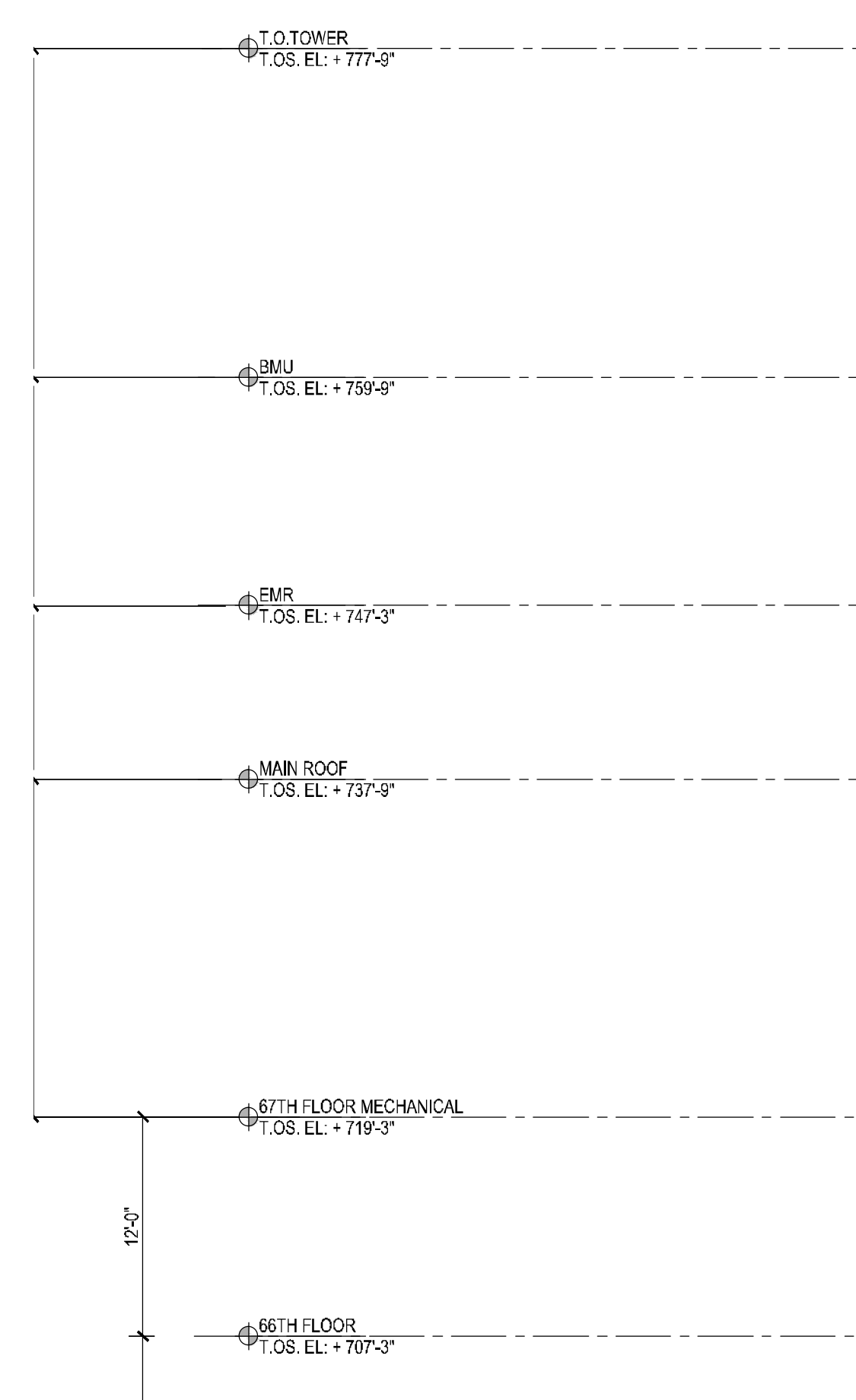
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS &amp; SIGNATURES:

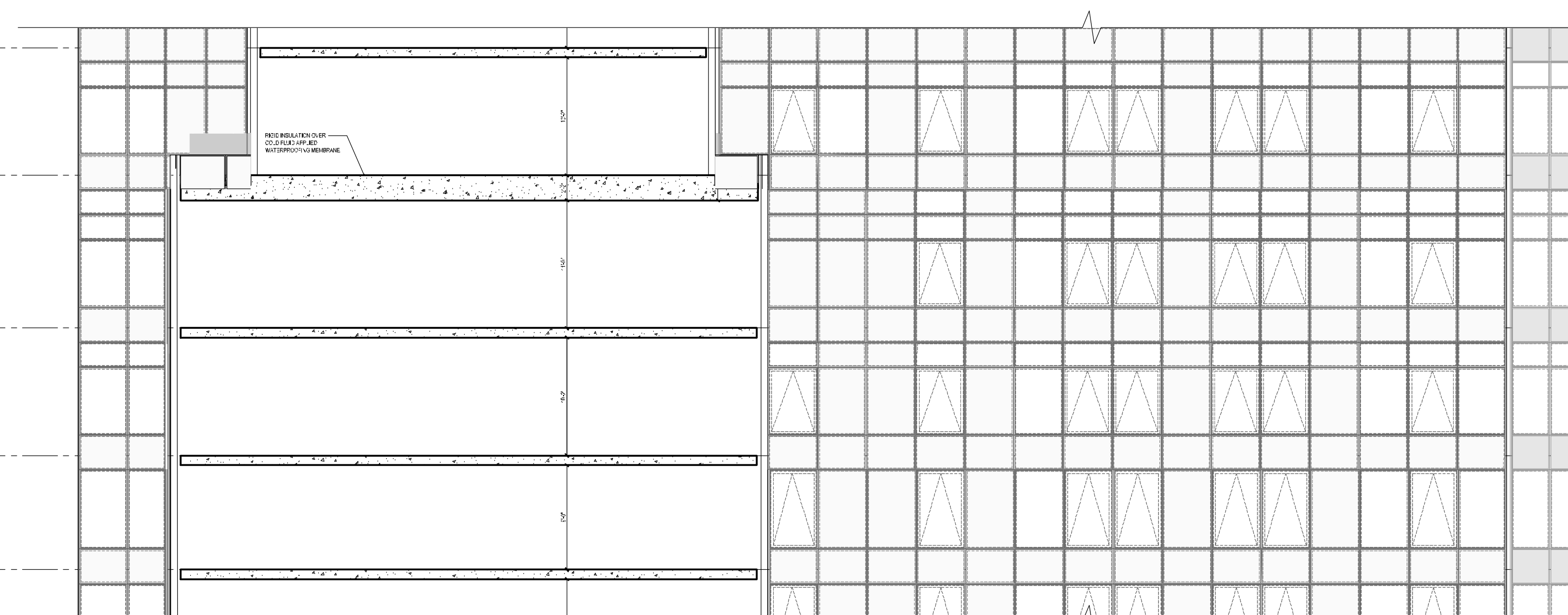
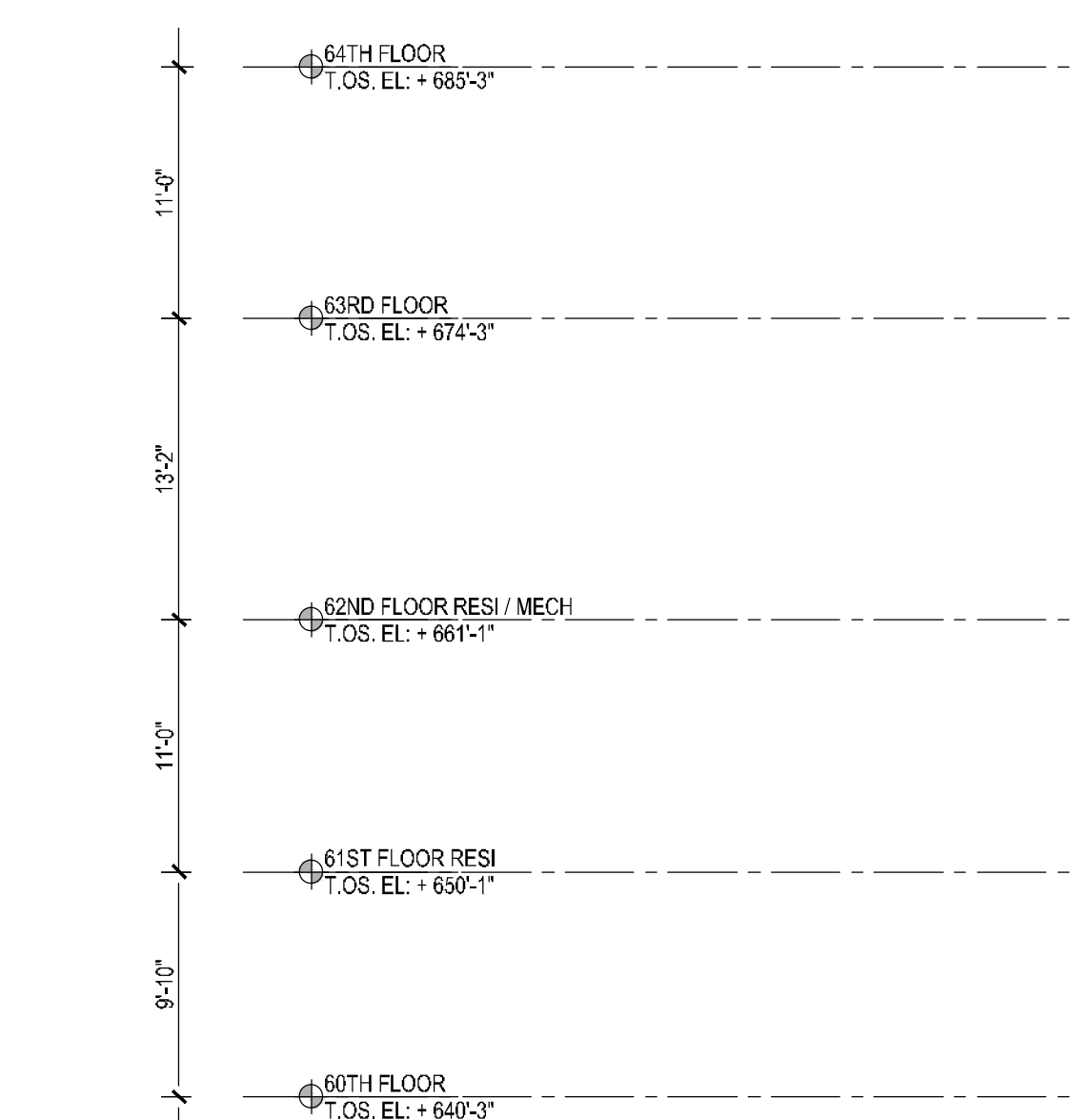
DWG TITLE: PARTIAL NORTH - SOUTH SECTION



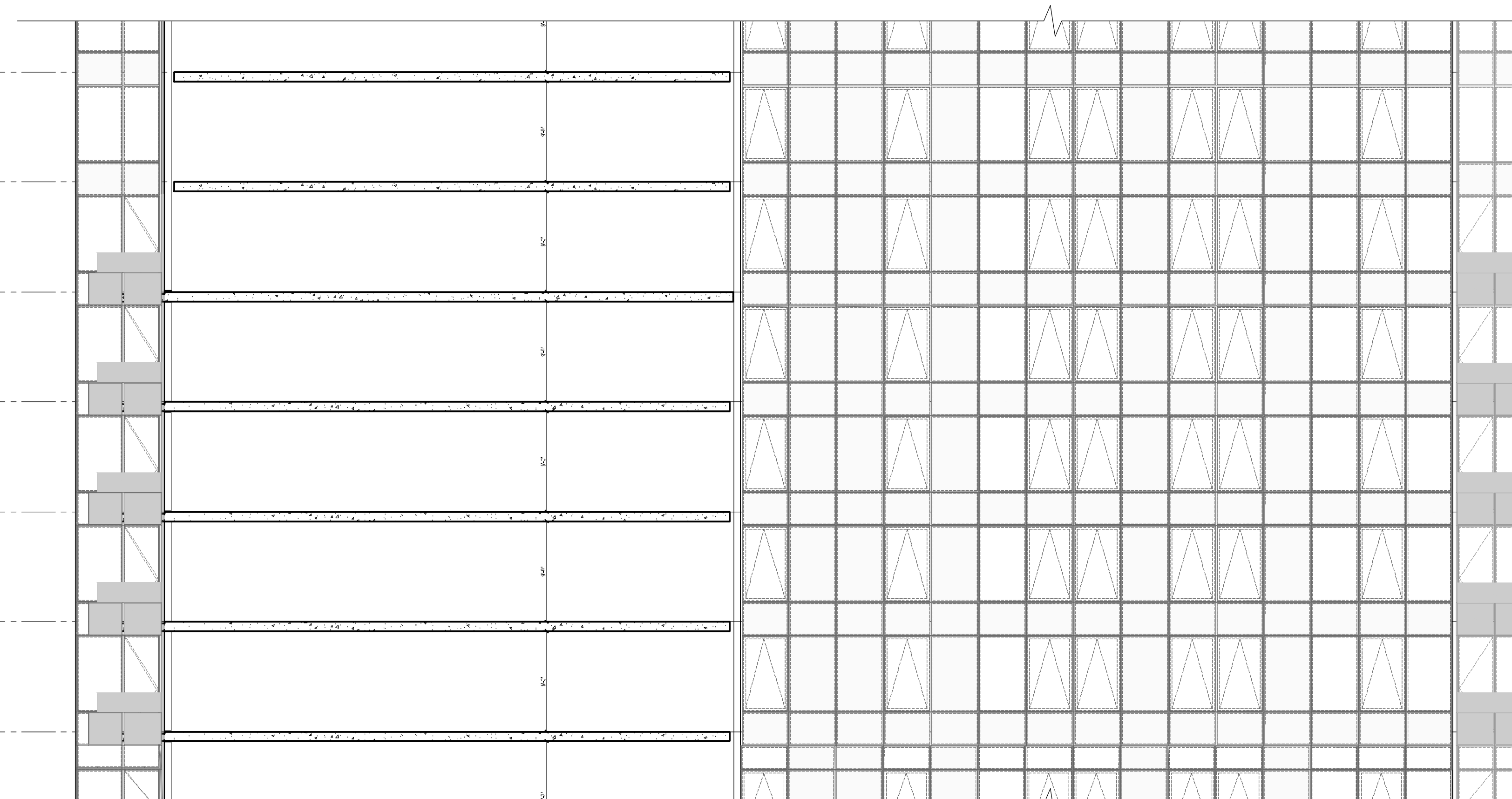
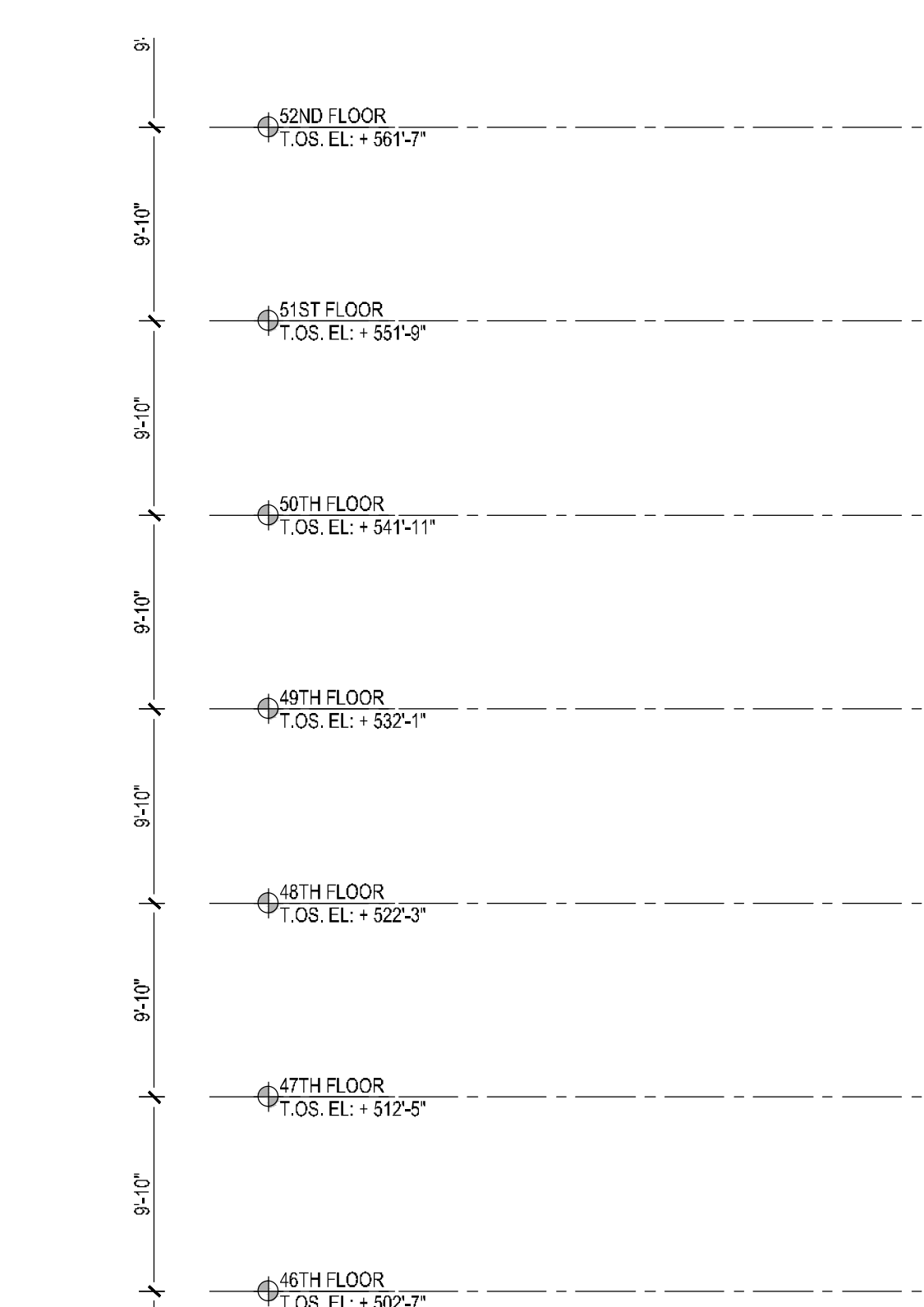
060 OF 105

PROPERTY  
LINEPROPERTY  
LINE

3 NORTH-SOUTH EASE SECTION  
Scale: 1/4" = 1'-0"

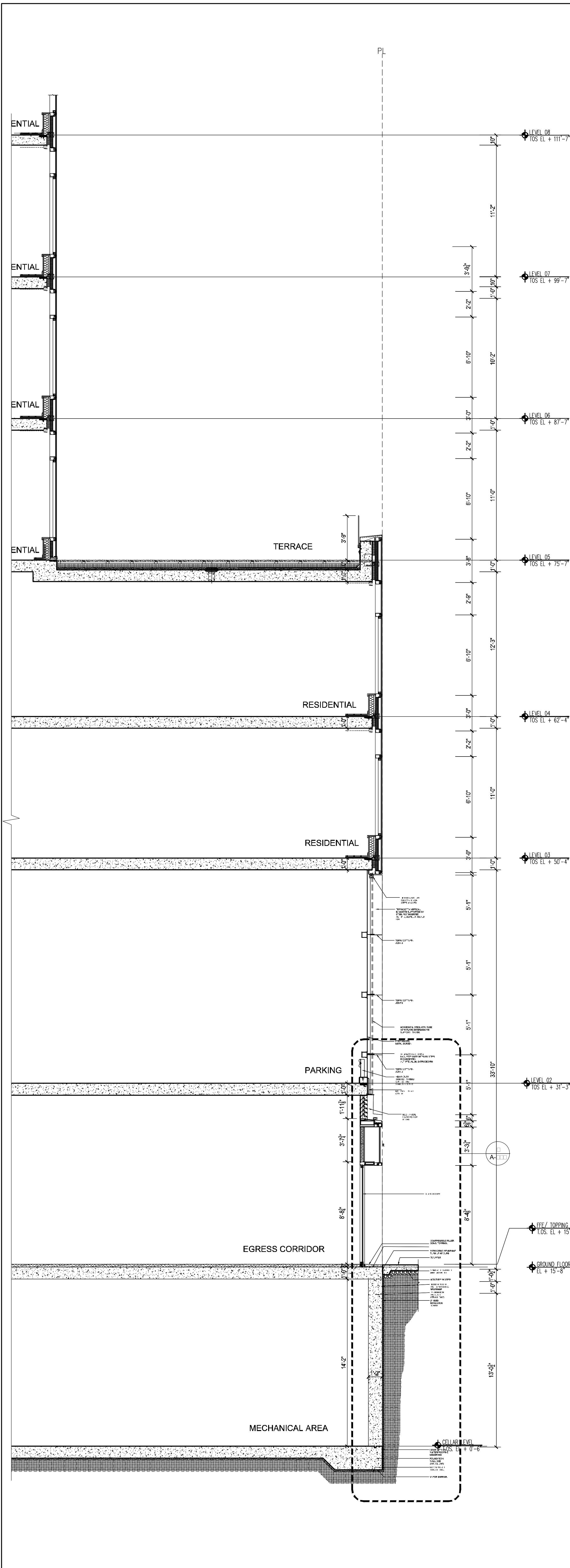


2 NO ☐ SO ☐ ☐ ☐ ☐ ☐ SE SECTION  
Scale: 1/☐ = 1'-0"

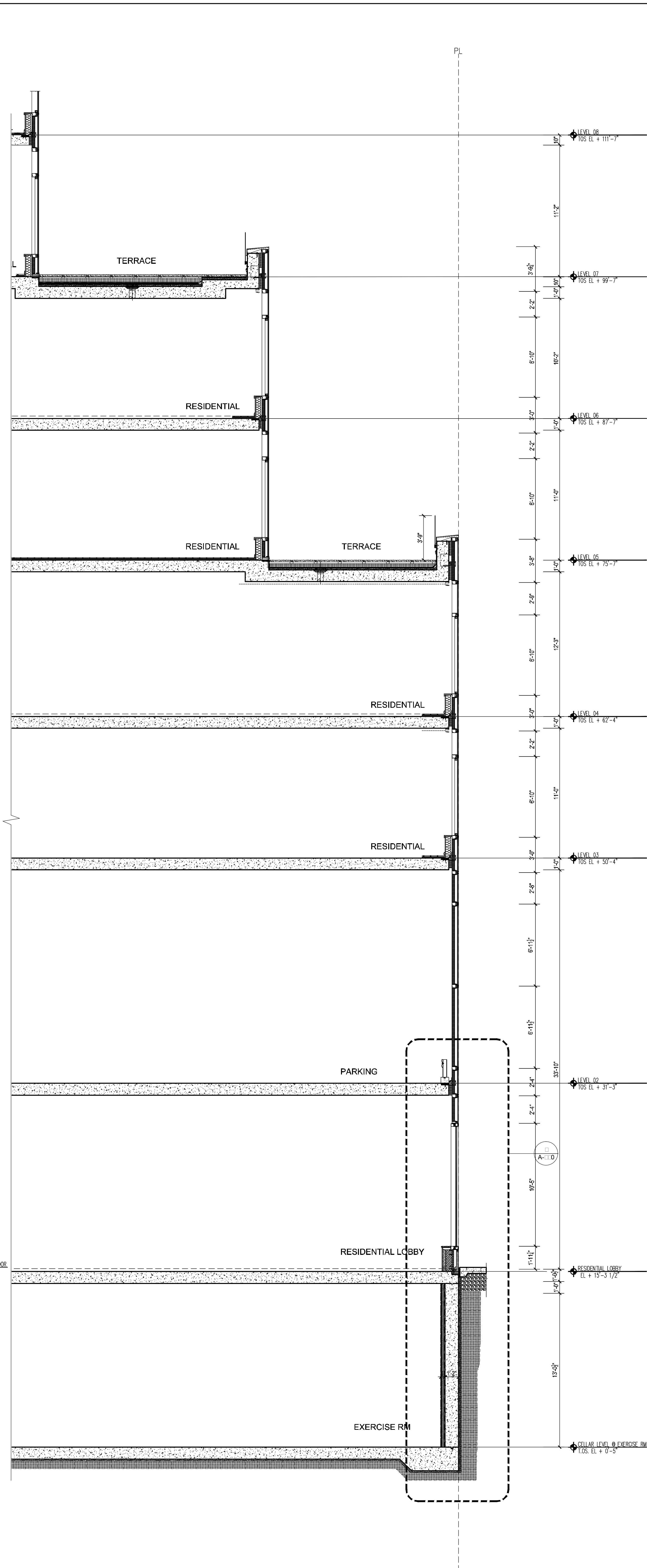


1 NORTH-SOUTH-MID-EAST SECTION  
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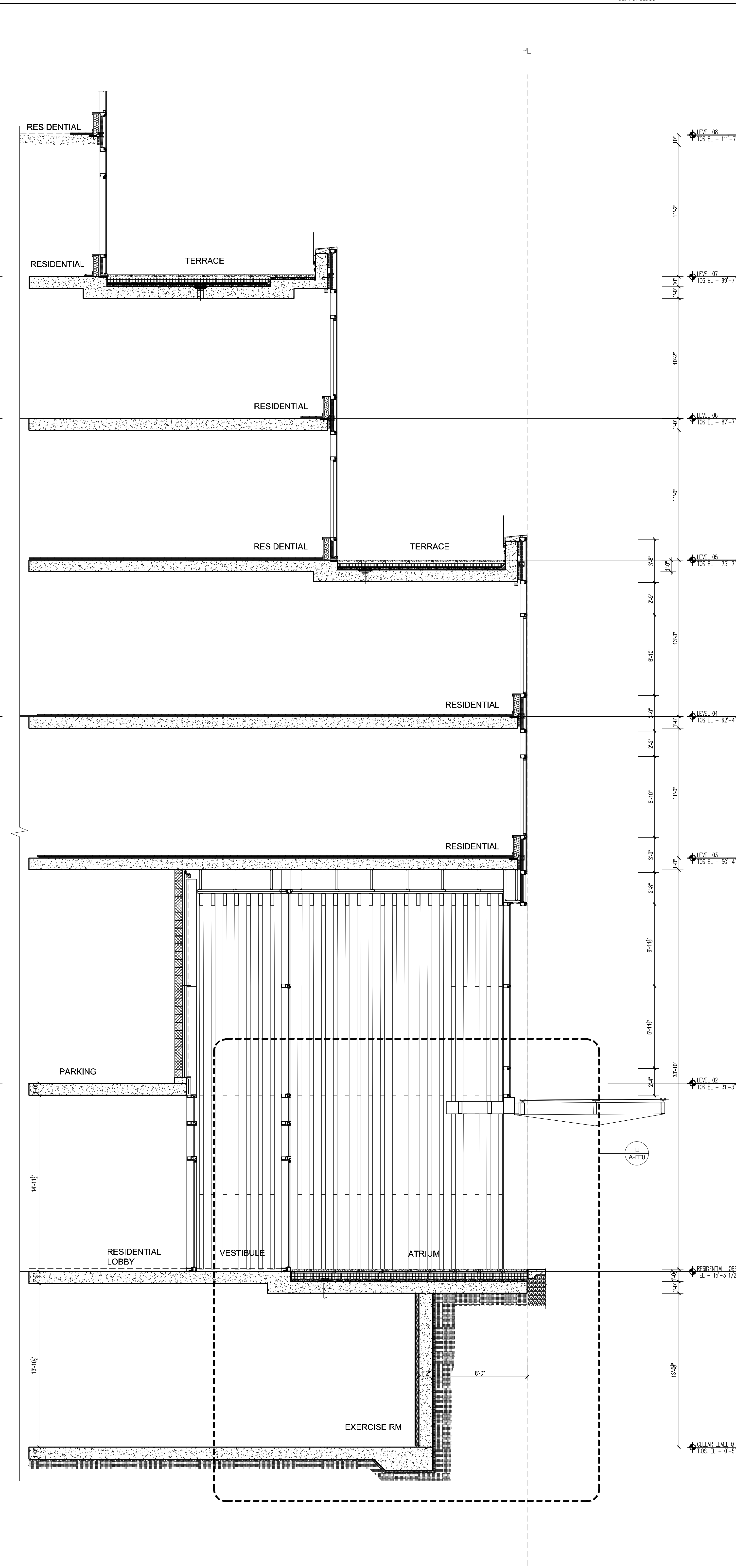




3 WALL SECTION @ SOUTH ENTRANCE CORRIDOR  
Scale: 1/4"=1'-0"



2 WALL SECTION @ SOUTH ENTRANCE LOBBY/STORAGE  
Scale: 1/4"=1'-0"



1 WALL SECTION @ SOUTH ENTRANCE  
Scale: 1/4"=1'-0"

NOTES:

NOT FOR CONSTRUCTION

10/05/2017	ISSUED FOR DOB
08/15/2017	50% CD SET AND #3
06/02/2017	50% CD SET
03/24/2017	50% CD SET
03/16/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
01/17/2017	ISSUED FOR DOB
01/12/2017	ISSUED FOR DOB
01/02/2017	SUPERSUBSTRUCTURE SET
11/17/2016	ISSUED FOR DOB
10/14/2016	ISSUED FOR DOB
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION HD SET
03/05/2016	DOB PLING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8807

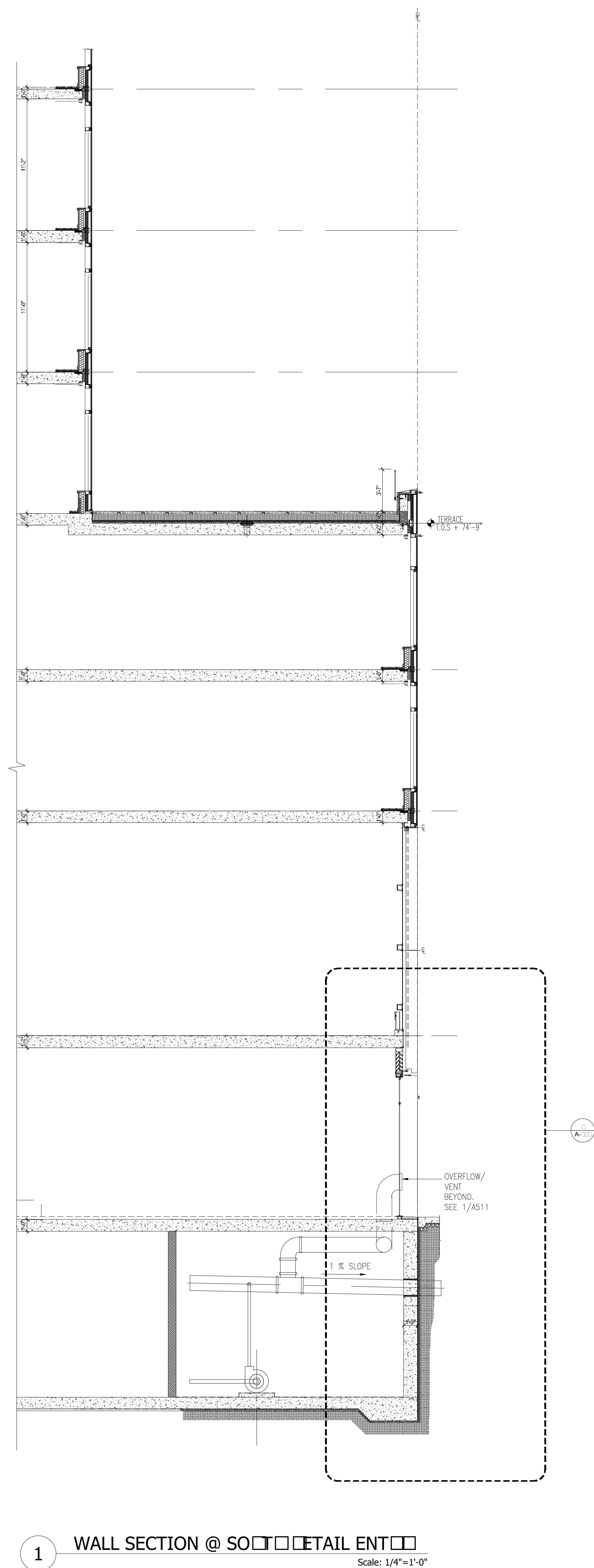
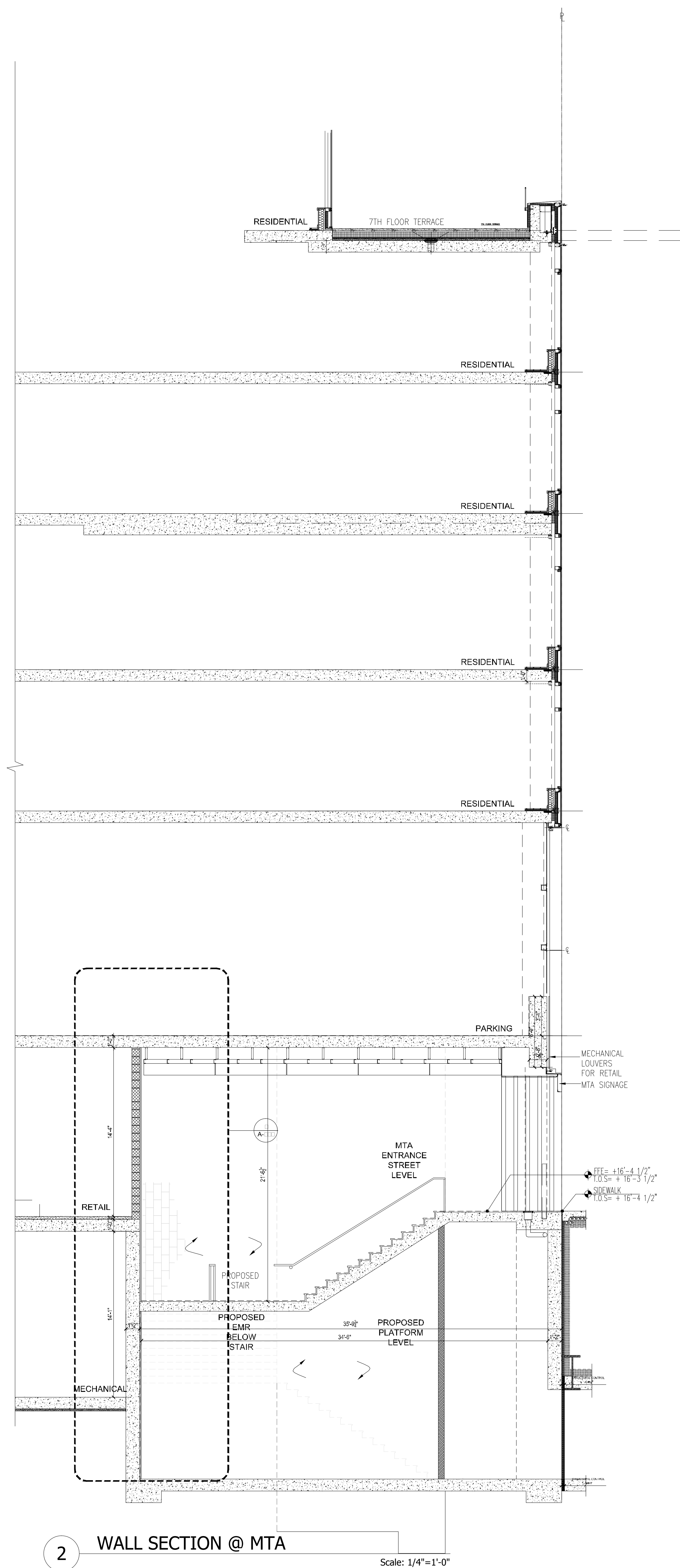
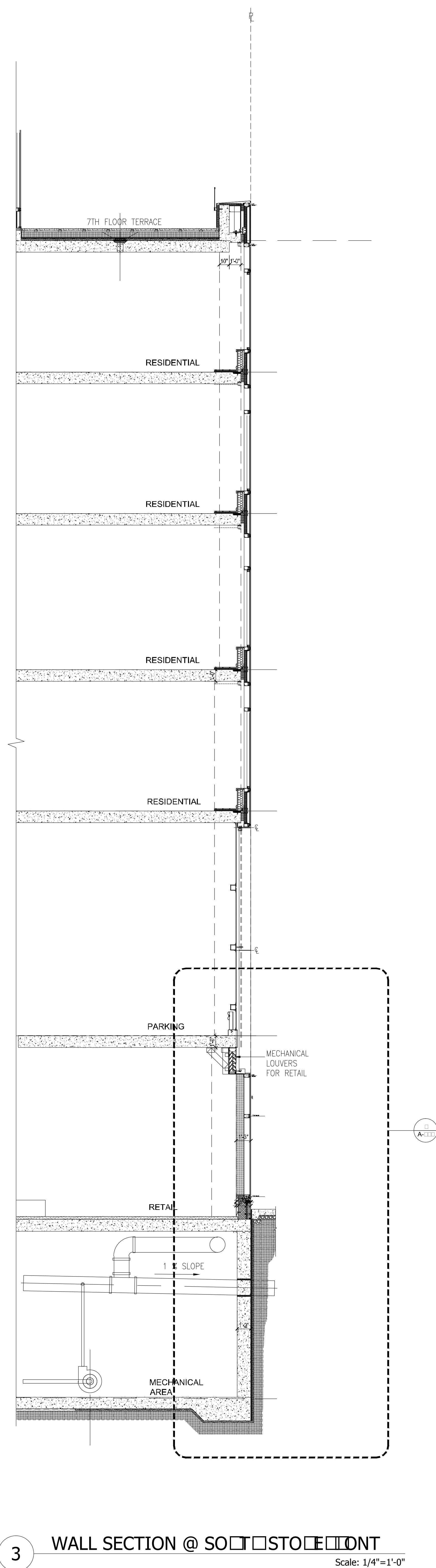
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:  
BASE BUILDING WALL SECTIONS

SEAL & SIGNATURE: 	DATE: 10/05/2017
PROJECT #:	15412
SCALE:	AS SHOWN
DWG NO.	A-320.00





**NOTES:**

NOT	FOR	CONSTRUCTION
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10/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET IACO # 3
06/02/2017	85% CD SET
03/24/2017	50% CD SET
03/16/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FACADE PAVING SET
11/11/2016	100% CD FOUNDATION BID SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION BID SET
03/05/2016	DOB PLANS SET

Number:	Date:	Revision:
---------	-------	-----------

Number:	Date:	Revision:
Project:		
<b>City View Tower at Court Square</b>		
23-15 44th Drive		
Long Island City, NY 11101		

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004


Consultant:  
**DESIMONE  
CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY 10005

(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121

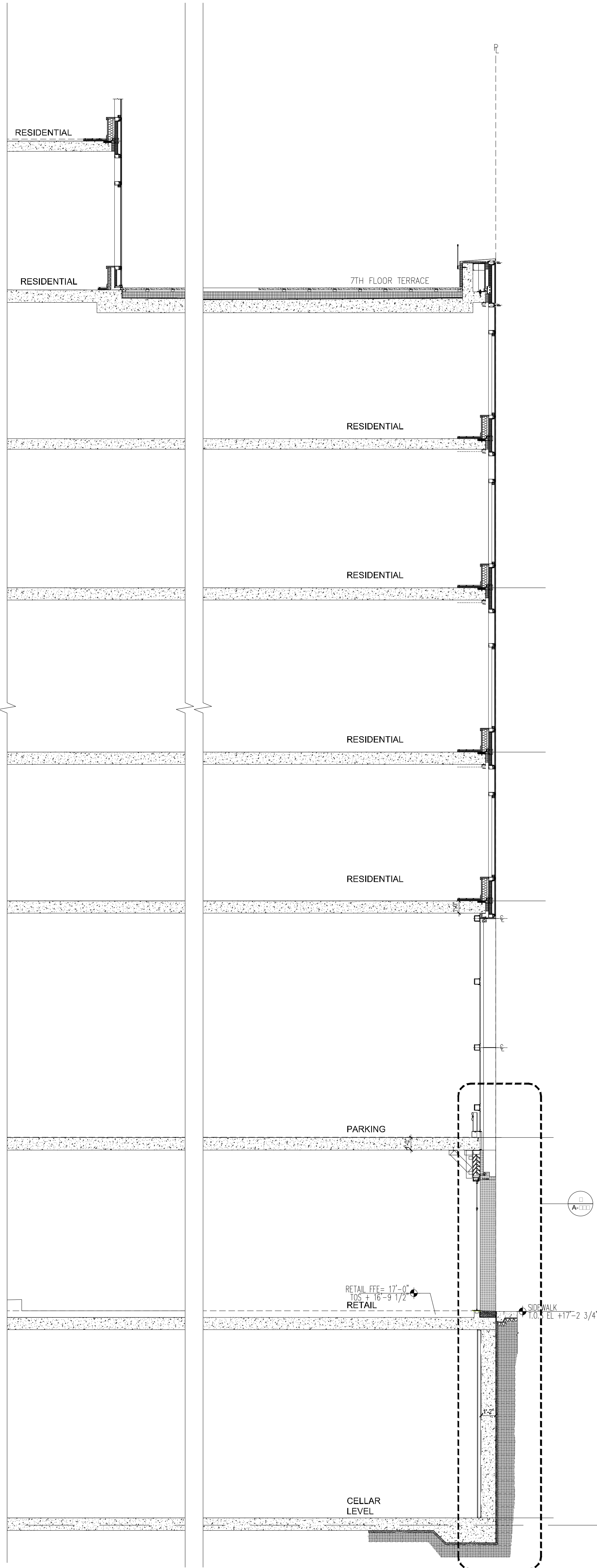
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS &amp; SIGNATURES

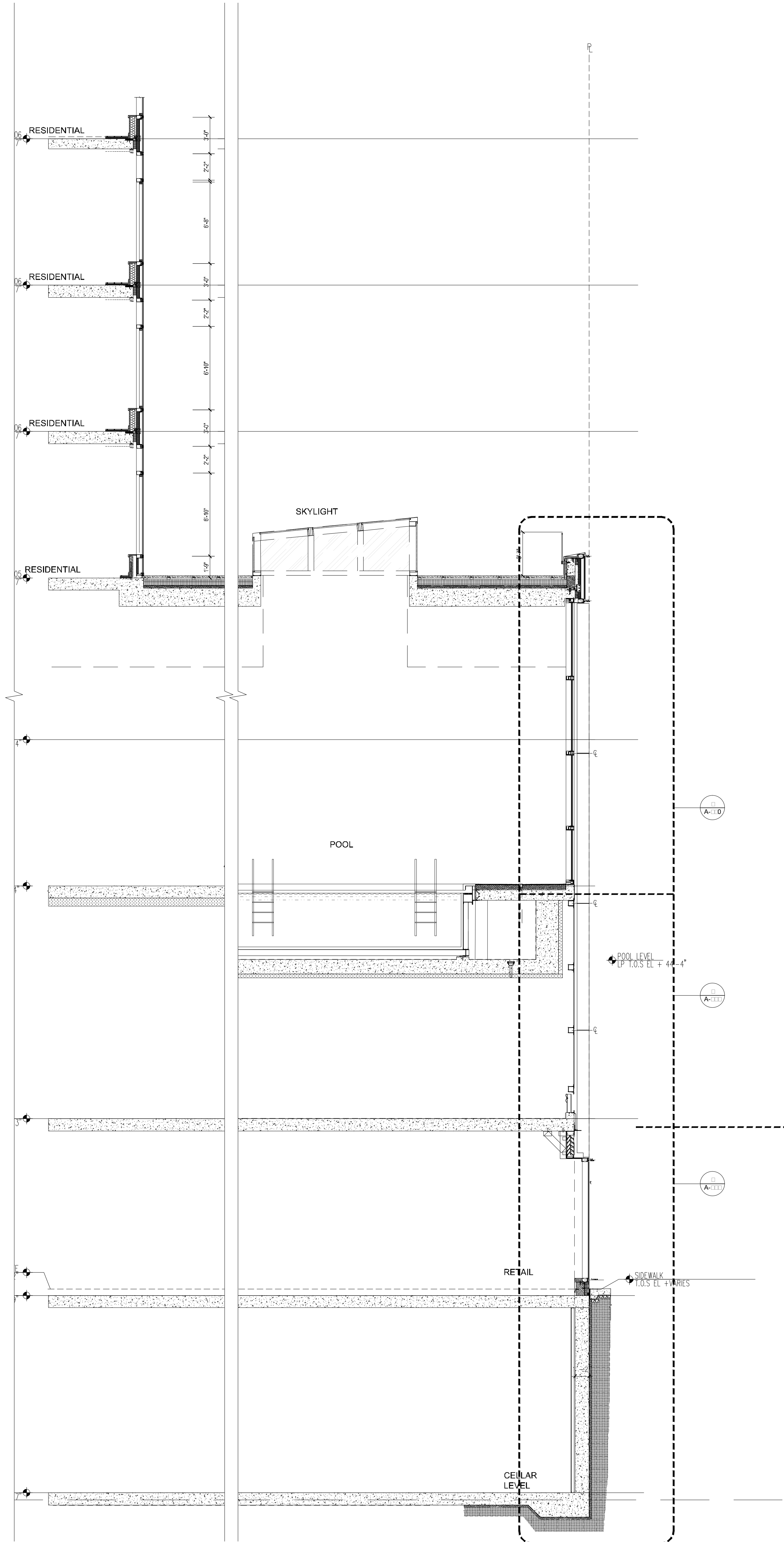
DWG TITLE:  
BASE BUILDING WALL SECTIONS

SEAL & SIGNATURE: 	DATE:	10/06/2011
	PROJECT #:	15A1
	SCALE:	AS NOTED
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	DWG NO.	

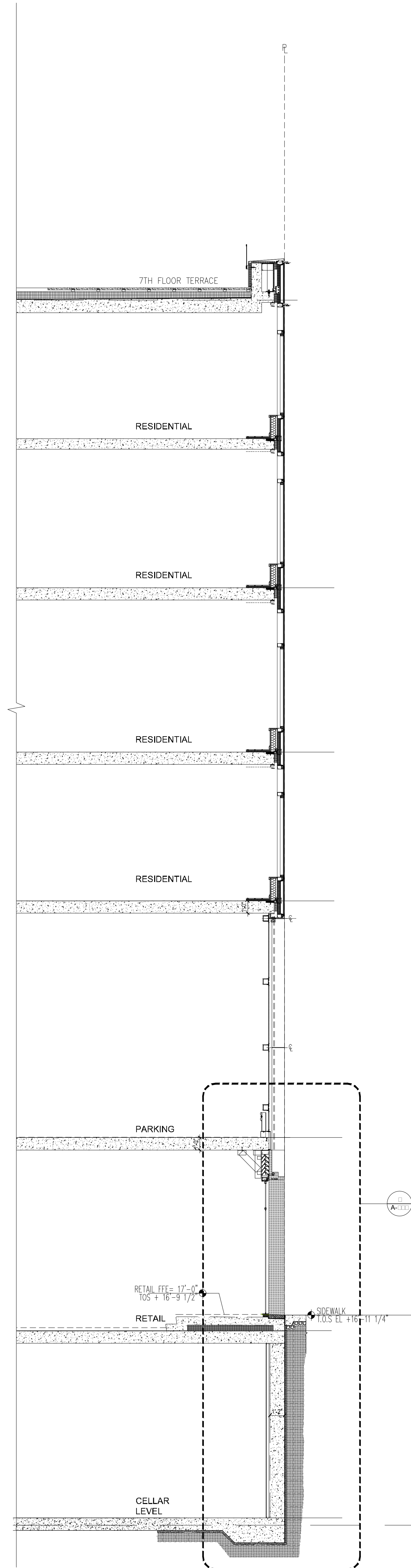




3 WALL SECTION @ WEST STORE FRONT ENTANCE  
Scale: 1/4"=1'-0"



2 WALL SECTION @ WEST STORE FRONT AND POOL  
Scale: 1/4"=1'-0"



1 WALL SECTION @ WEST STORE FRONT  
Scale: 1/4"=1'-0"

NOTES:

NOT FOR CONSTRUCTION

10/05/2017	ISSUED FOR DOB
08/15/2017	90% CD SET AND #3
06/05/2017	90% CD SET
03/24/2017	90% CD SET
03/19/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FACE PRELIM SET
10/14/2016	100% CD FOUNDATION AND SET
10/12/2016	ISSUED FOR DOB
04/09/2016	FOUNDATION AND SET
03/05/2016	DOB PLING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8807

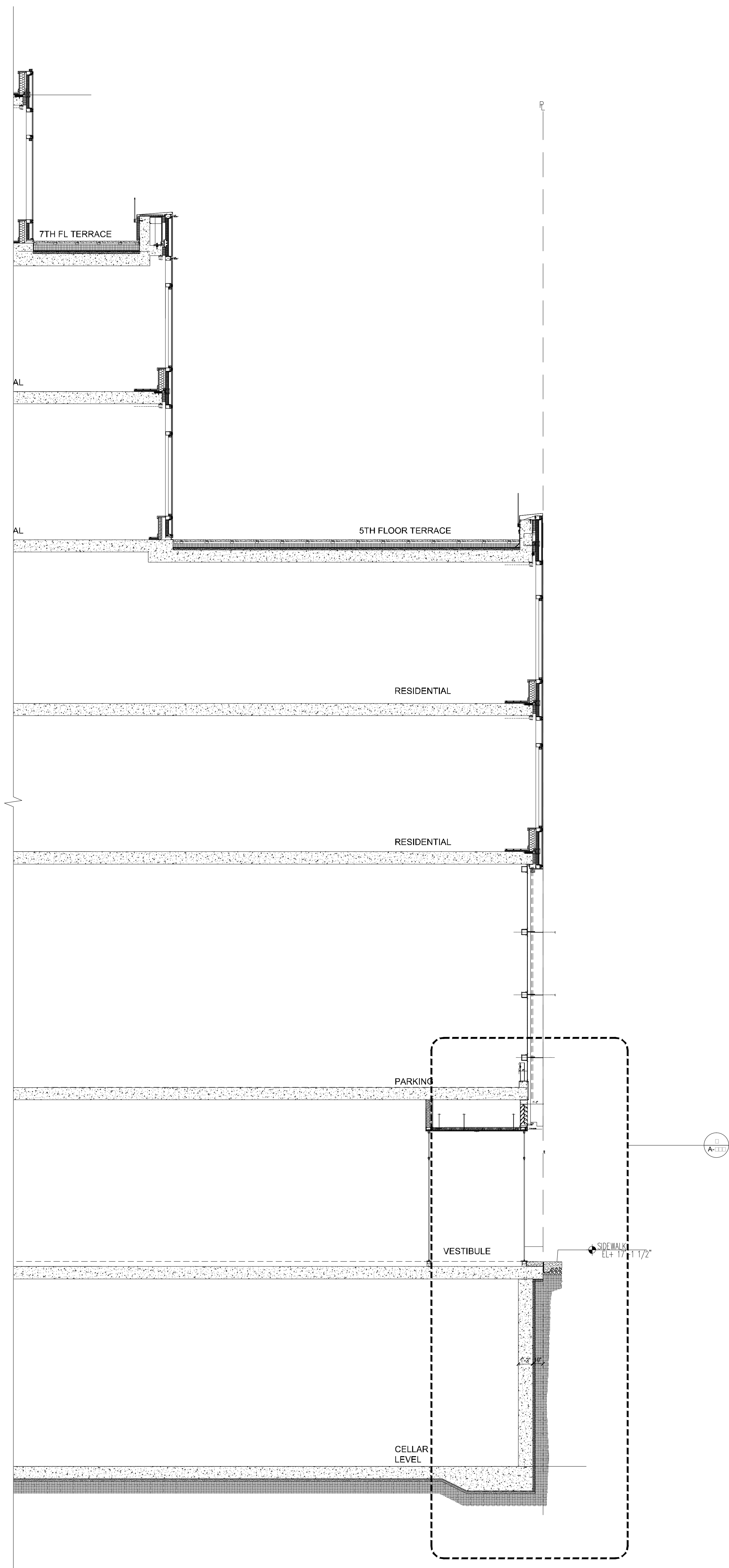
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

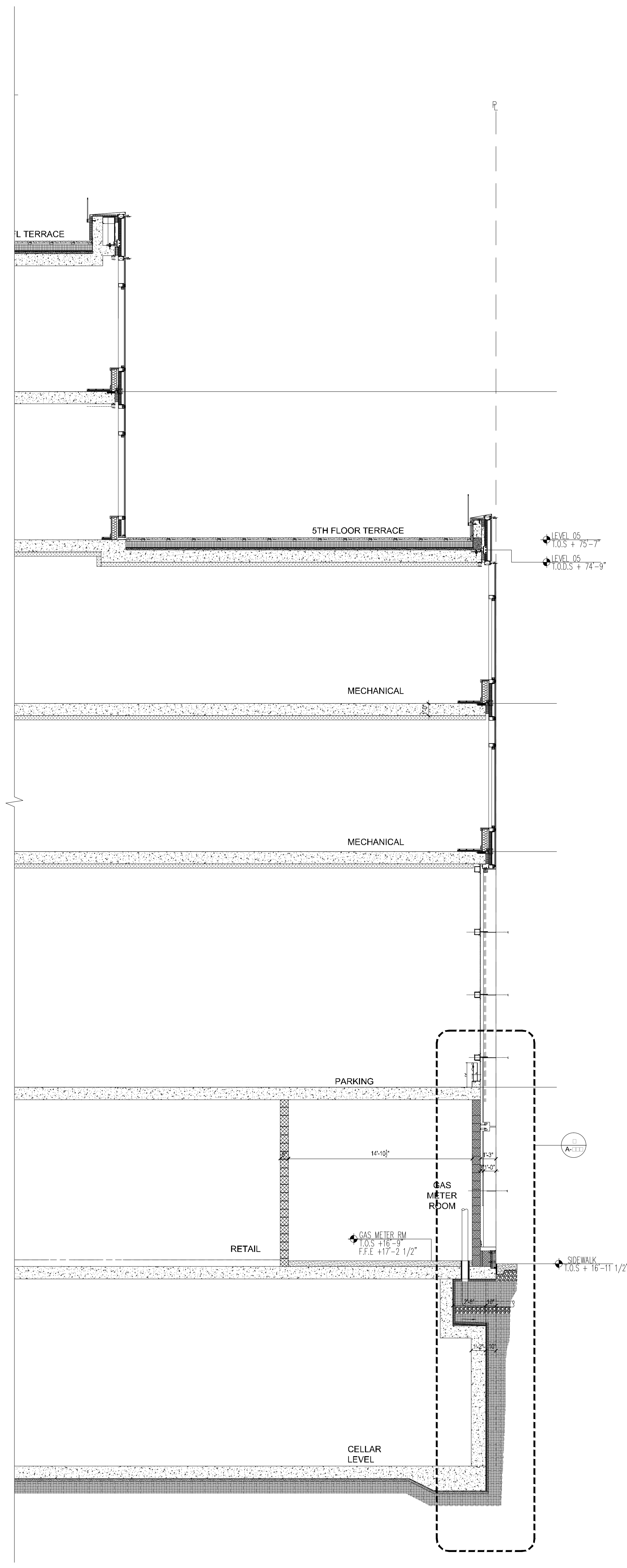
DWG TITLE:  
BASE BUILDING WALL SECTIONS

SEAL & SIGNATURE: REGISTERED ARCHITECT NEW YORK	DATE: 10/05/2017
PROJECT #:	15412
SCALE:	AS SHOWN
DWG NO.	A-322.00

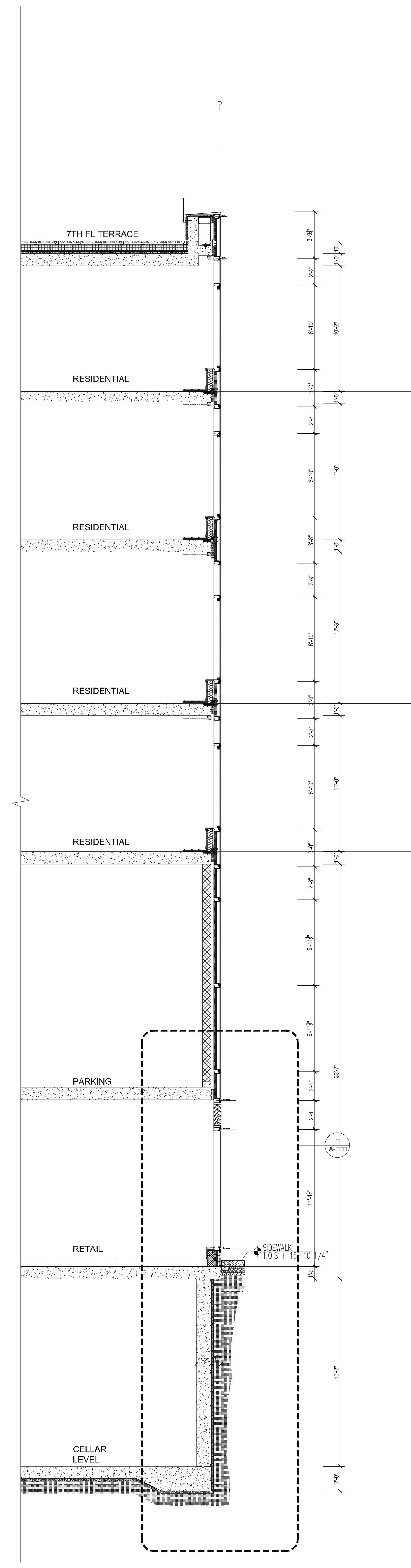




3 WALL SECTION @ NO. 1 ESSENTIAL  
Scale: 1/4"=1'-0"



**2 WALL SECTION @ CAS METEOROLOGICAL**



1 WALL SECTION @ NO. 1 STORE FRONT  
Scale: 1/4"=1'-0"

**NOTES:**

NOT	FOR	CONSTRUCTION
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10/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET IACO # 3
06/02/2017	85% CD SET
03/24/2017	50% CD SET
03/16/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FACADE PAVING SET
11/11/2016	100% CD FOUNDATION BID SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION BID SET
03/05/2016	DOB PLANS SET

Number:	Date:	Revision:
---------	-------	-----------

Project:

**City View Tower at  
Court Square**

23-15 44th Drive  
Long Island City, NY 11101

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:

**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213.8007

Consultant:  
**DESIMONE  
CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005

(212) 532-2211  
**Cosentini Associates**

Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

(212) 615-3600  
**Whitehall**

11 Broadway, 17th  
New York, NY 10006  
(212) 908-4940

DOB STAMPS &amp; SIGNATURES:

DWG TITLE:  
BASE BUILDING WALL SECTIONS

SEAL &amp; SIGNATURE:

DATE: 10/06/2017

PROJECT #:	15A12
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SCALE: AS NOTED

A 222 00

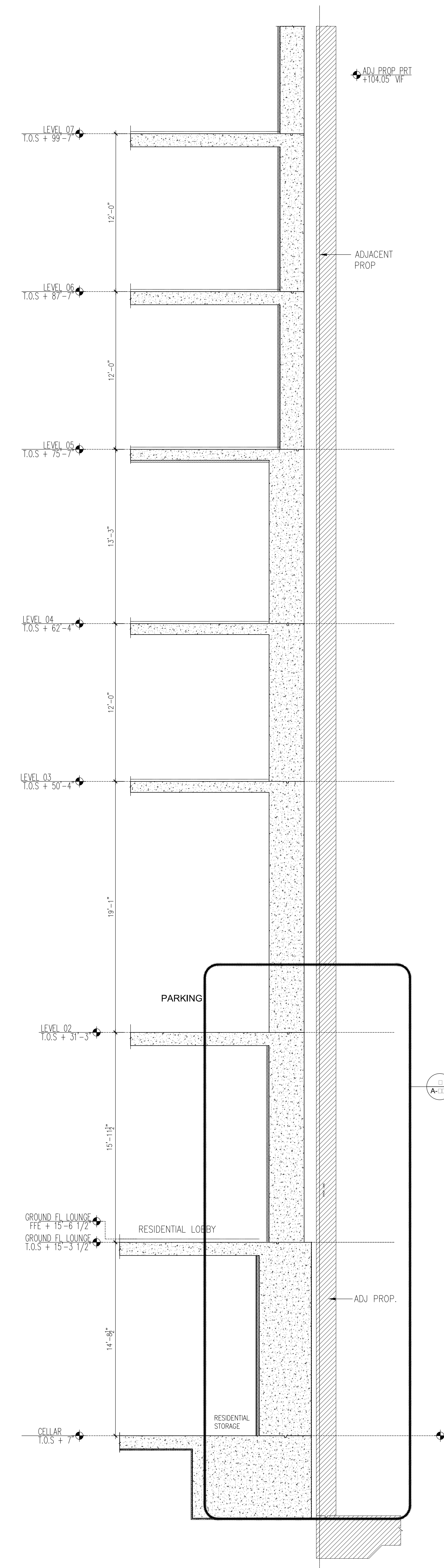
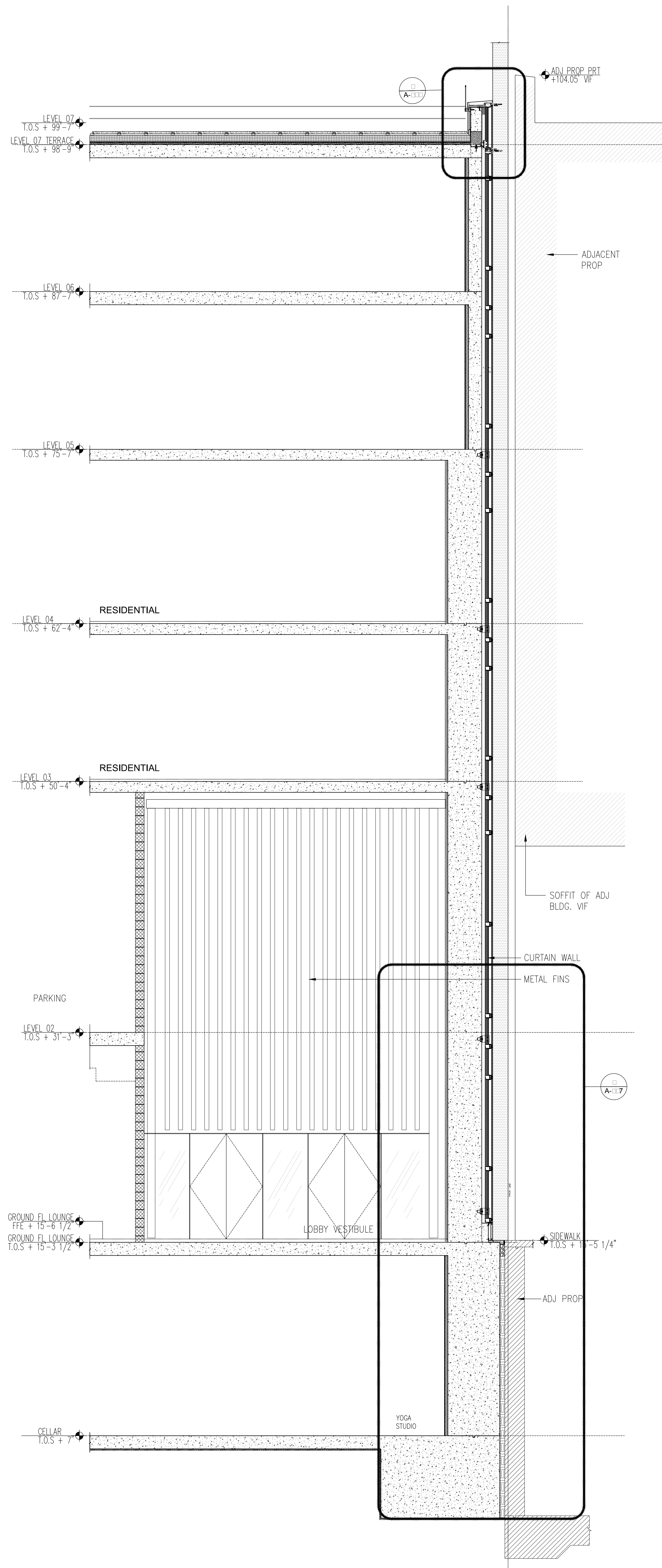
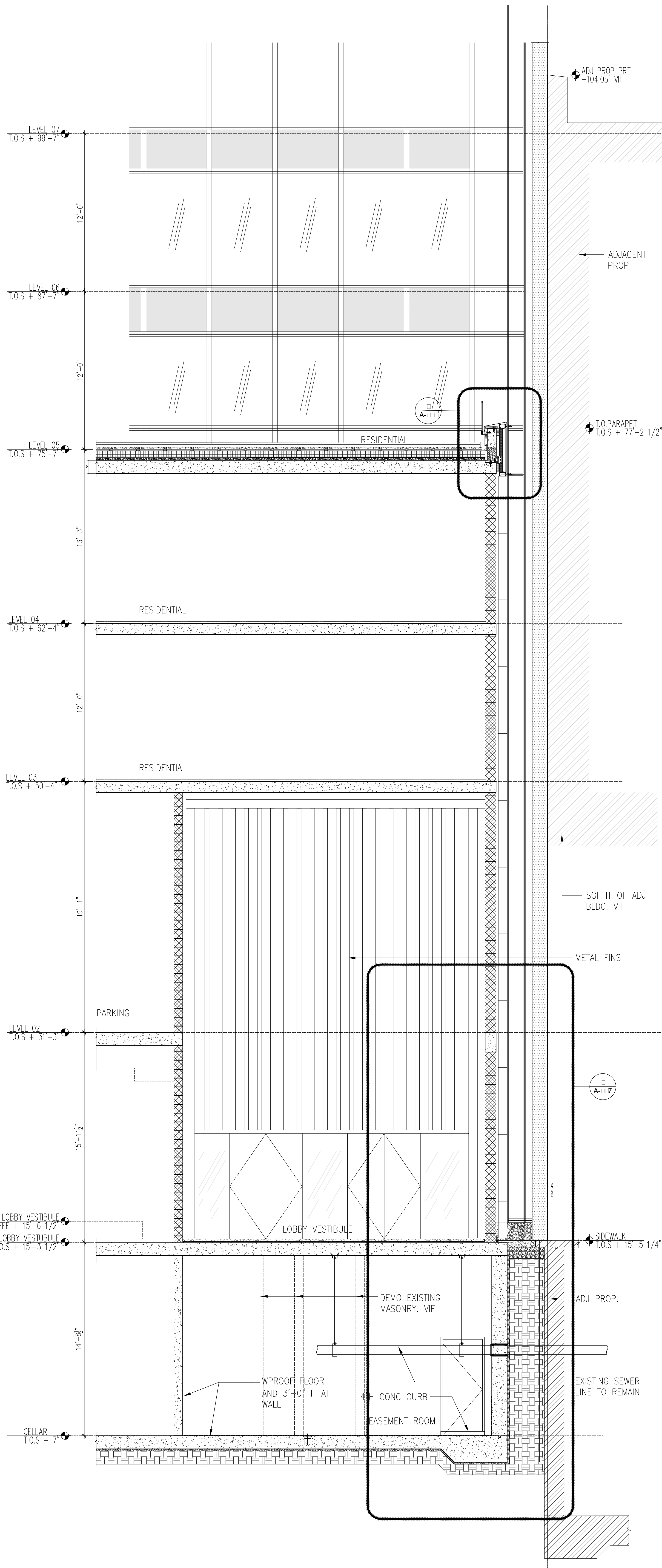
A-525.00  
DWG NO.

064 OF 105









NOTES:

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
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06/02/2017	65% CD SET
03/04/2017	99% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FAÇADE PAINTING SET
11/01/2016	100% CD FOUNDATION HOS SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION MD SET
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

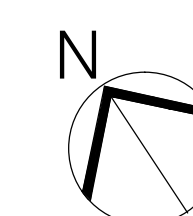
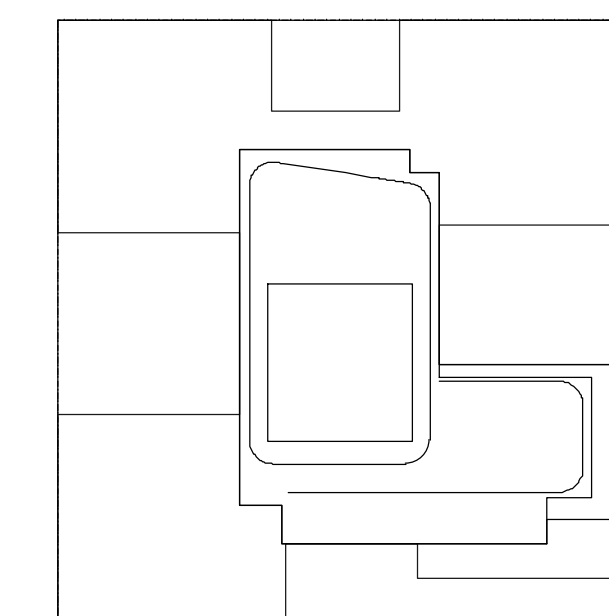
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:  
BASE BUILDING WALL SECTIONS

SEAL & SIGNATURE: REGISTERED ARCHITECT NEW YORK	DATE: 10/06/2017
PROJECT # 15412	SCALE: AS NOTED
A-325.00	
DWG NO.	





**NOTES:**

NOT	FOR	CONSTRUCTION
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09/15/2017	90% CO SET ADD # 3
06/02/2017	85% CO SET
03/24/2017	50% CO SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FACADE PRING SET
11/11/2016	100% CO FOUNDATION BID SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB PLING SET

Number:	Date:	Revision:
---------	-------	-----------

Number:	Date:	Customer:
Project:		
<b>City View Tower at Court Square</b> 23-15 44th Drive Long Island City, NY 11101		

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213.8007

Consultant:


**DESIMONE  
CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211

**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

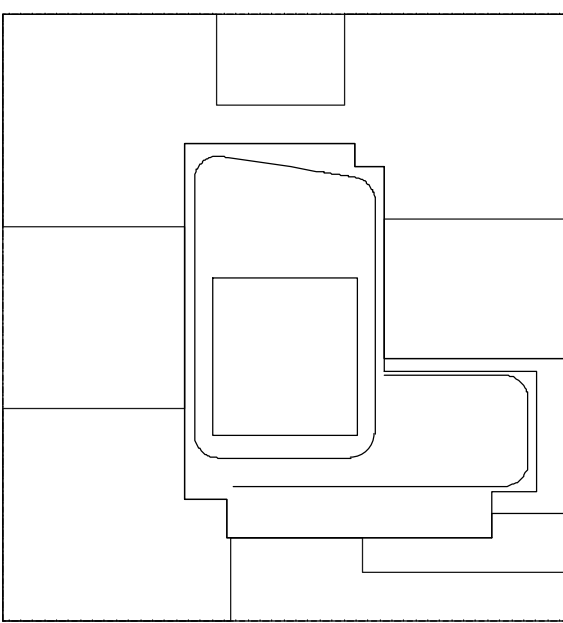
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES

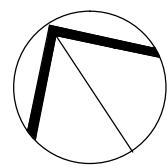
DWG TITLE: SITE PLAN  
PROPOSED MTA ENTRANCE

SEAL & SIGNATURE	DATE: 10/06/2017
	PROJECT #: 15A12
	SCALE: AS NOTED
	A-350.00
	DWG NO.





KEY PLAN



NOTES:

NOT FOR CONSTRUCTION

10/08/2017	ISSUED FOR DOB
08/15/2017	90% CD SET AND #3
06/05/2017	95% CD SET
03/24/2017	90% CD SET
03/19/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSUBSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FACEWORK SET
10/14/2016	100% CD FOUNDATION AND SET
10/12/2016	ISSUED FOR DOB
08/19/2016	MTA PLUMB SET
07/11/2016	MTA PLUMB SET
06/02/2016	DOB PLUMB SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

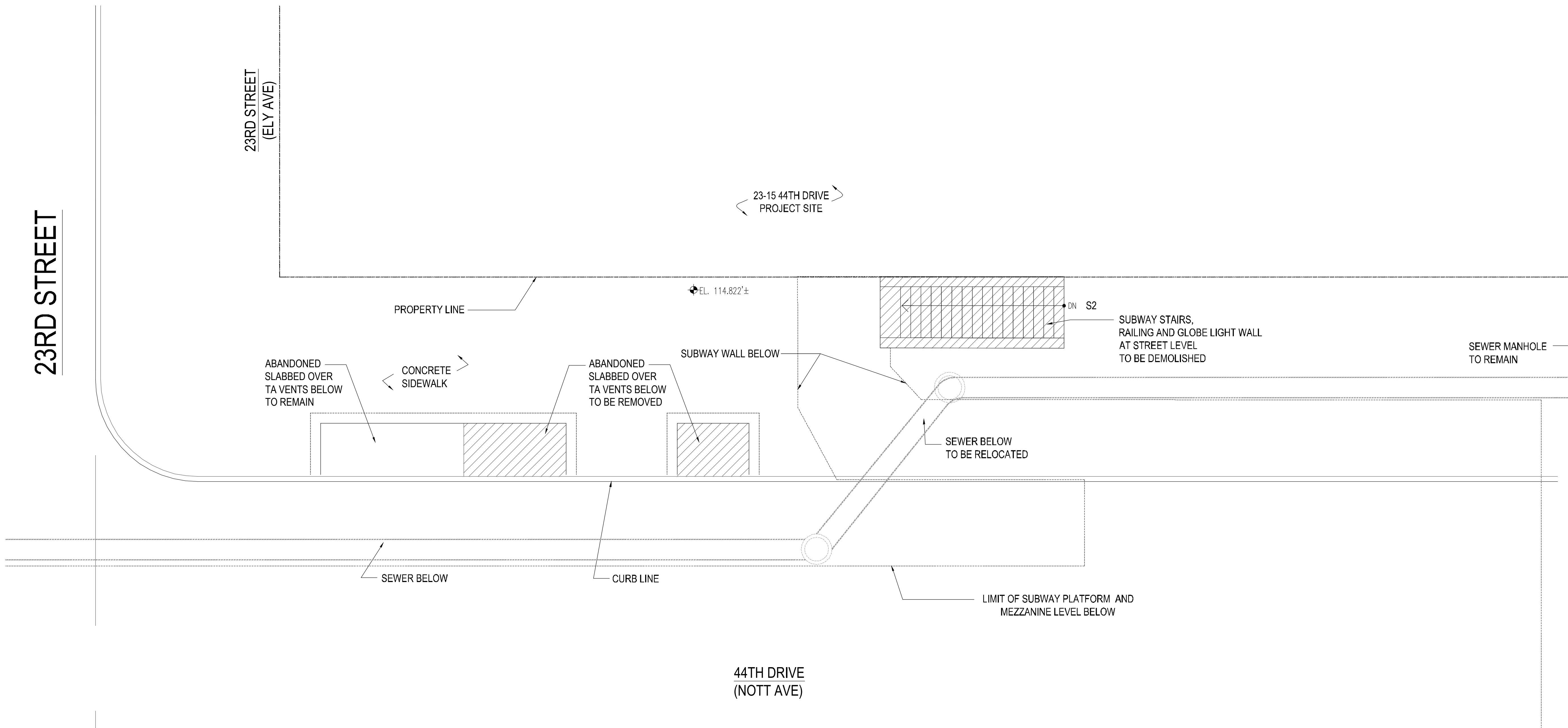
Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8807

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

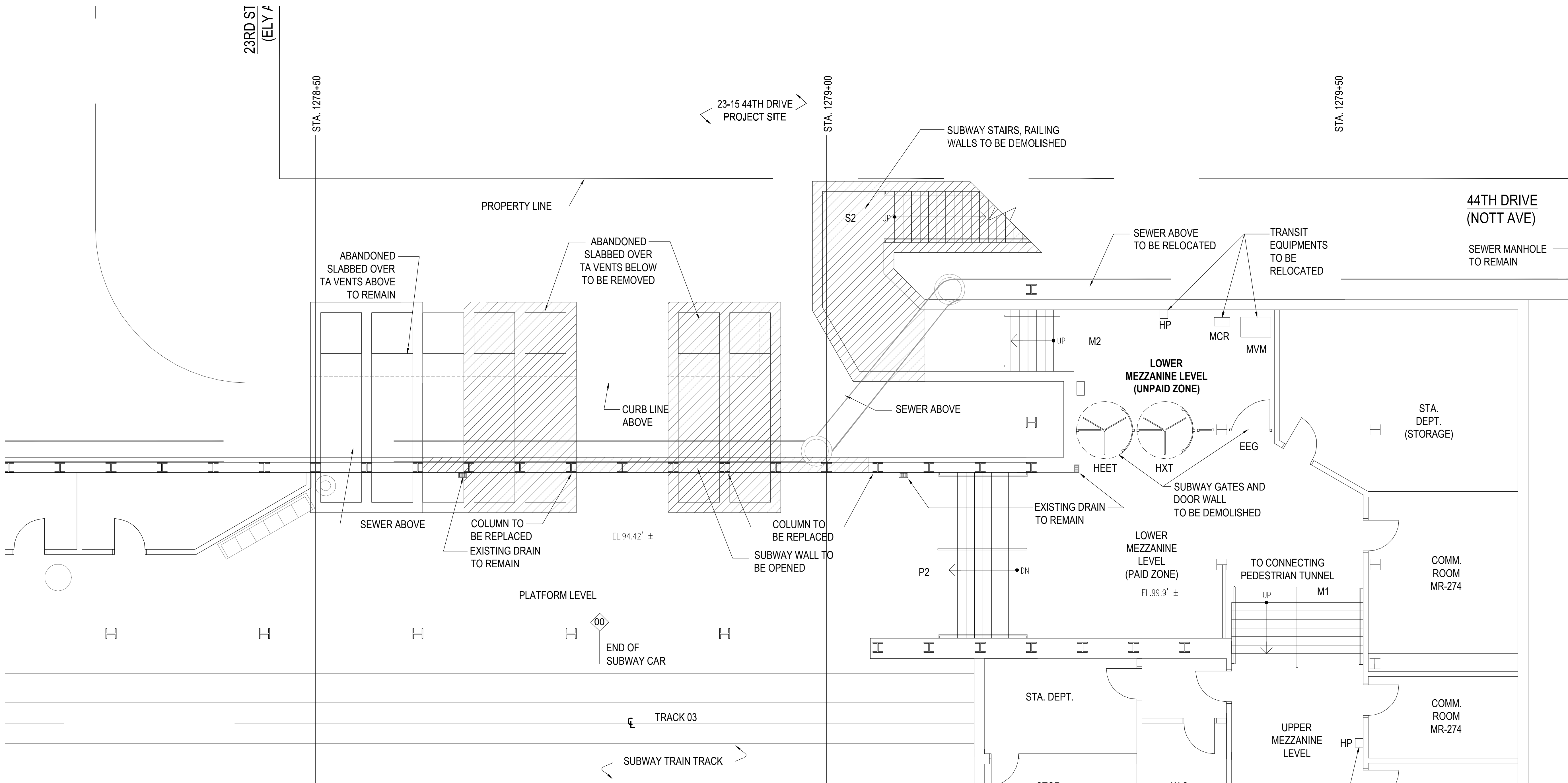
DOB STAMPS & SIGNATURES:

DWG TITLE:  
EXISTING MTA ENTRY  
AT STREET AND MEZZANINE LEVEL

SEAL & SIGNATURE: DATE: 10/08/2017  
PROJECT #: 15412  
SCALE: AS NOTED  
DWG NO. **A-351.00**  
088 OF 105

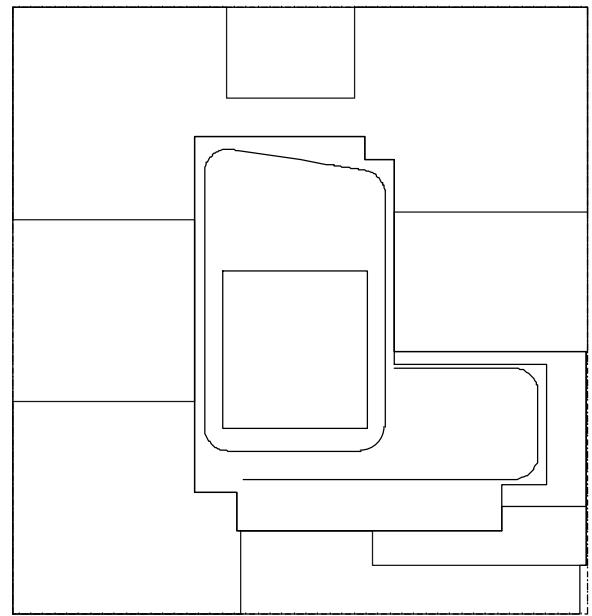


1 EASTING STREET LEVEL  
Scale: 3/1"=1'



2 EASTING MEZZANINE LEVEL  
Scale: 3/1"=1'





# KEY PLAN

## NOTES:

## NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
08/15/2017	90% CD SET AND #3
06/05/2017	95% CD SET
03/24/2017	50% CD SET
03/19/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSUBSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FACE PRELIM SET
10/14/2016	100% CD FOUNDATION AND SET
10/12/2016	ISSUED FOR DOB
08/16/2016	MTA PLNG SET
07/11/2016	MTA PLNG SET
03/05/2016	DOB PLNG SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

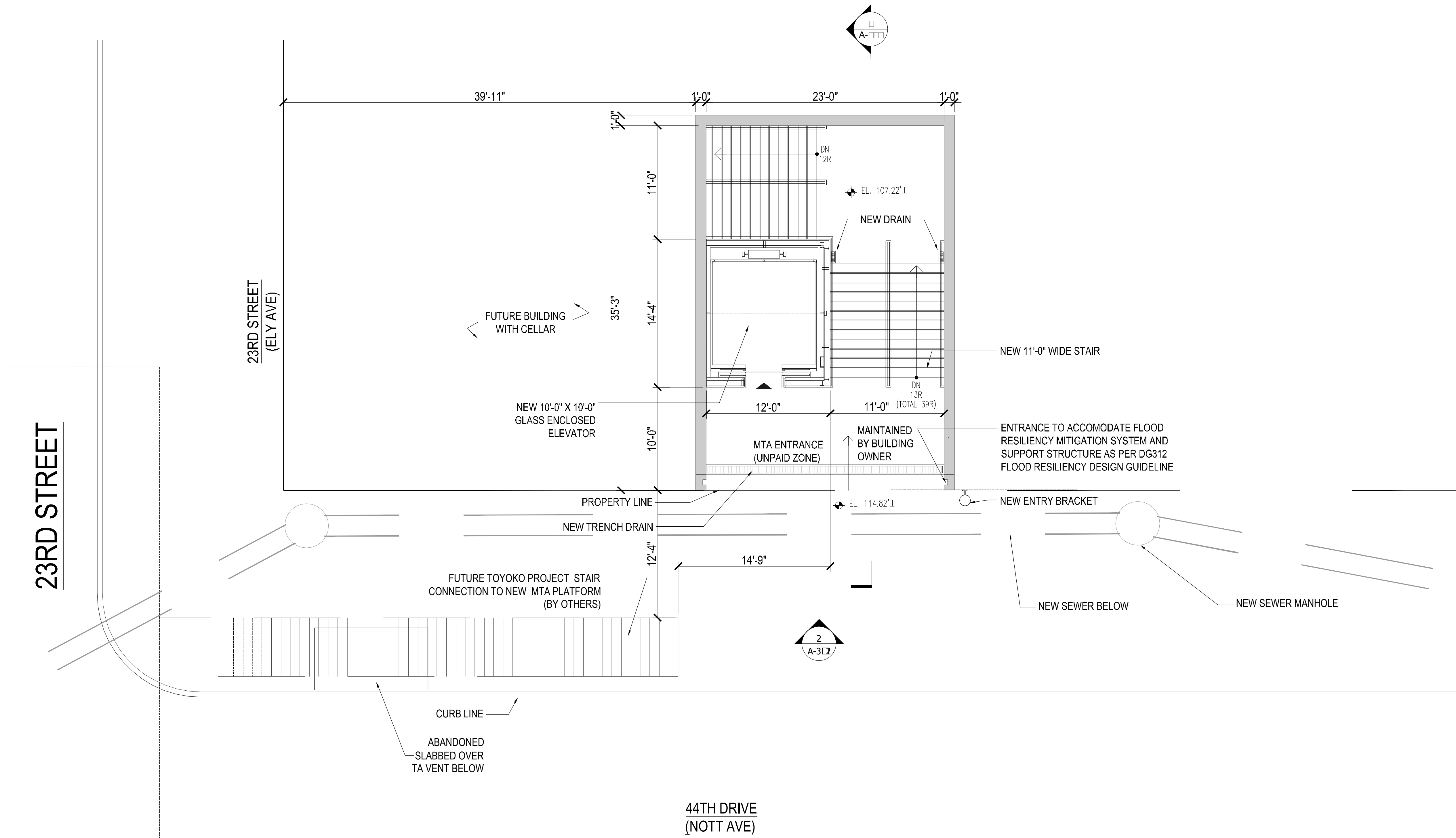
Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8807

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

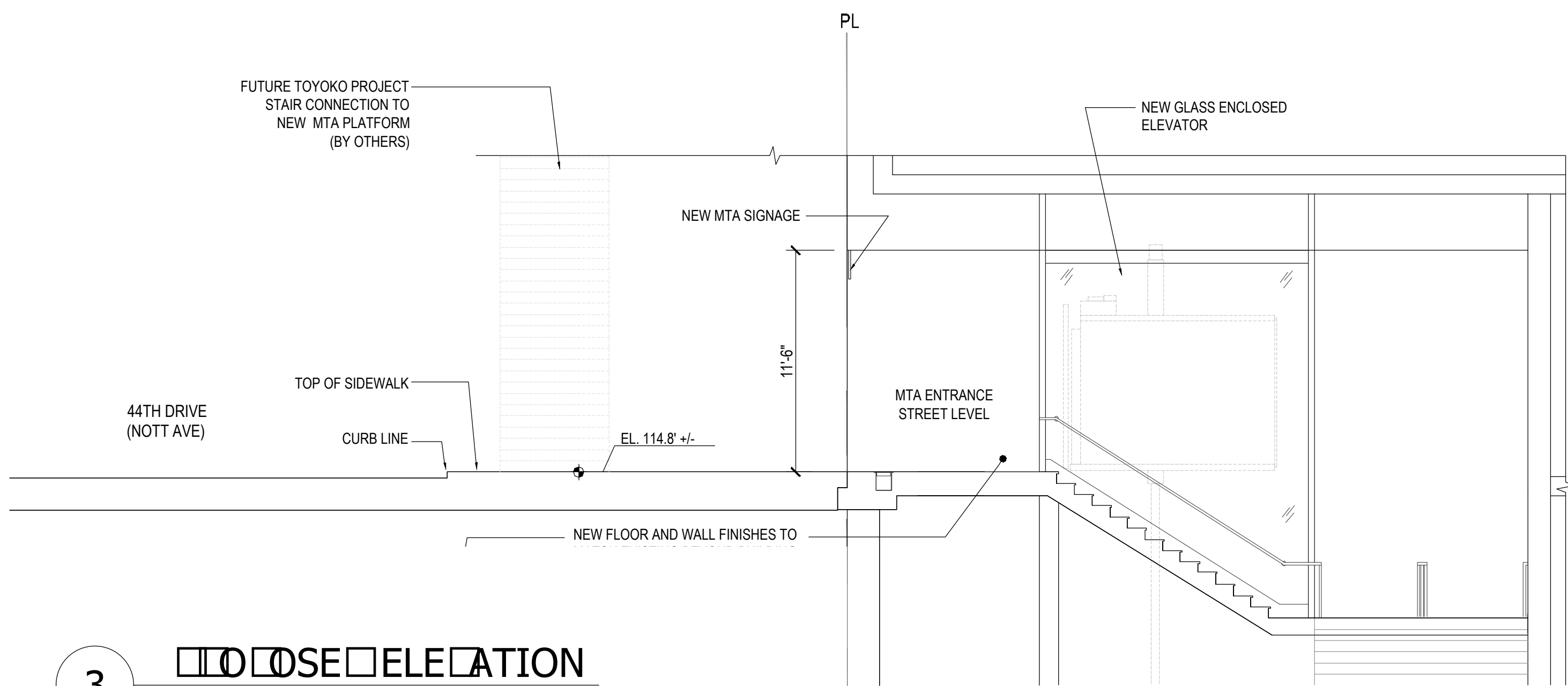
DOB STAMPS & SIGNATURES:

DWG TITLE:  
**PROPOSED MTA ENTRY  
AT STREET LEVEL**

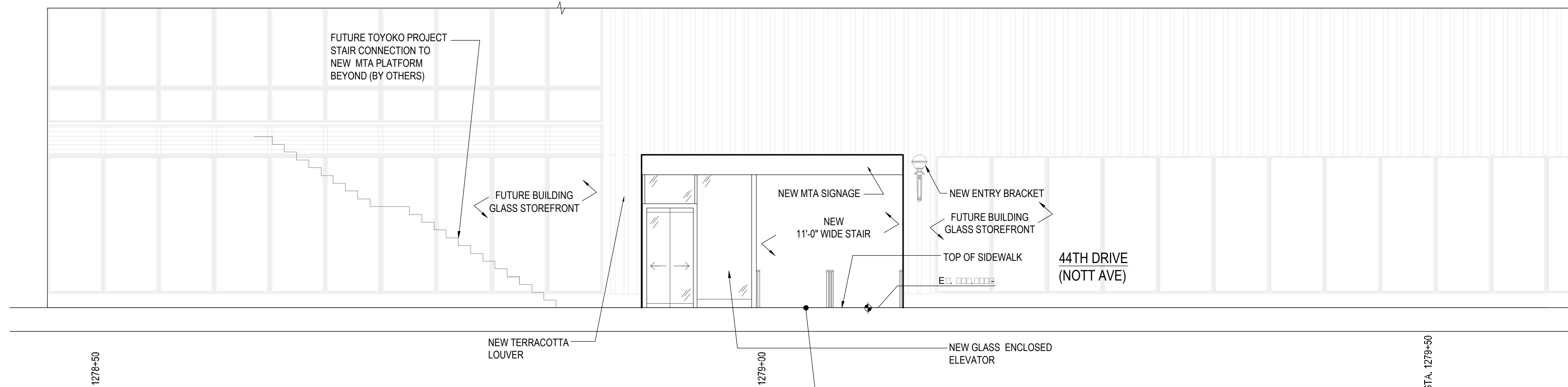
SEAL & SIGNATURE:  
  
DATE: 10/06/2017  
PROJECT #: 15412  
SCALE: AS NOTED  
DWG NO. **A-352.00**  
089 OF 105



1 **DOSE ELEVATION** **STREET LEVEL**  
Scale: 3/1"=1'

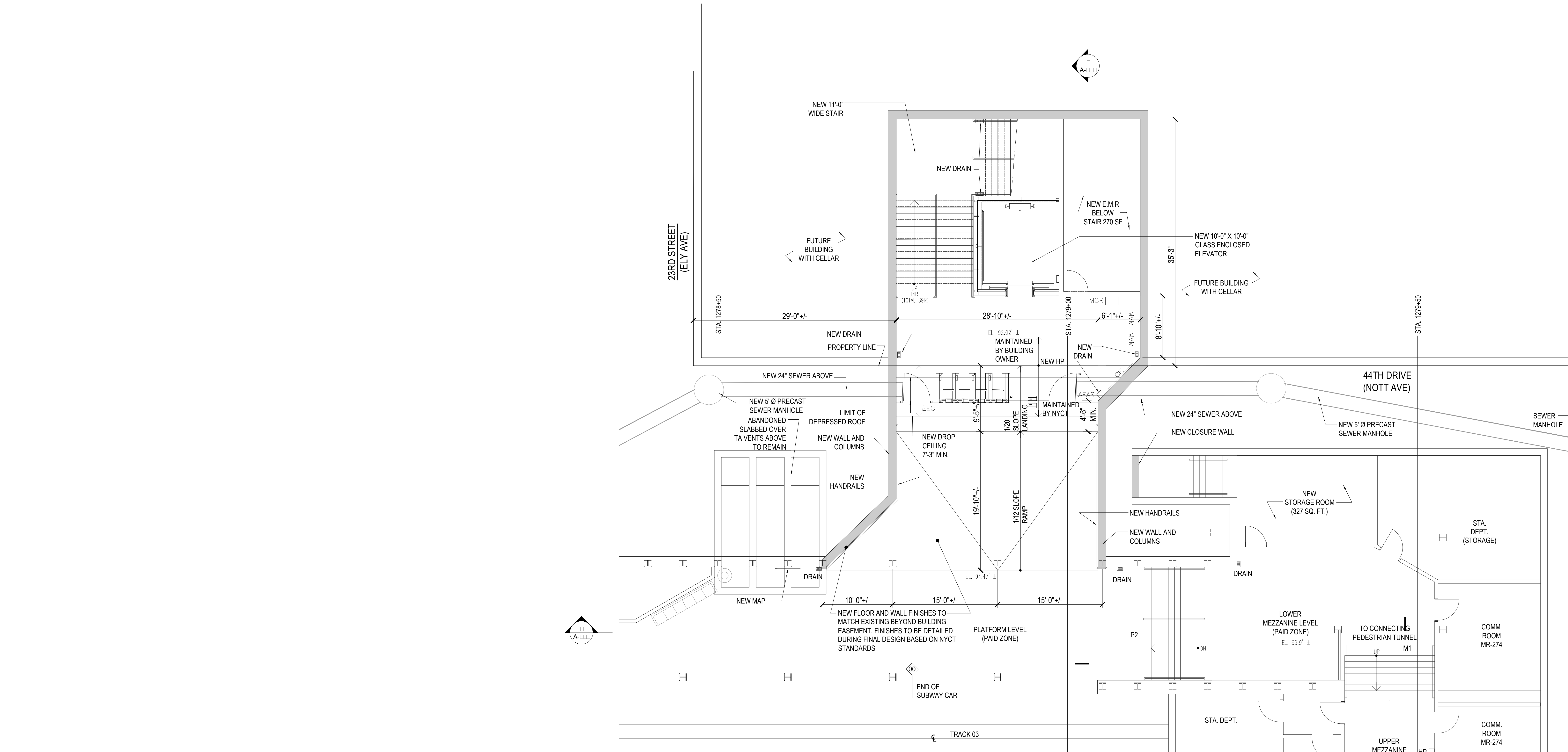


3 **DOSE ELEVATION**  
Scale: 3/1"=1'

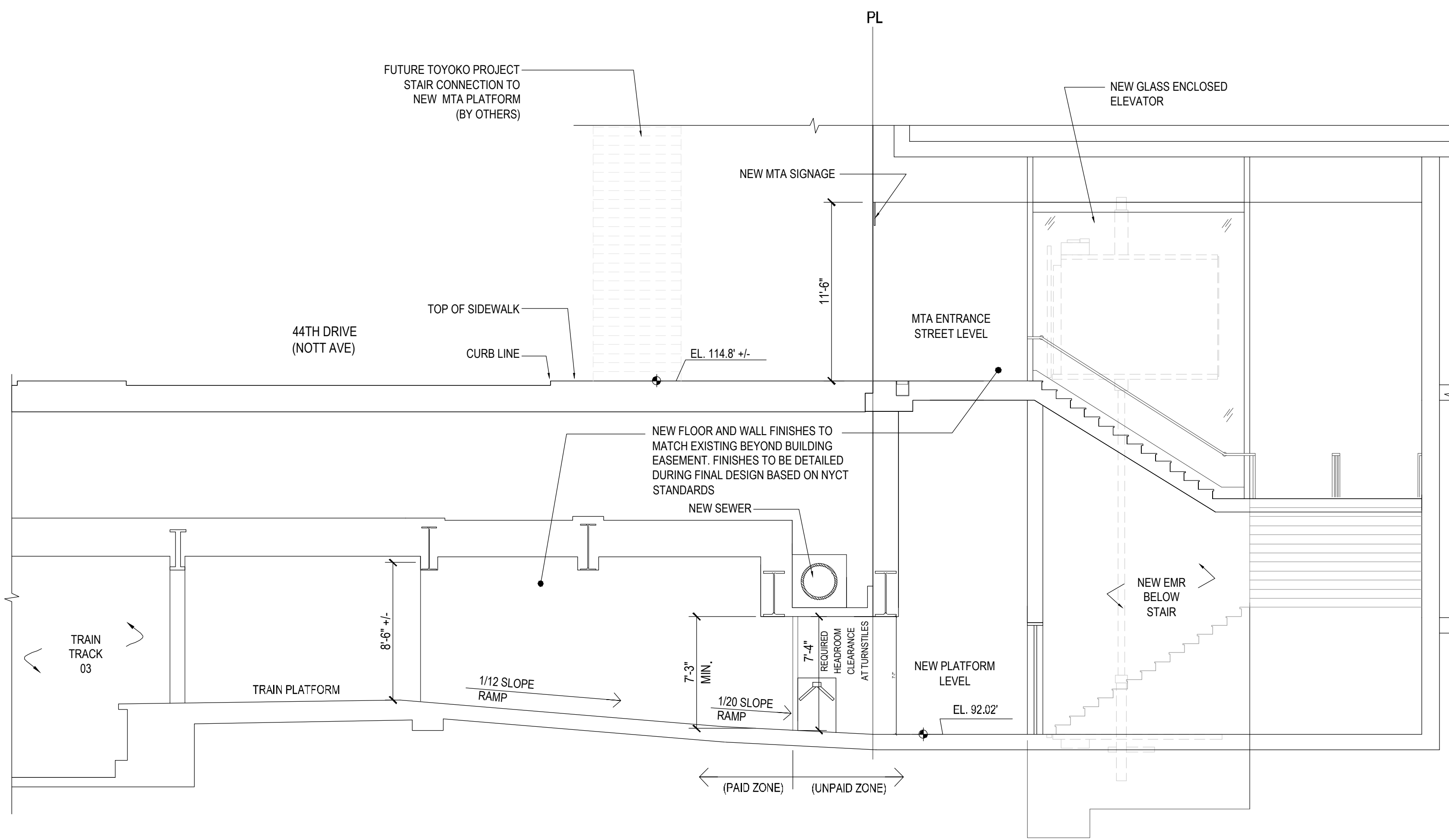


2 **DOSE ELEVATION**  
Scale: 3/1"=1'

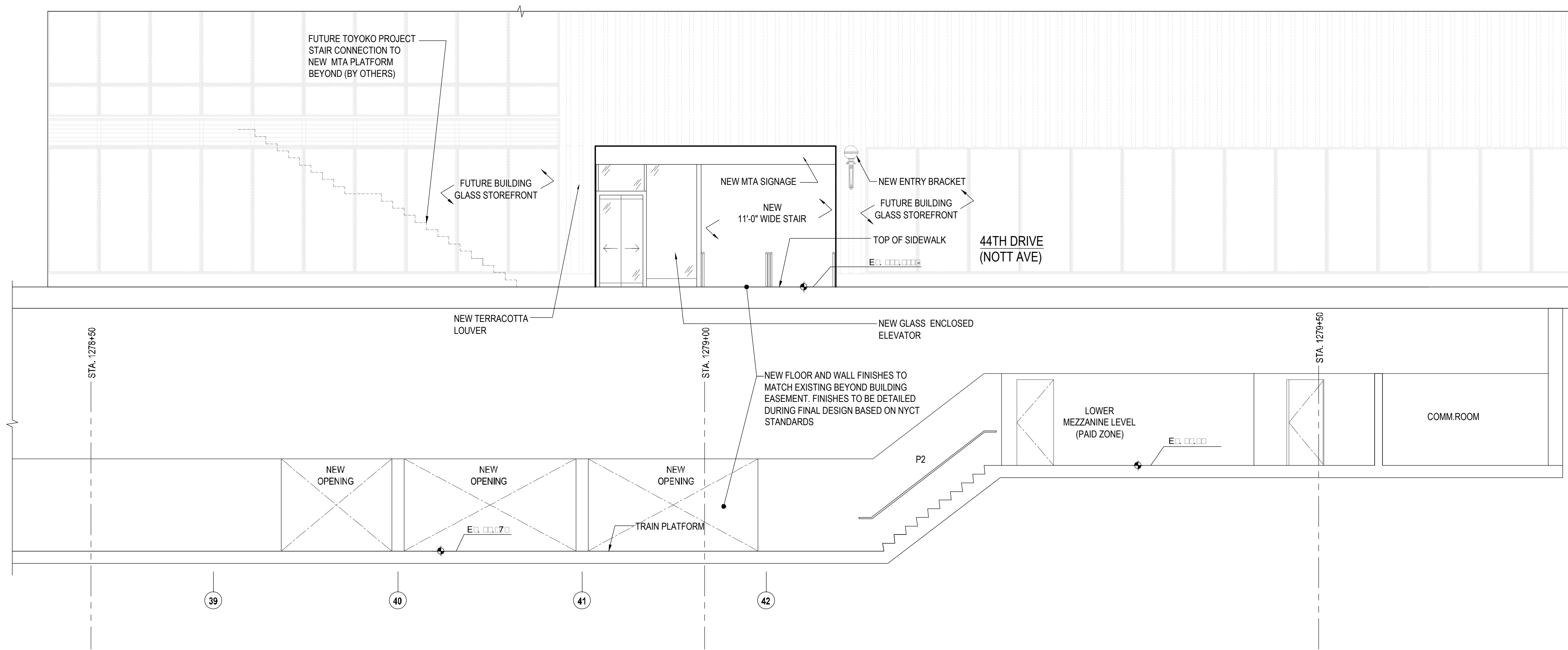




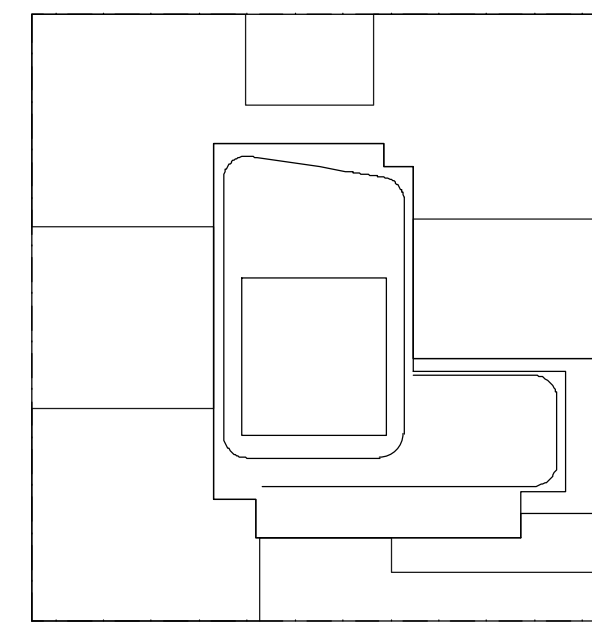
1 KEY PLAN  
Scale: 3/1"=1'



2 SECTION  
Scale: 3/1"=1'



3 SECTION  
Scale: 3/1"=1'



KEY PLAN

NOTES:

NOT FOR CONSTRUCTION

10/05/2017	ISSUED FOR DOB
08/15/2017	90% CD SET AND #3
06/05/2017	45% CD SET
03/24/2017	25% CD SET
03/16/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
01/17/2017	ISSUED FOR DOB
01/02/2017	SUPPLEMENTAL SET
01/02/2017	ISSUED FOR DOB
11/17/2016	FACE PRELIM SET
11/17/2016	100% CD FOUNDATION AND SET
10/12/2016	ISSUED FOR DOB
08/16/2016	MTA FILING SET
07/11/2016	MTA FILING SET
03/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8807

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

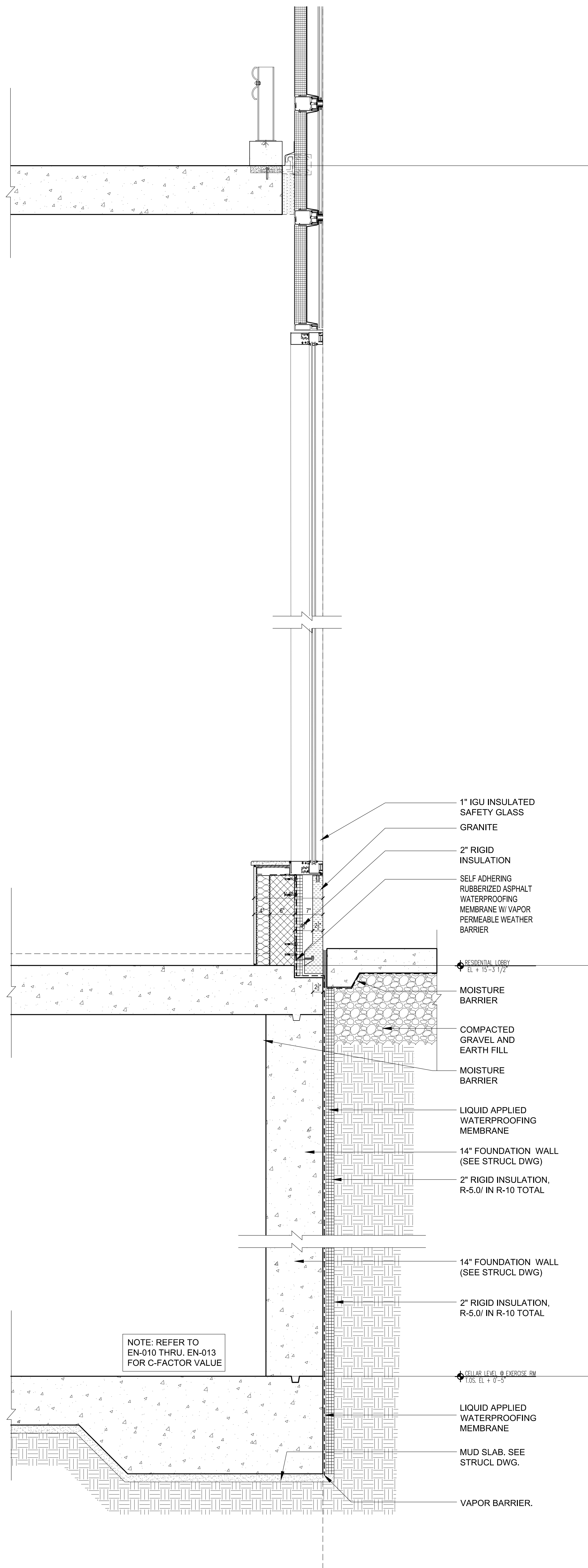
DWG TITLE:  
**PROPOSED MTA ENTRY AT PLATFORM LEVEL**

SEAL & SIGNATURE:  
REGISTERED ARCHITECT  
PROJECT # 15412  
SCALE: AS NOTED  
DATE: 10/05/2017  
DWG NO. **A-353.00**  
070 OF 105

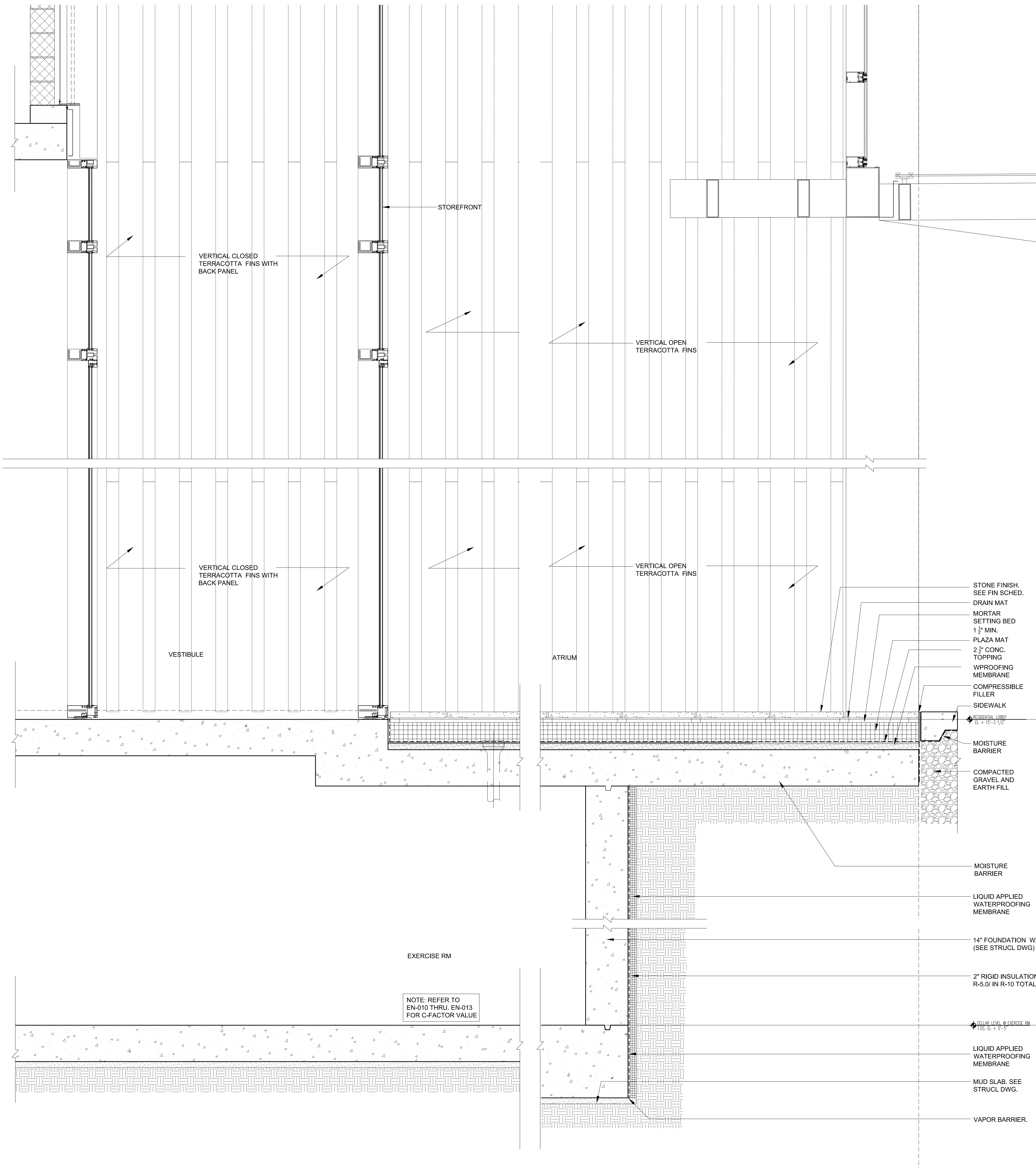








2 TYP. WALL DTL @ RES. STOREFRONT  
Scale: 1"=1'-0"



1 TYP. WALL DTL @ RES. ENTRY  
Scale: 1"=1'-0"

NOTES:

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
08/15/2017	90% CD SET AND # 3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FACE PAINTING SET
11/01/2016	100% DISFUNDATION HD SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION HD SET
02/05/2016	DOB FILING SET

Number:	Date:	Revision:
---------	-------	-----------

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

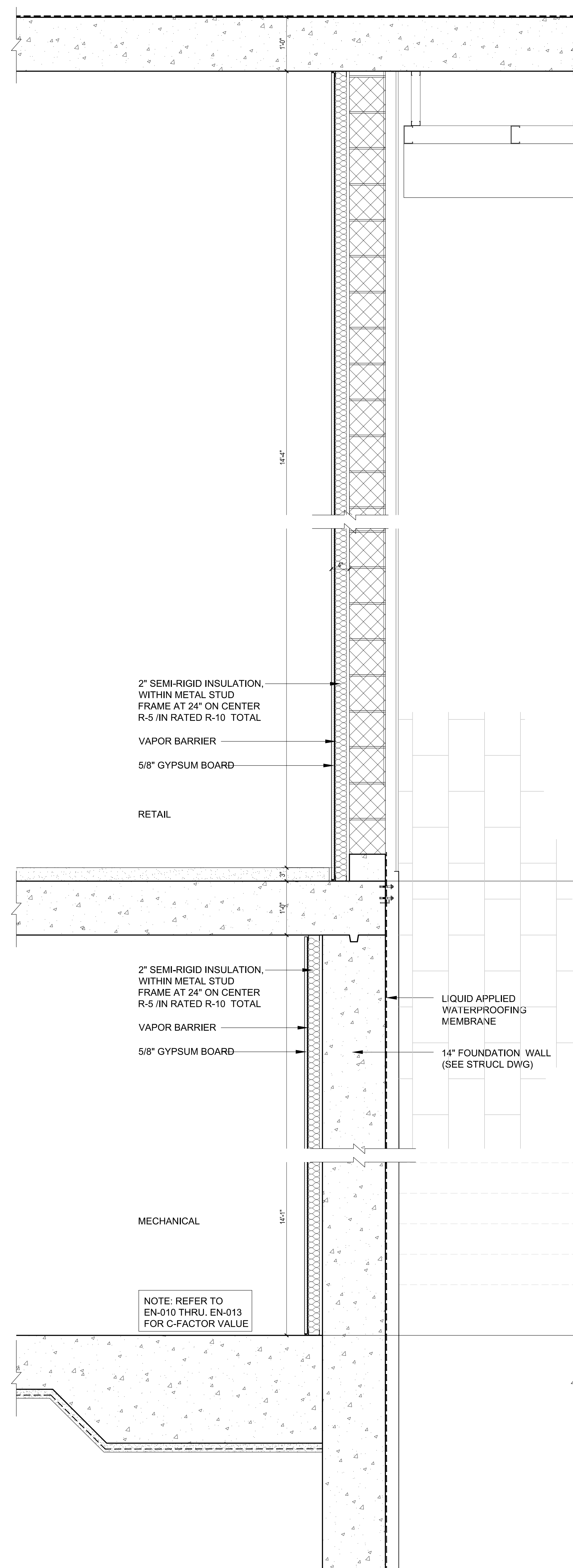
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

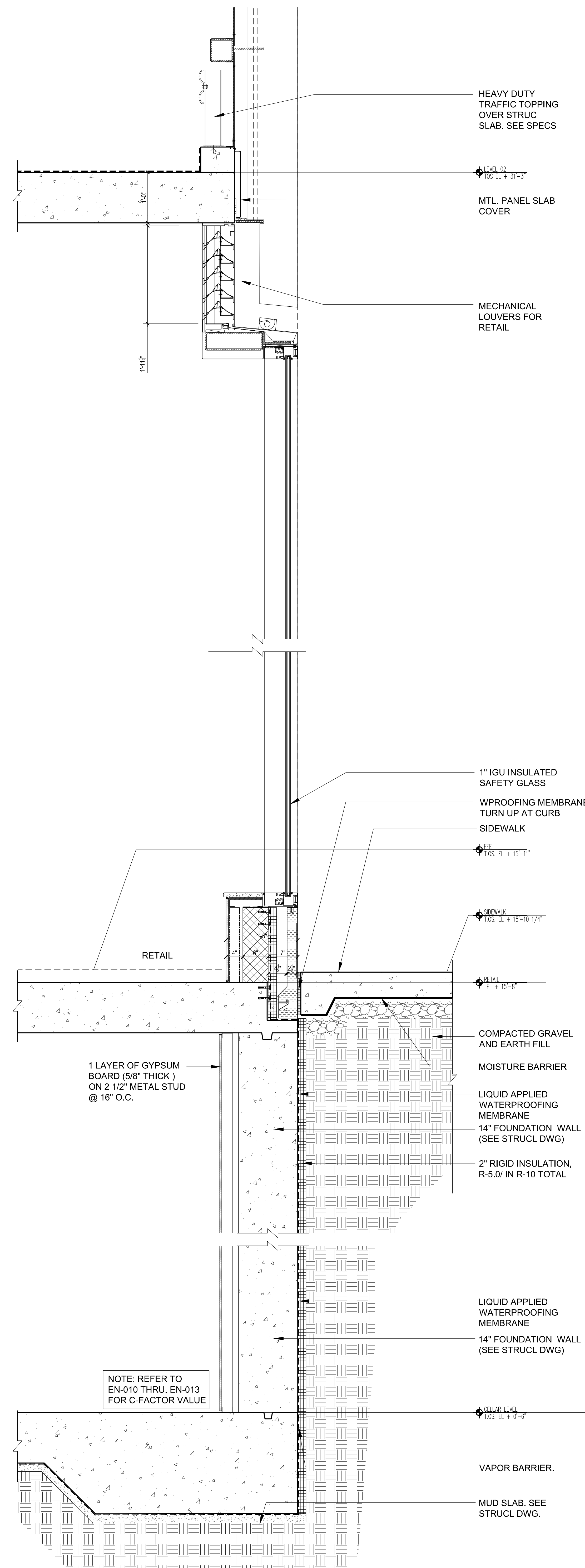
DWG TITLE:  
SOUTH ELEVATION  
BASE DETAILS

SEAL & SIGNATURE: 	DATE: 10/06/2017
PROJECT #: 15412	SCALE: AS NOTED
A-510.00 DWG NO.	

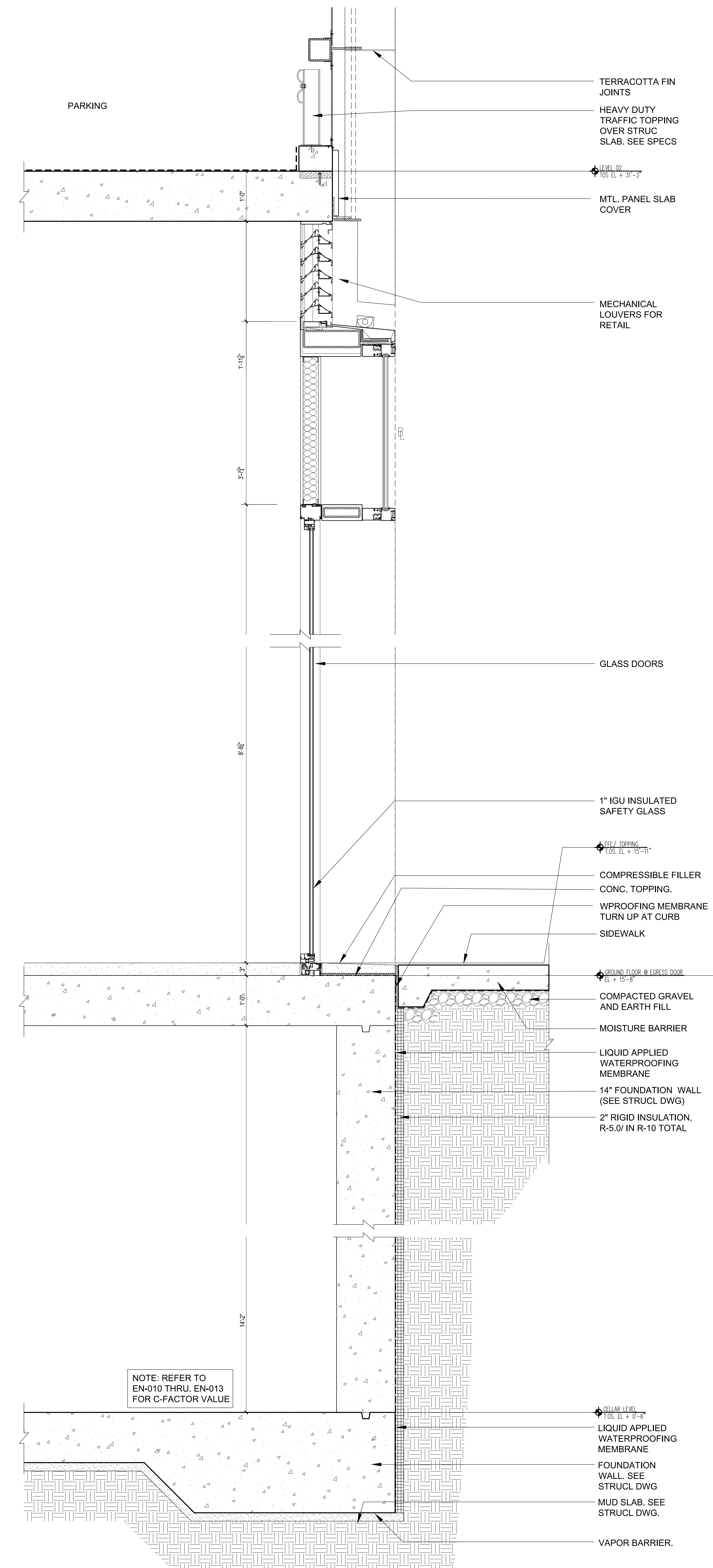




3 TYP. WALL DTL @ MTA STOREFRONT  
Scale: 1"=1'-0"



2 TYP. WALL DTL @ RETAIL ENTRY  
Scale: 1"=1'-0"



1 TYP. WALL DTL @ SOUTH EGRESS EXIT  
Scale: 1"=1'-0"

NOTES:

NOT	FOR	CONSTRUCTION
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10/06/2017	ISSUED FOR DOB
09/15/2017	60% DO SET A/D # 3
06/02/2017	65% DO SET
03/04/2017	50% DO SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FAÇADE PRICING SET
11/11/2016	100% DO FOUNDATION BID SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION BID SET
02/05/2016	DOB FILING SET

Number:	Date:	Revision:
---------	-------	-----------

**City View Tower at  
Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:

**HILL | WEST**  
**ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007


**DESIMONE  
CONSULTING ENGINEERS**  
40 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211

**Cosentini Associates**  
100 Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

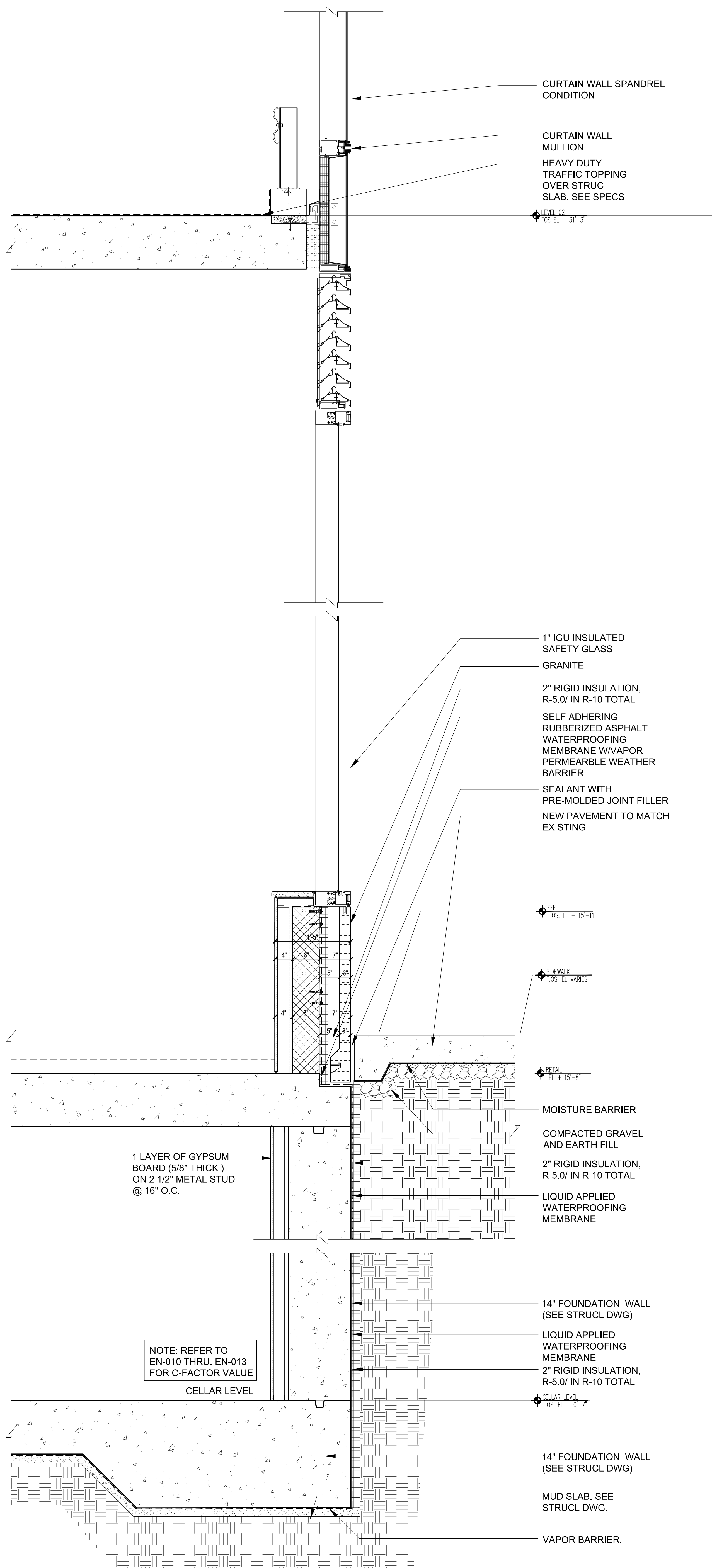
**Whitehall**  
1 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

STAMPS &amp; SIGNATURES:

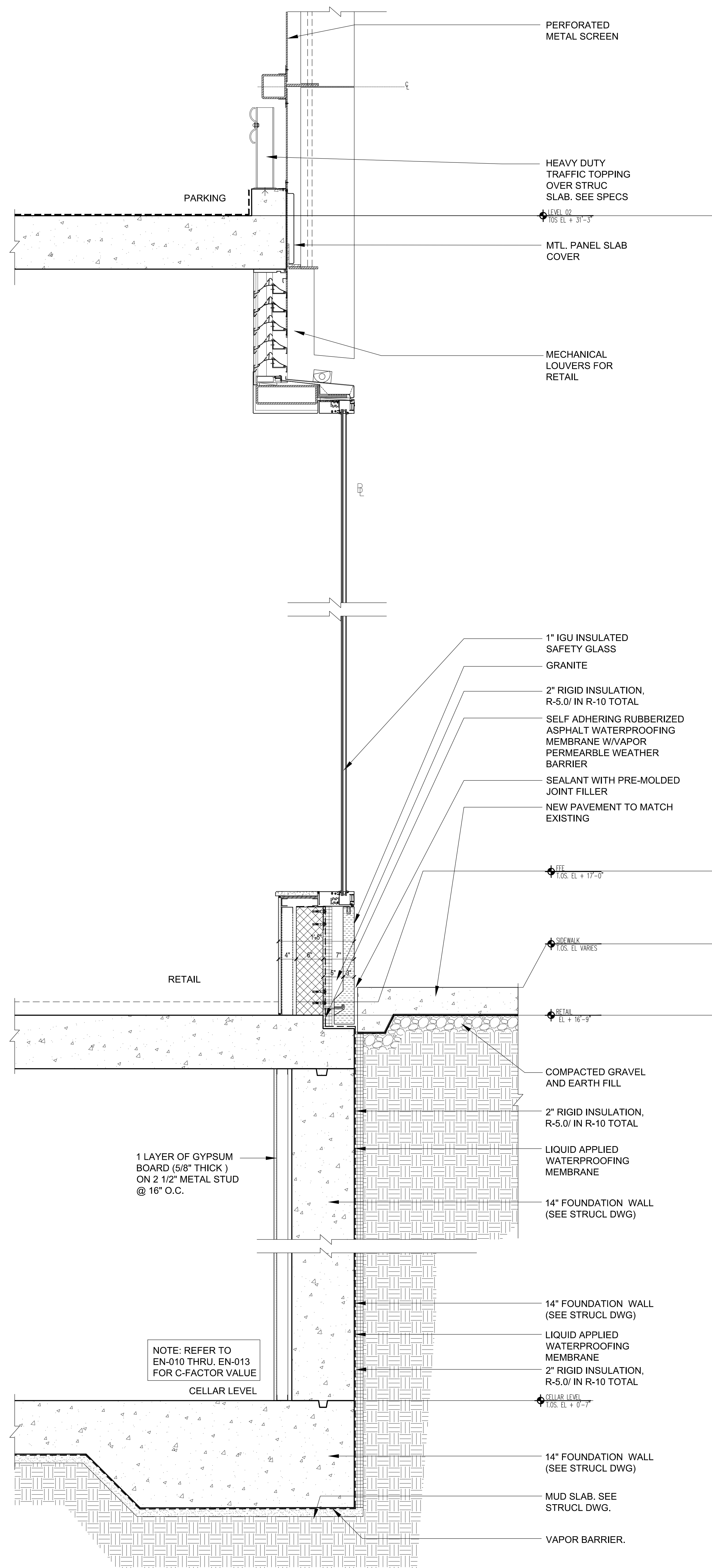
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BASE DETAIL

	DATE:	10/06/20
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	SCALE:	AS NOTED
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DWG NO.		

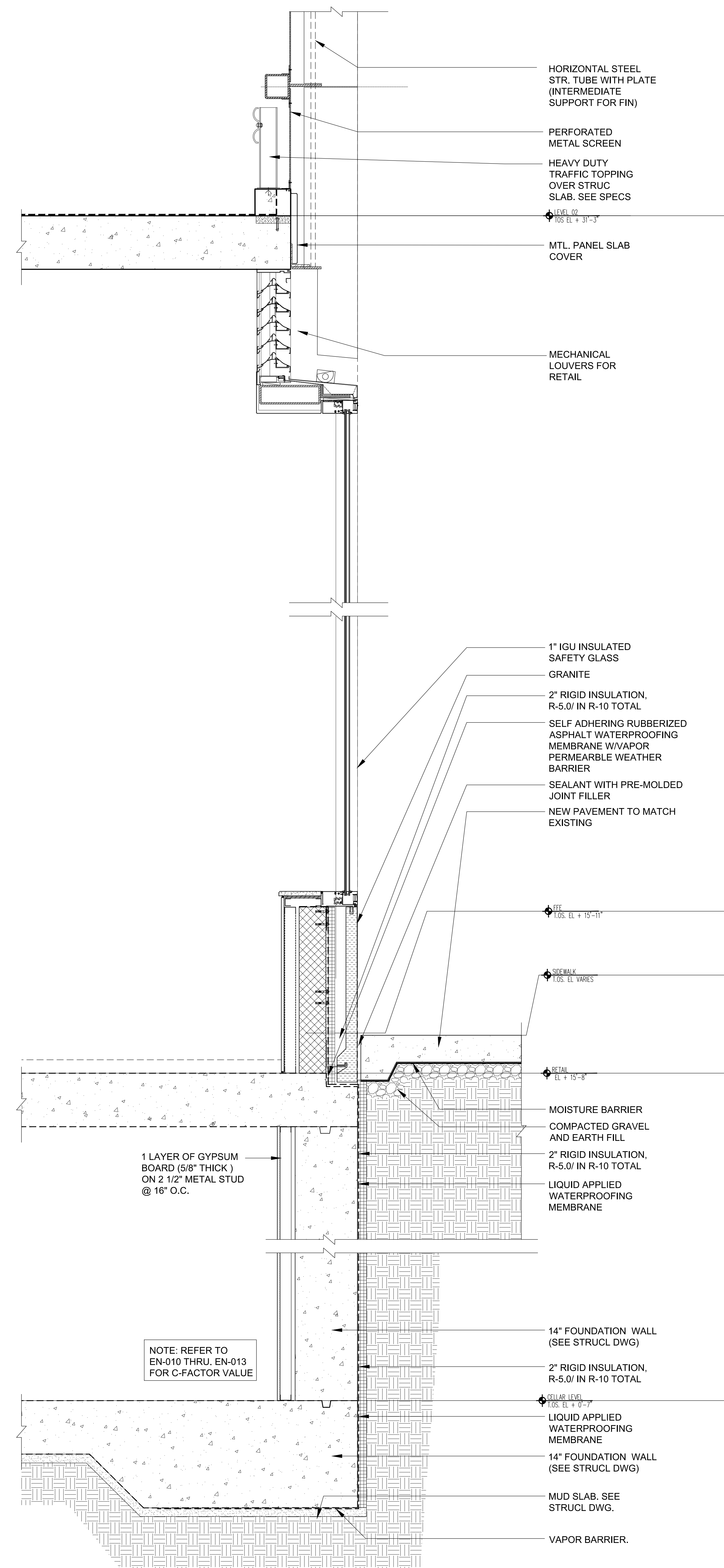




3

TYP. WALL DETAIL @ WEST STOREFRONT  
Scale: 1"=1'-0"

2

TYP. WALL DETAIL @ WEST STOREFRONT  
Scale: 1"=1'-0"

1

TYP. WALL DETAIL @ SOUTH STOREFRONT  
Scale: 1"=1'-0"

## NOTES:

## NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
08/10/2017	90% CD SET AND #3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FACE PAINTING SET
11/01/2016	100% CD FOUNDATION HD SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION HD SET
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

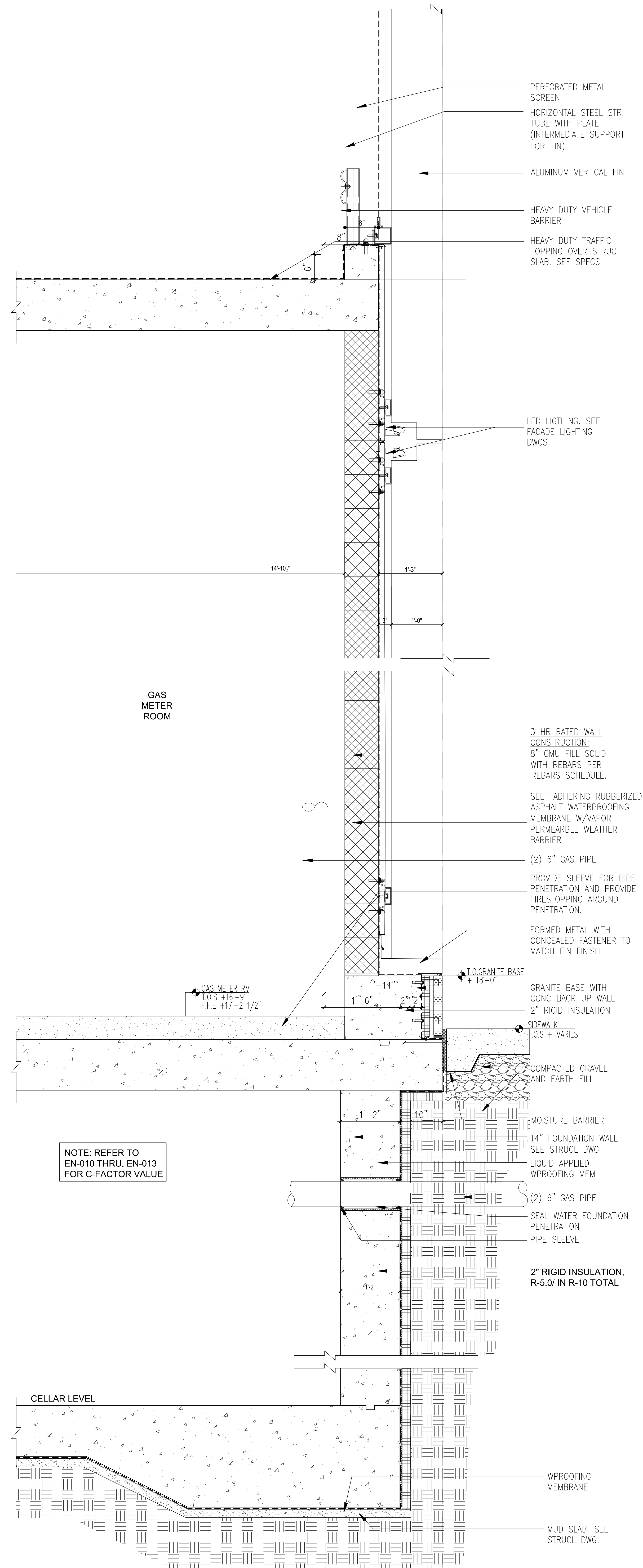
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS &amp; SIGNATURES:

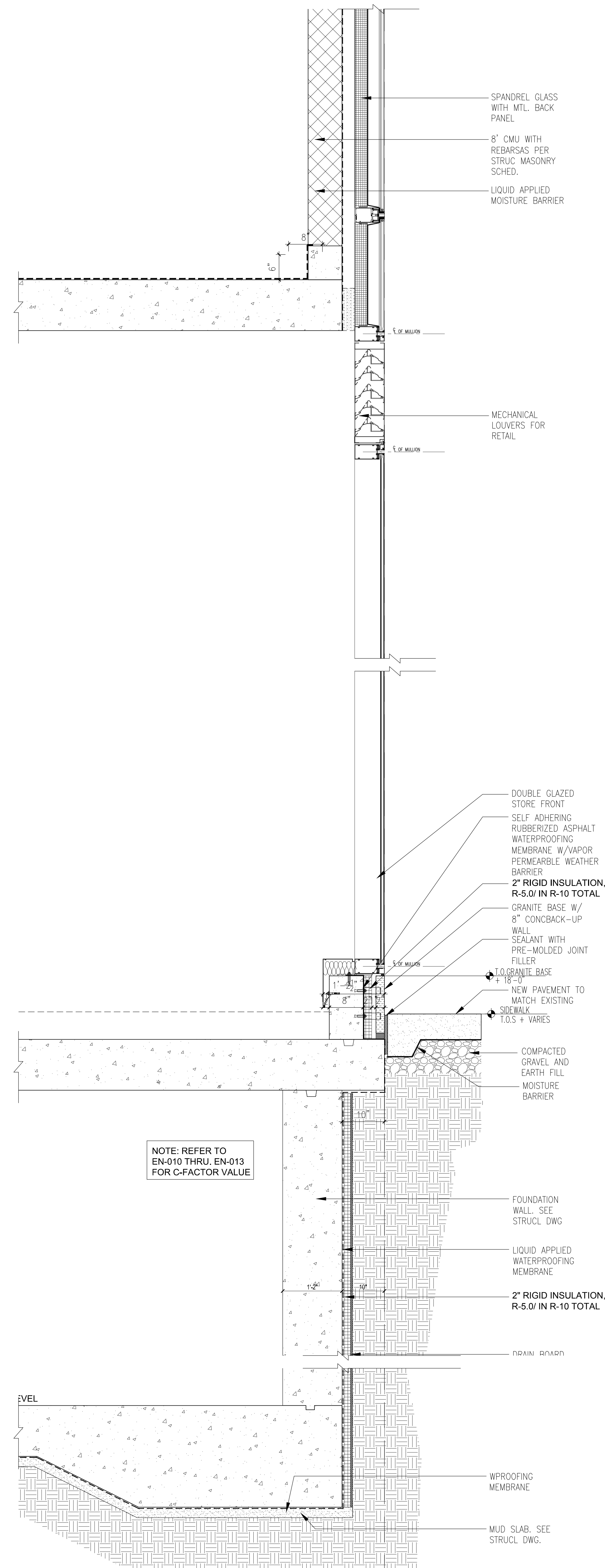
DWG TITLE:  
**WEST ELEVATION  
BASE DETAILS**

SEAL & SIGNATURE:  
**RED STEPHEN ARCHITECT**  
DATE: 10/06/2017  
PROJECT # 15412  
SCALE: AS NOTED  
**A-512.00**  
DWG NO. 074 OF 105

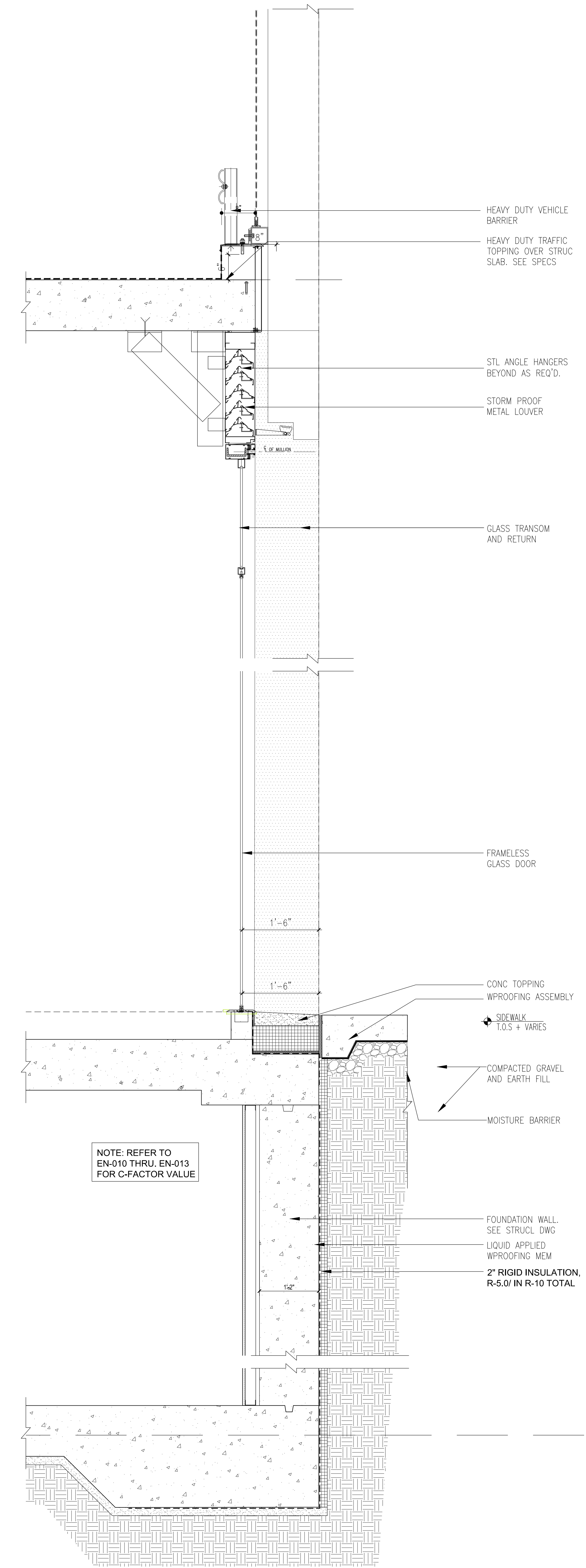




3 TYP. WALL DETAIL @ GAS METER ROOM  
Scale: 1"=1'-0"



2 TYP. WALL DETAIL @ NORTH STOREFRONT  
Scale: 1"=1'-0"



1 TYP. WALL DETAIL @ WEST STOREFRONT  
Scale: 1"=1'-0"

NOTES:

NOT FOR CONSTRUCTION

Number	Date	Revision
1308/2017		ISSUED FOR DOB
1008/2017		ISSUED FOR DOB
0815/2017		95% CD SET AND # 3
06/02/2017		65% CD SET
03/04/2017		50% CD SET
03/10/2017		ISSUED FOR DOB
03/01/2017		ISSUED FOR DOB
02/14/2017		ISSUED FOR DOB
01/07/2017		SUPPLEMENT SET
01/05/2017		ISSUED FOR DOB
11/17/2016		FACE PAINTING SET
11/11/2016		100% DOB FOUNDATION SET
10/12/2016		ISSUED FOR DOB
04/08/2016		FOUNDATION 90 SET
02/05/2016		DOB FILING SET

Number	Date	Revision
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Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

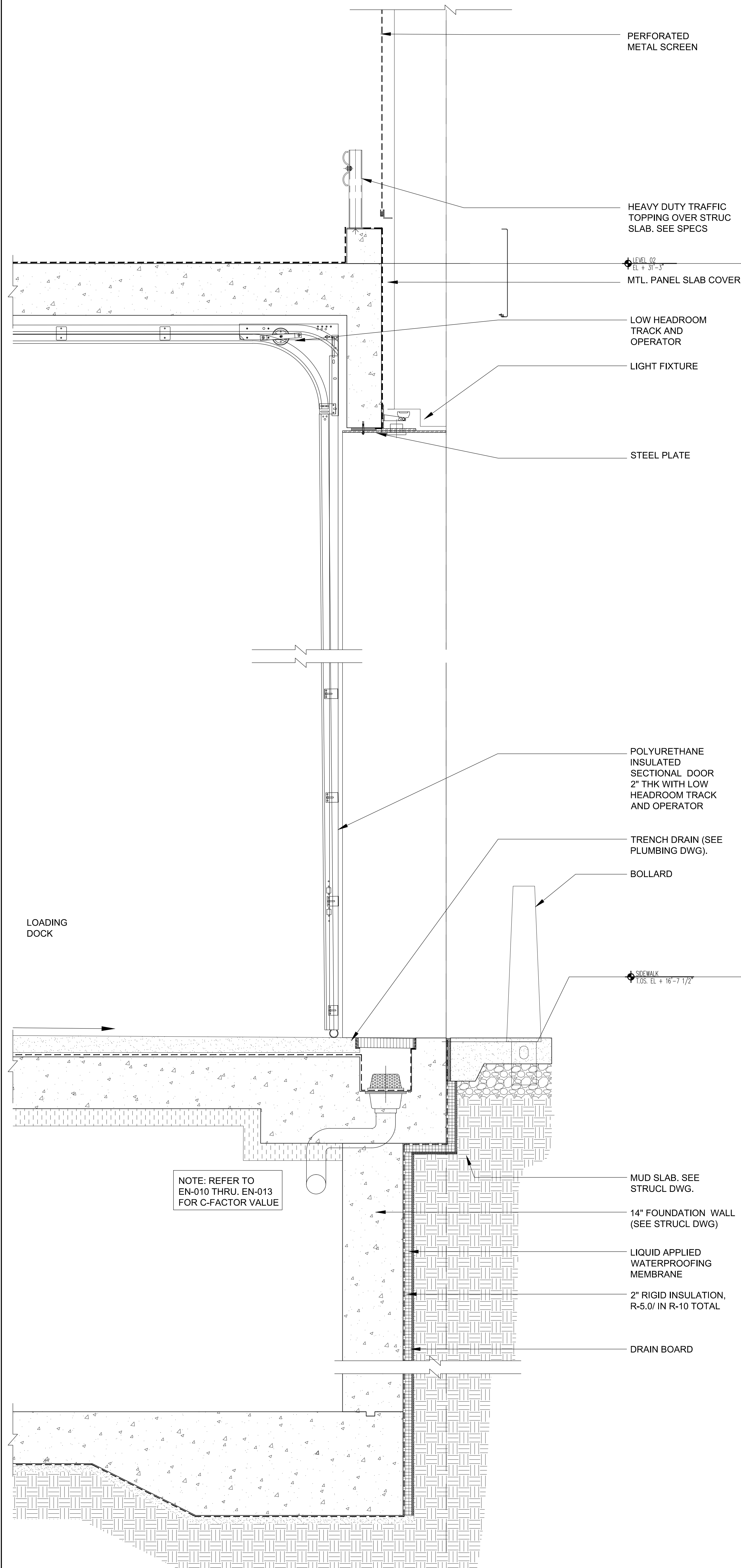
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:  
NORTH ELEVATION  
BASE DETAILS

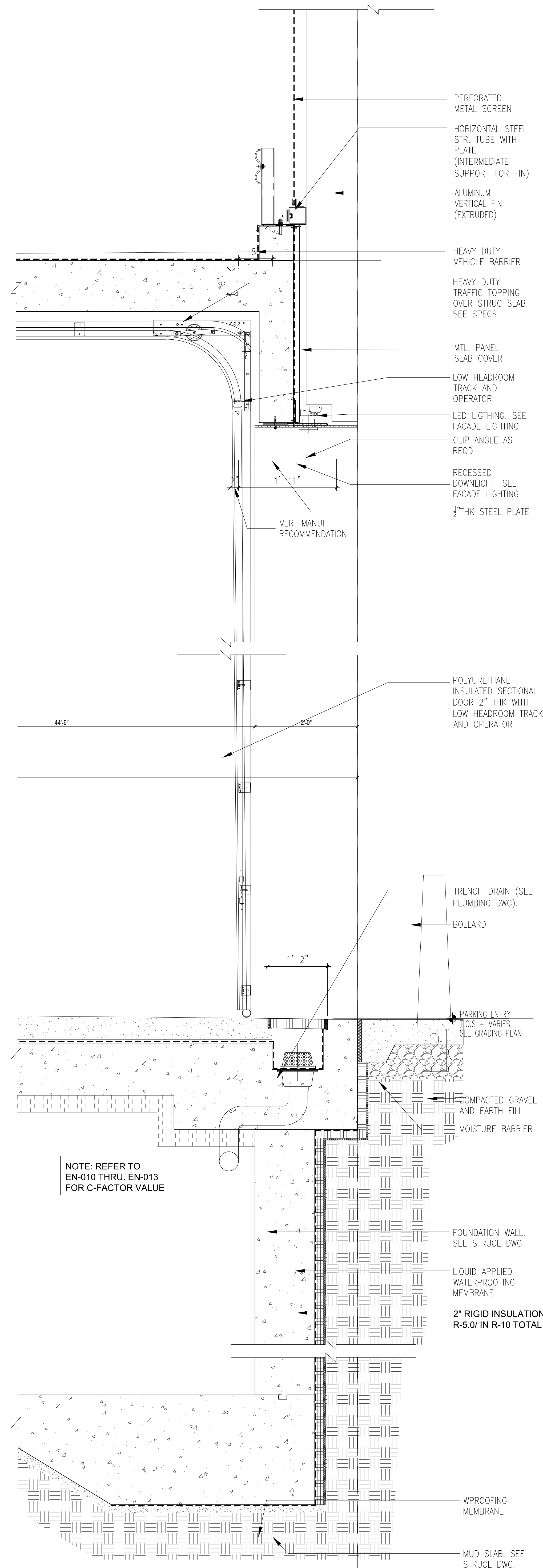
SEAL & SIGNATURE:  
PROJECT #  
DATE: 10/08/2017  
SCALE: AS NOTED  
DWG NO. A-513.00  
075 OF 105





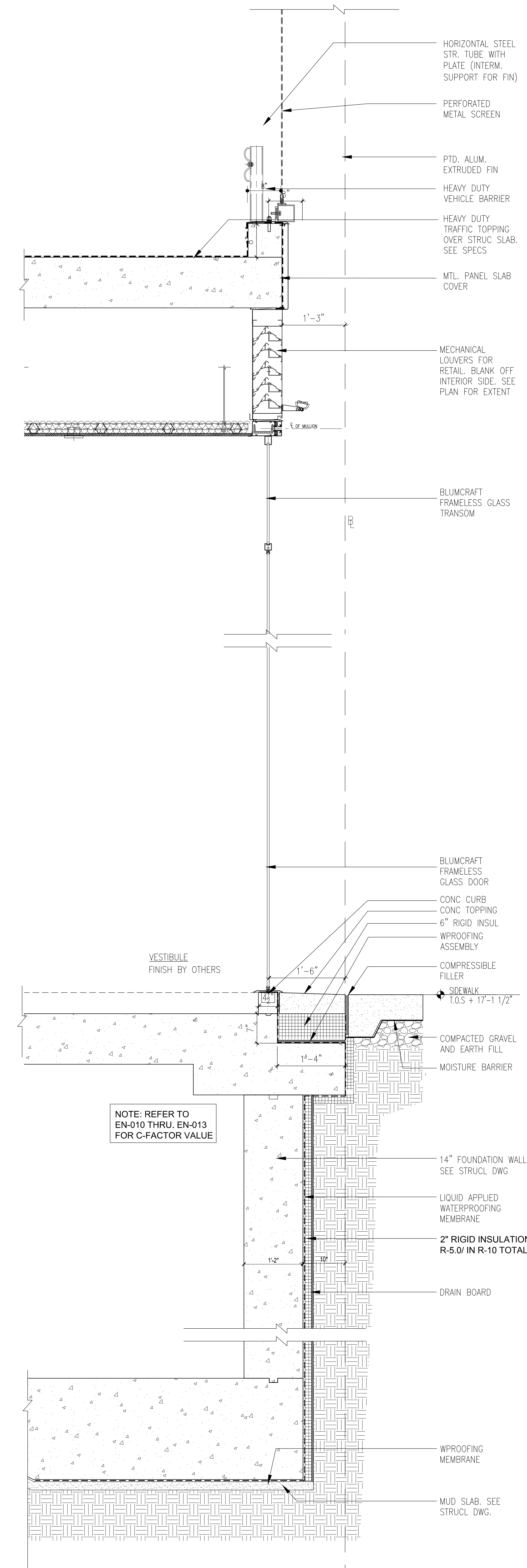
3

TYP. WALL DETAIL @ NORTH RESIDENTIAL ENTRY  
Scale: 1"=1'-0"



2

TYP. WALL DETAIL @ CAR PARKING ENTRY  
Scale: 1"=1'-0"



1

TYP. WALL DETAIL @ NORTH RESIDENTIAL ENTRY  
Scale: 1"=1'-0"

NOTES:

NOT FOR CONSTRUCTION

12/08/2017	ISSUED FOR DOB
10/08/2017	ISSUED FOR DOB
09/15/2017	95% CD SET AND #3
08/02/2017	65% CD SET
07/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FACADE PAINTING SET
11/01/2016	100% CD FOUNDATION AND SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION AND SET
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

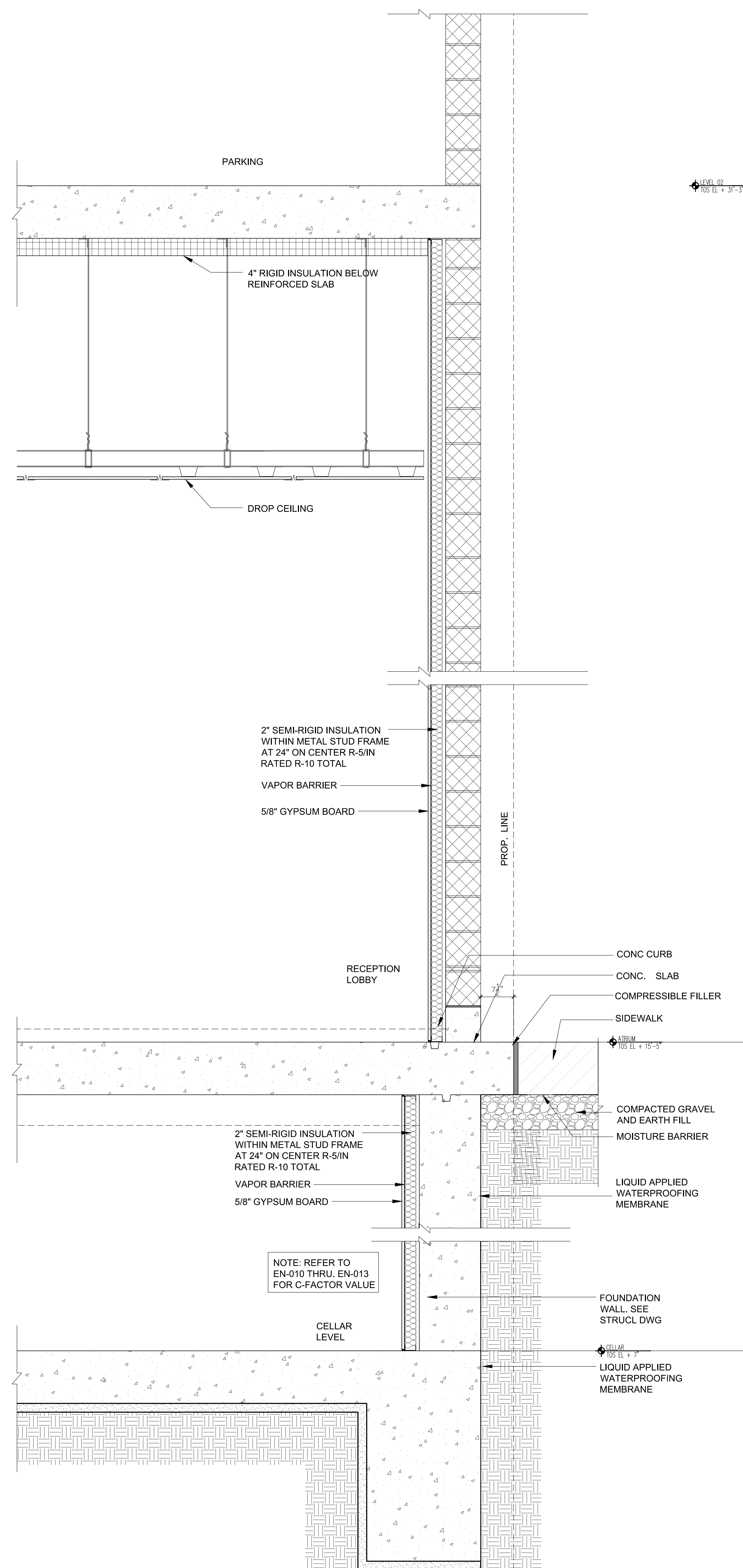
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

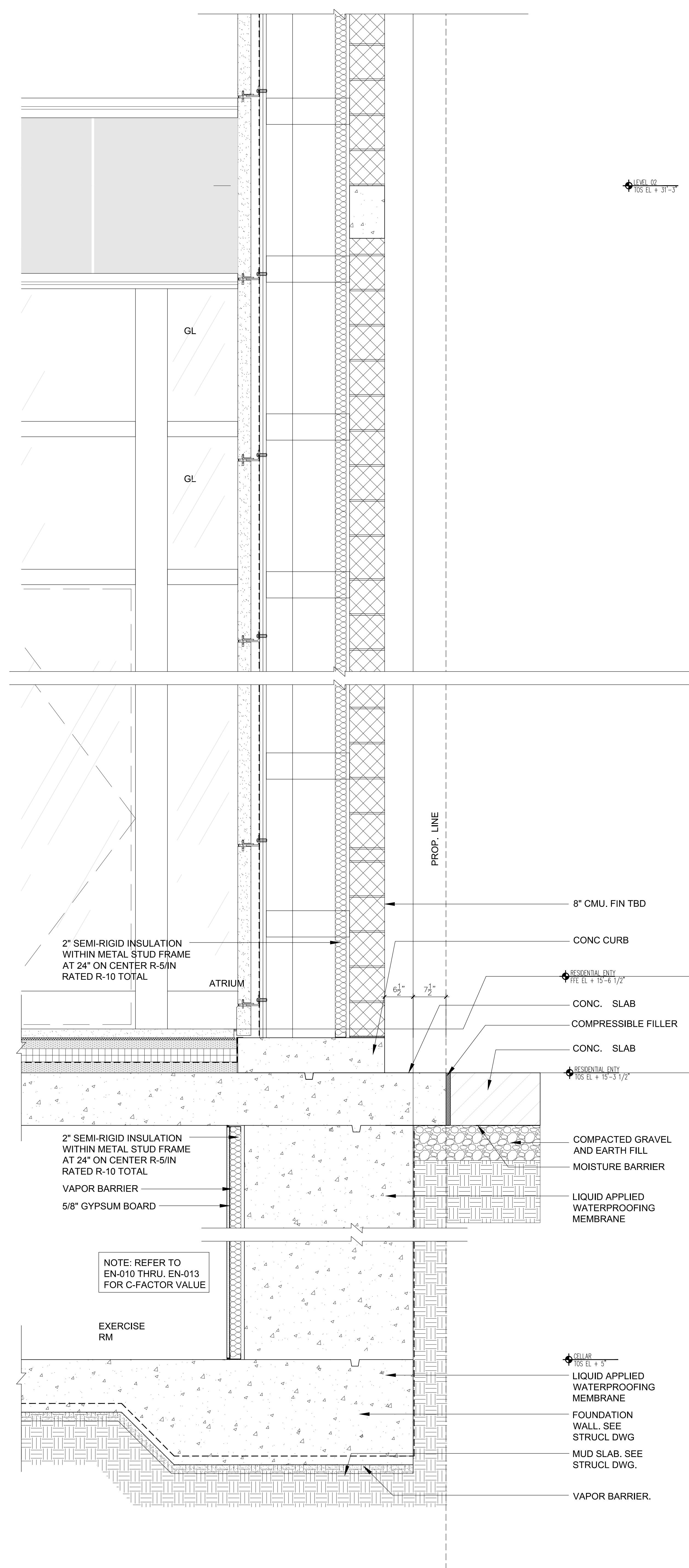
DWG TITLE:  
NORTH ELEVATION  
BASE DETAILS

SEAL & SIGNATURE:  
PROJECT #  
DATE: 10/08/2017  
SCALE: AS NOTED  
A-514.00  
DWG NO.  
076 OF 105

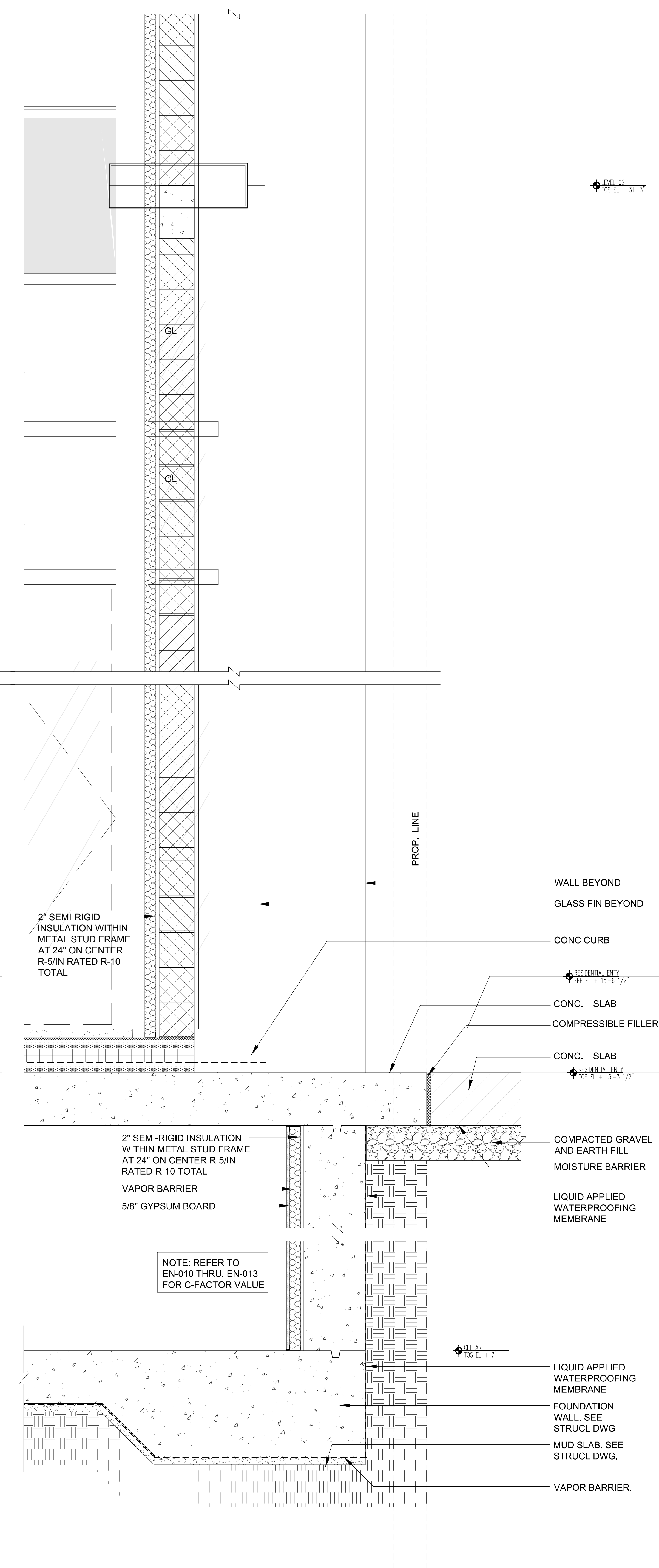




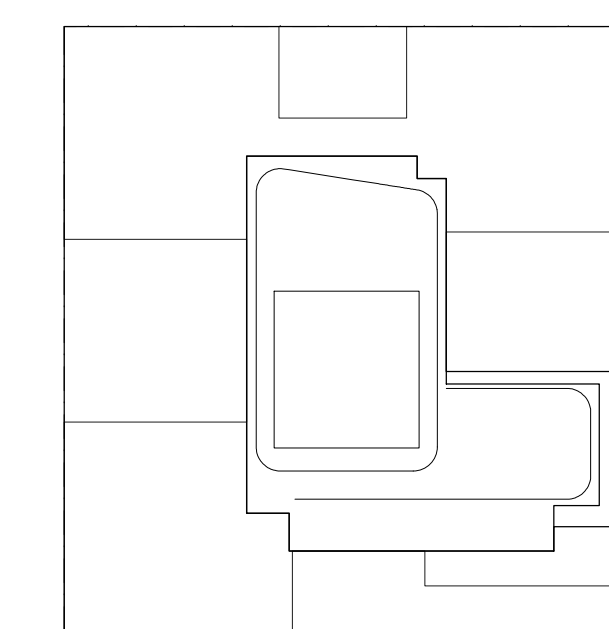
3 WALL SECTION THRU EAST LOT LINE  
Scale: 1"=1'-0"



2 WALL SECTION THRU EAST LOT LINE  
Scale: 1"=1'-0"



1 WALL SECTION THRU EAST LOT LINE  
Scale: 1"=1'-0"



## KEY PLAN

**NOTES:**

10/06/2017	ISSUED FOR DOB
09/15/2017	SEA CD SET, AND # 3
06/02/2017	SEA CD SET
03/04/2017	SEA CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/07/2016	FACEWORKING SET
10/01/2016	100% FOUNDATION BRG SET
10/02/2016	ISSUED FOR DOB
04/09/2016	FOUNDATION BRG SET
02/05/2016	DOB FILING SET

Number:	Date:	Revision:
---------	-------	-----------

Project: **City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:

**HILL | WEST**  
**ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:

**DESIMONE  
CONSULTING ENGINEERS**

140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211

**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS &amp; SIGNATURES:

DWG TITLE: EAST ELEVATION  
BASE DETAILS

SEAL &amp; SIGNATURE:

DATE: 10/06/201

PROJECT #: 15A1

SCALE: AS NOTED

1515 00

A-5 15.00

077 OF 108





**NOTES:**

NOT	FOR	CONSTRUCTION
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10/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET JACO # 3
06/02/2017	85% CD SET
03/24/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FAÇADE FRAMING SET
11/11/2016	100% DD FOUNDATION BID SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION BID SET
02/05/2016	DOB FILING SET

er:	Date:	Revision:
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City View Tower at  
Court Square  
23-15 44th Drive  
Long Island City, NY 11101

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

architect:

**HILL | WEST**  
**ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213.8007


**ESIMONE**  
**CONSULTING ENGINEERS**  
1 Broadway, 25th Floor  
New York, NY, 10005  
(212) 532-2211

**Posentini Associates**  
100 Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600

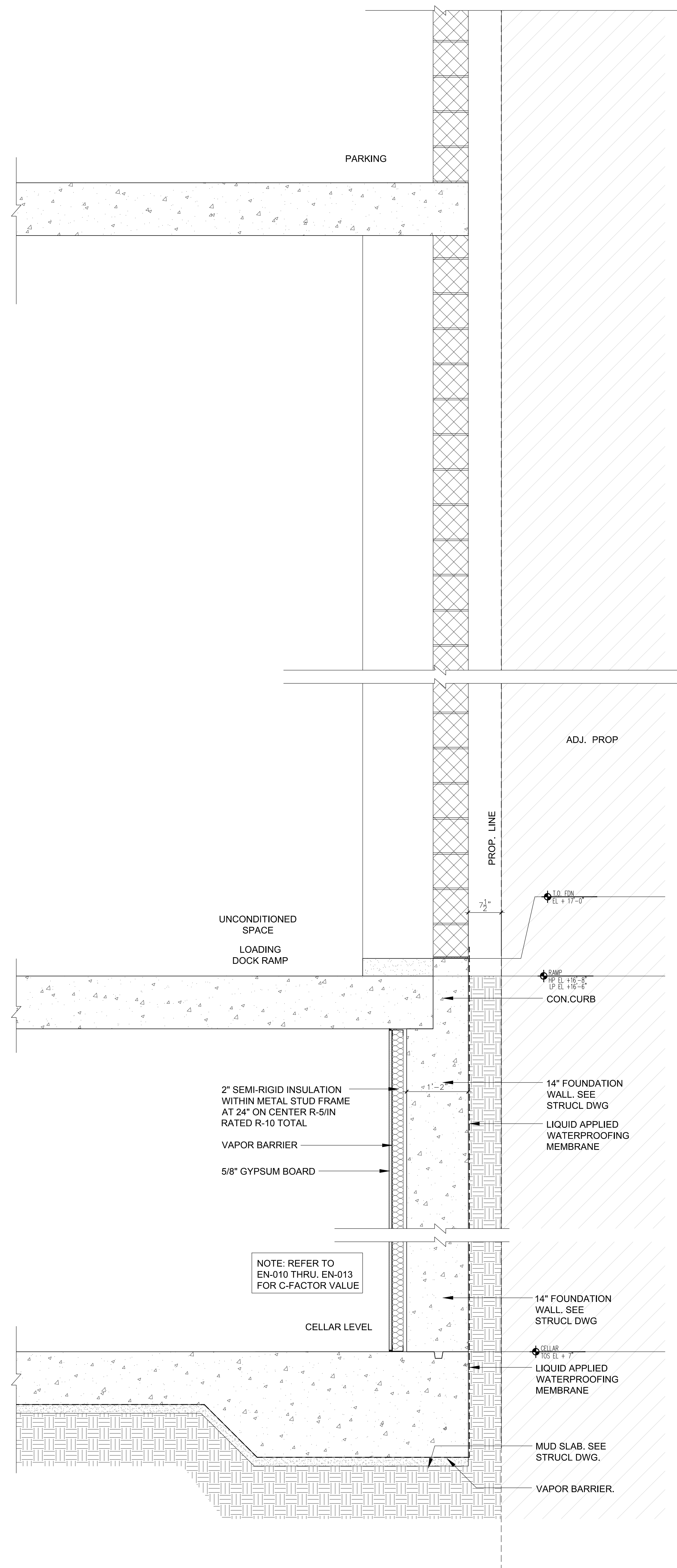
**Whitehall**  
Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

STAMPS &amp; SIGNATURES:

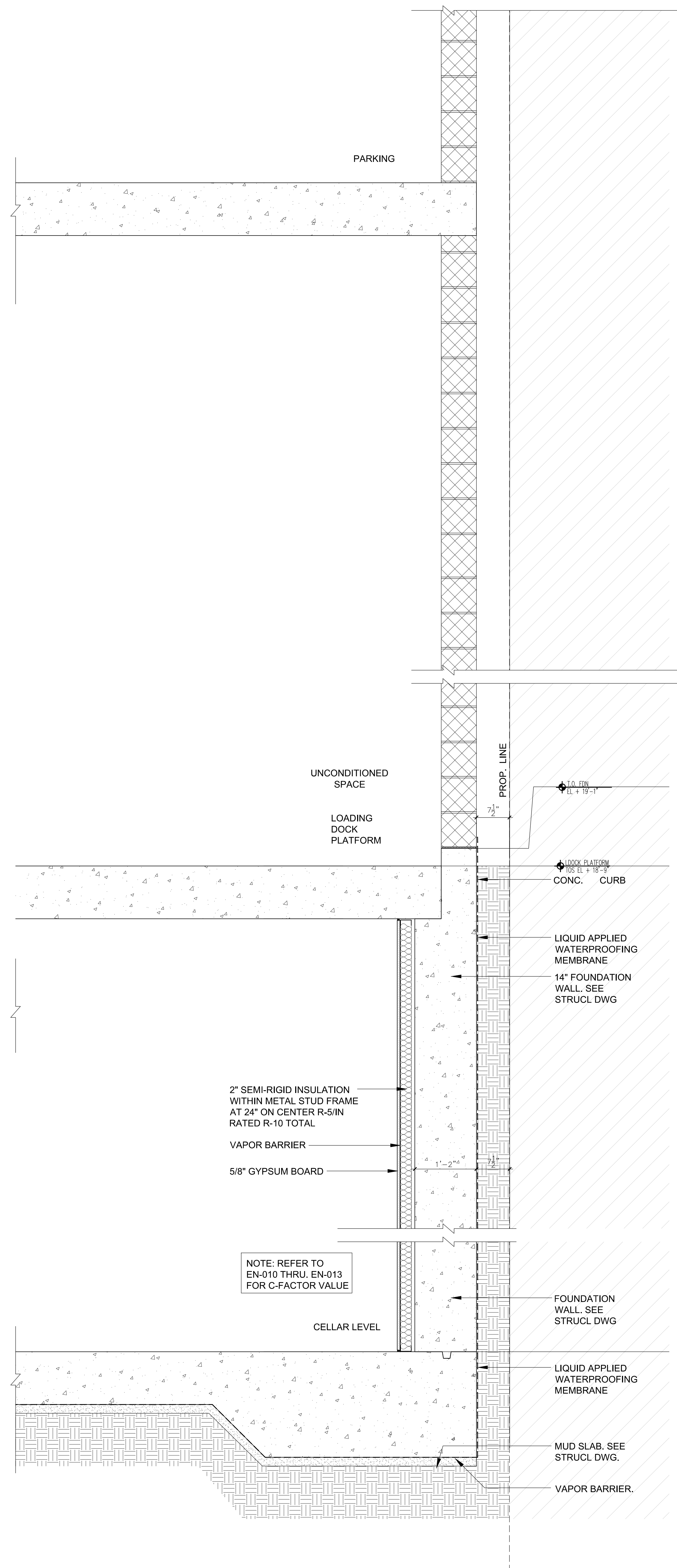
TITLE: EAST ELEVATION  
BASE DETAILS

	SIGNATURE:	DATE:	10/06/2017
	REGISTERED ARCHITECT	PROJECT #:	15A12
	LEO STEPHEN HILL	SCALE:	AS NOTED
	<div style="font-size: 2em; font-weight: bold;">A-516.00</div>		
DWG NO.			

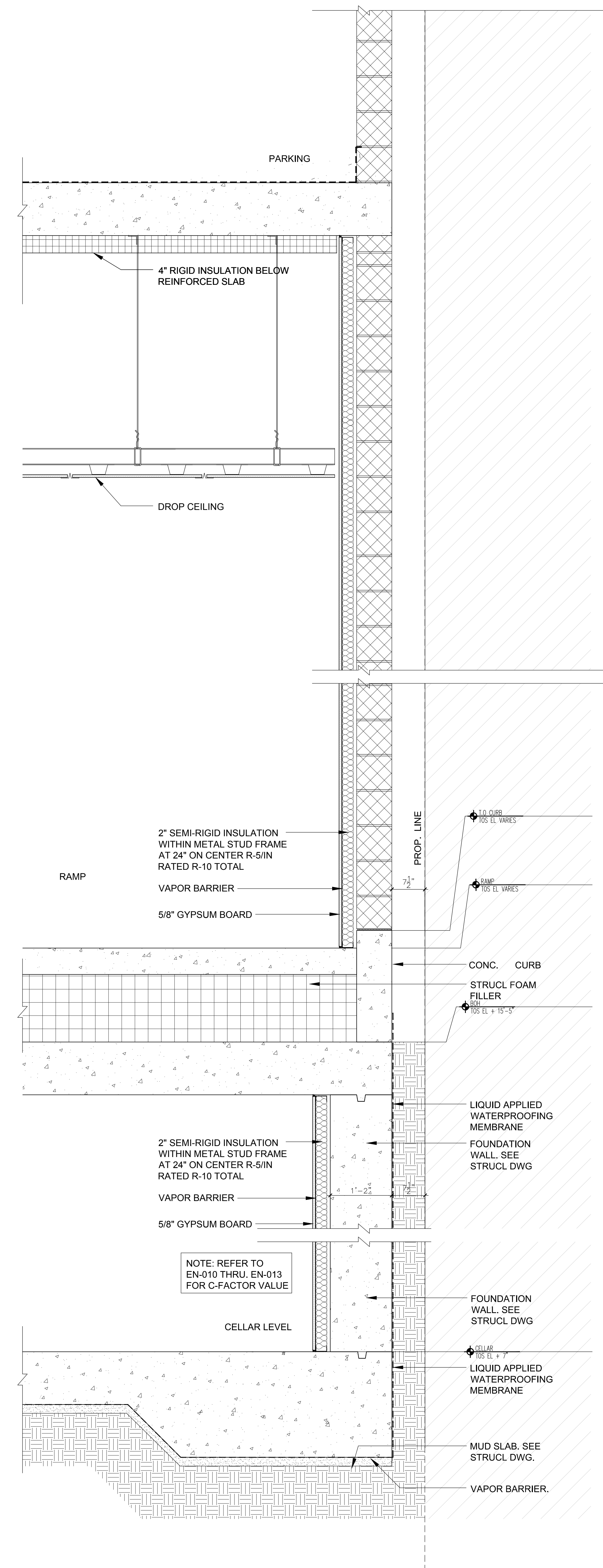
3 OF 105



3 WALL SECTION THRU EAST LOT LINE  
Scale: 1"=1'-0"



2 WALL SECTION THRU EAST LOT LINE  
Scale: 1"=1'-0"



1 WALL SECTION THRU EAST LOT LINE  
Scale: 1"=1'-0"



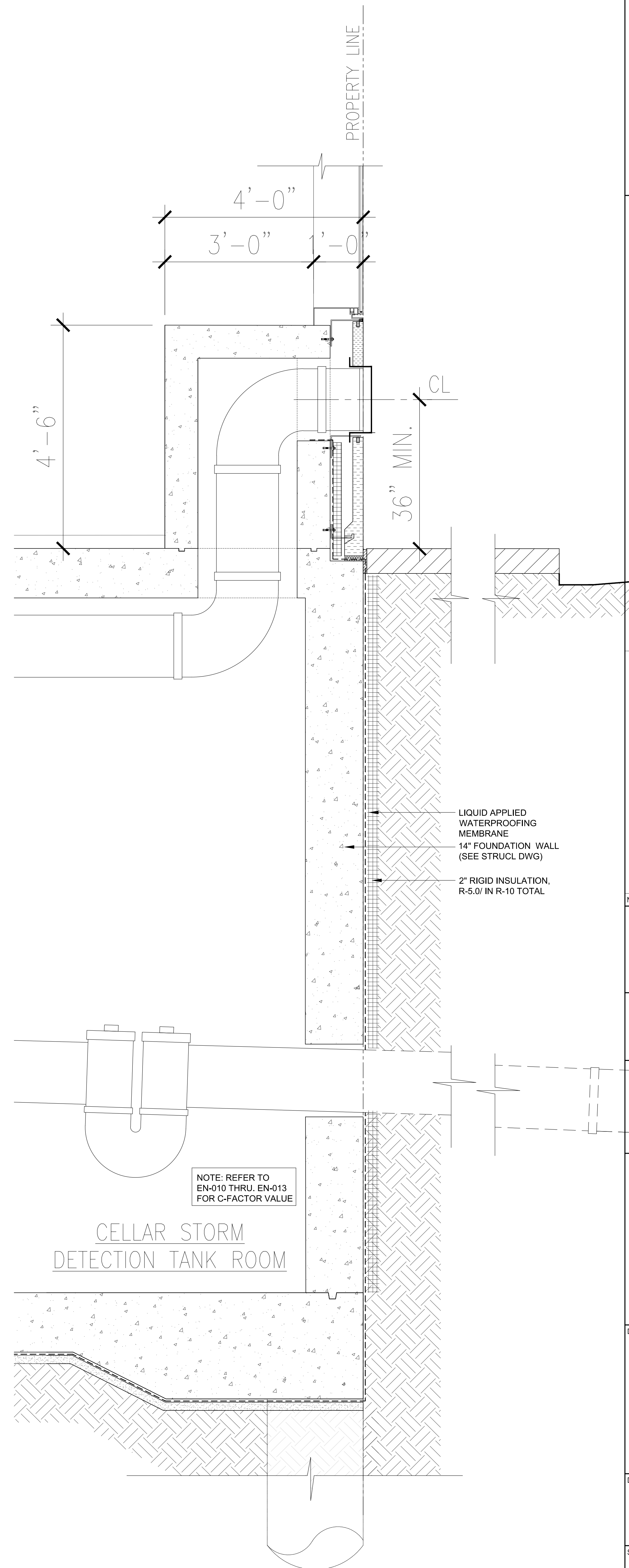
GROUND FL. LOBBY FF 15'-10"

GROUND FL. LOBBY TOS 15'-7"  
T.O.S. EL. 15'-7"

OVER FLOW @ TANK 7'-0"

TANK BASE TOS 0'-11"

CELLAR T.O.S. EL. 0'-7"



1 TYP. WALL DTL @ DETENTION TANK  
Scale: 1/2"=1'-0"

NOTES:

NOT FOR CONSTRUCTION

10/08/2017	ISSUED FOR DOB
08/15/2017	90% CD SET AND # 3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FAÇADE PAVING SET
11/01/2016	100% CD FOUNDATION AND SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION AND SET
02/05/2016	DOB FILING SET

Number:	Date:	Revision:
---------	-------	-----------

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

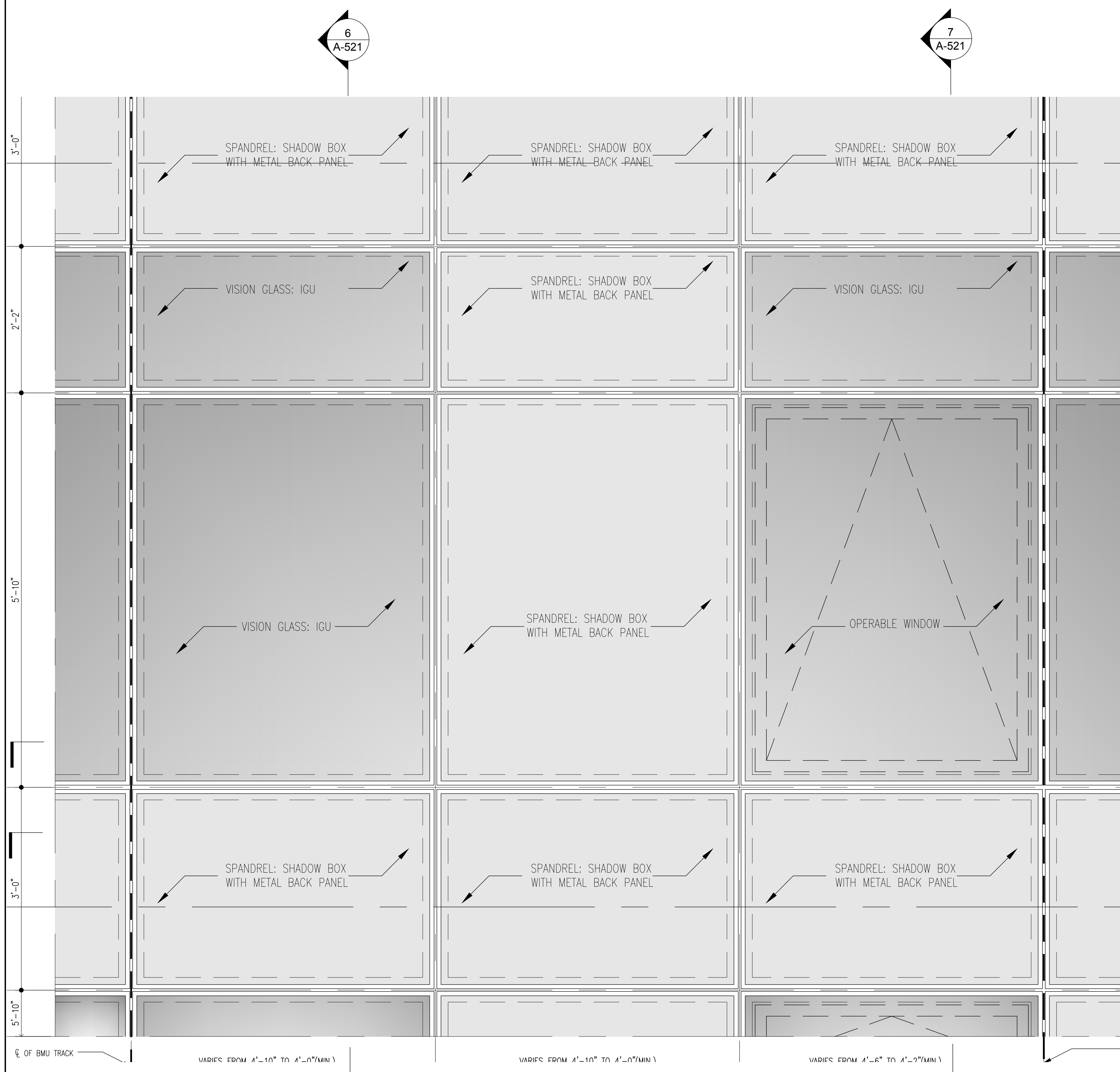
DWG TITLE:  
BASE DETAILS

SEAL & SIGNATURE: REGISTERED ARCHITECT STEPHEN HILL NEW YORK	DATE: 10/08/2017
PROJECT # 15412	SCALE: AS NOTED
DWG NO. A-517.00	

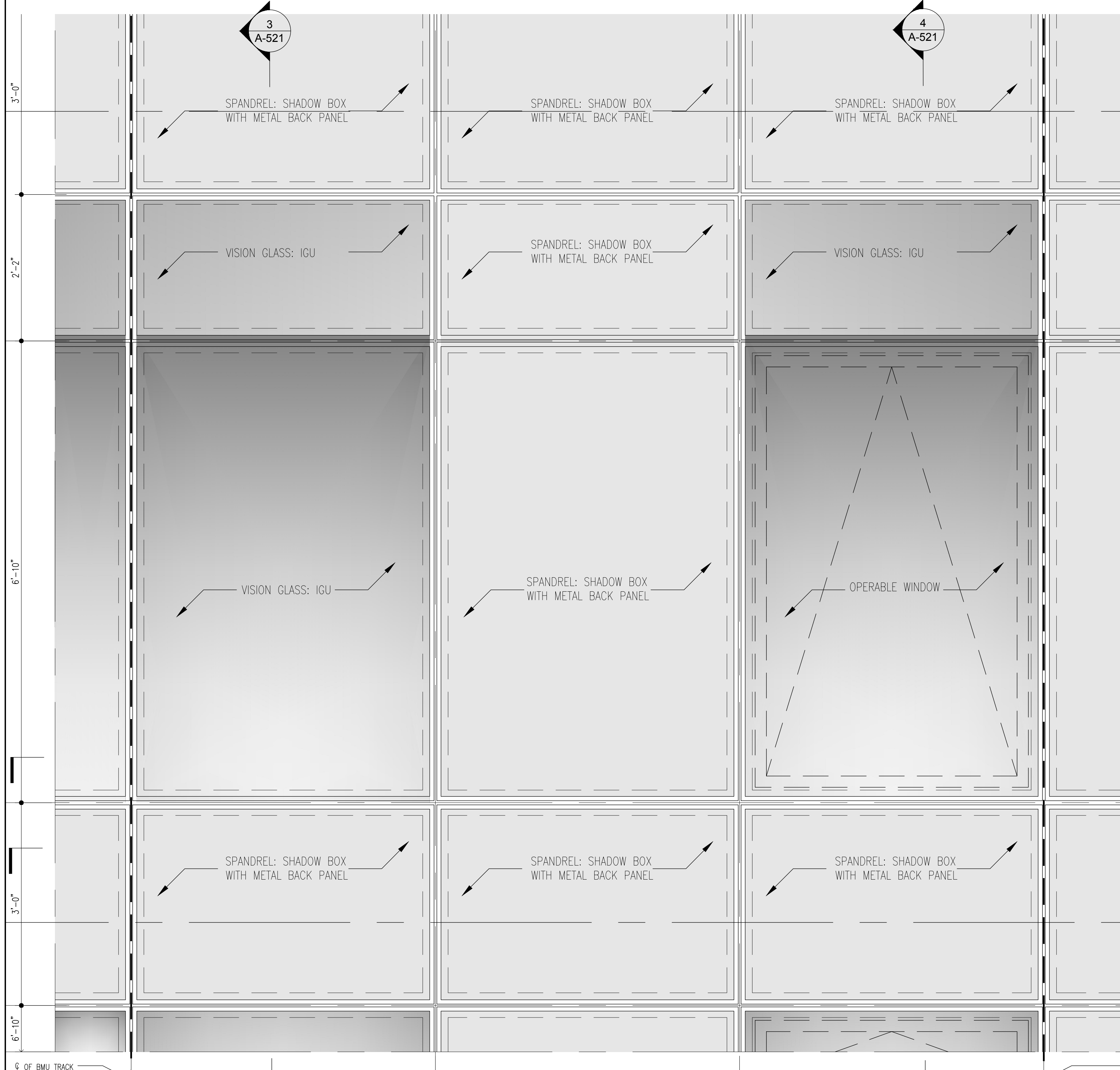




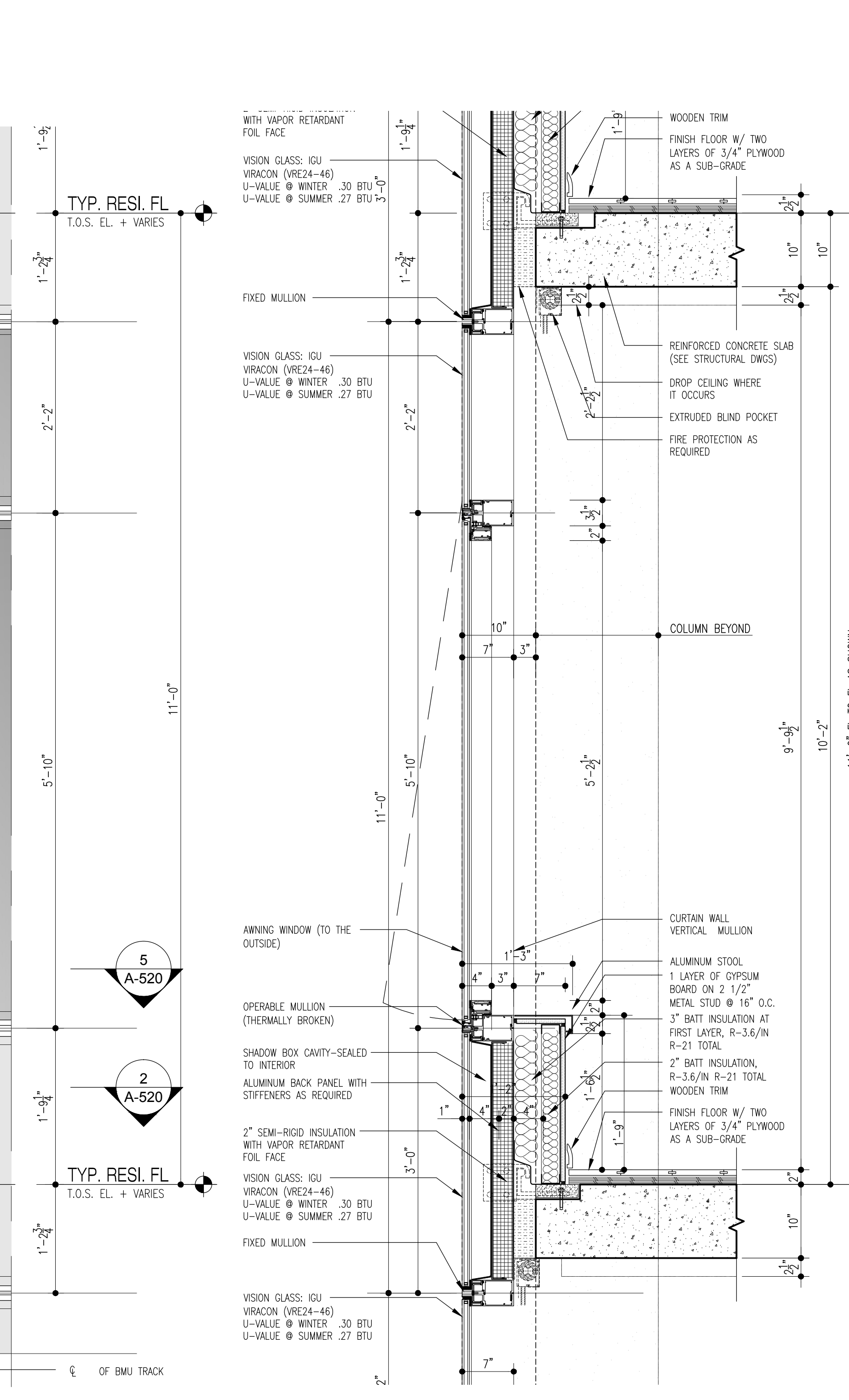




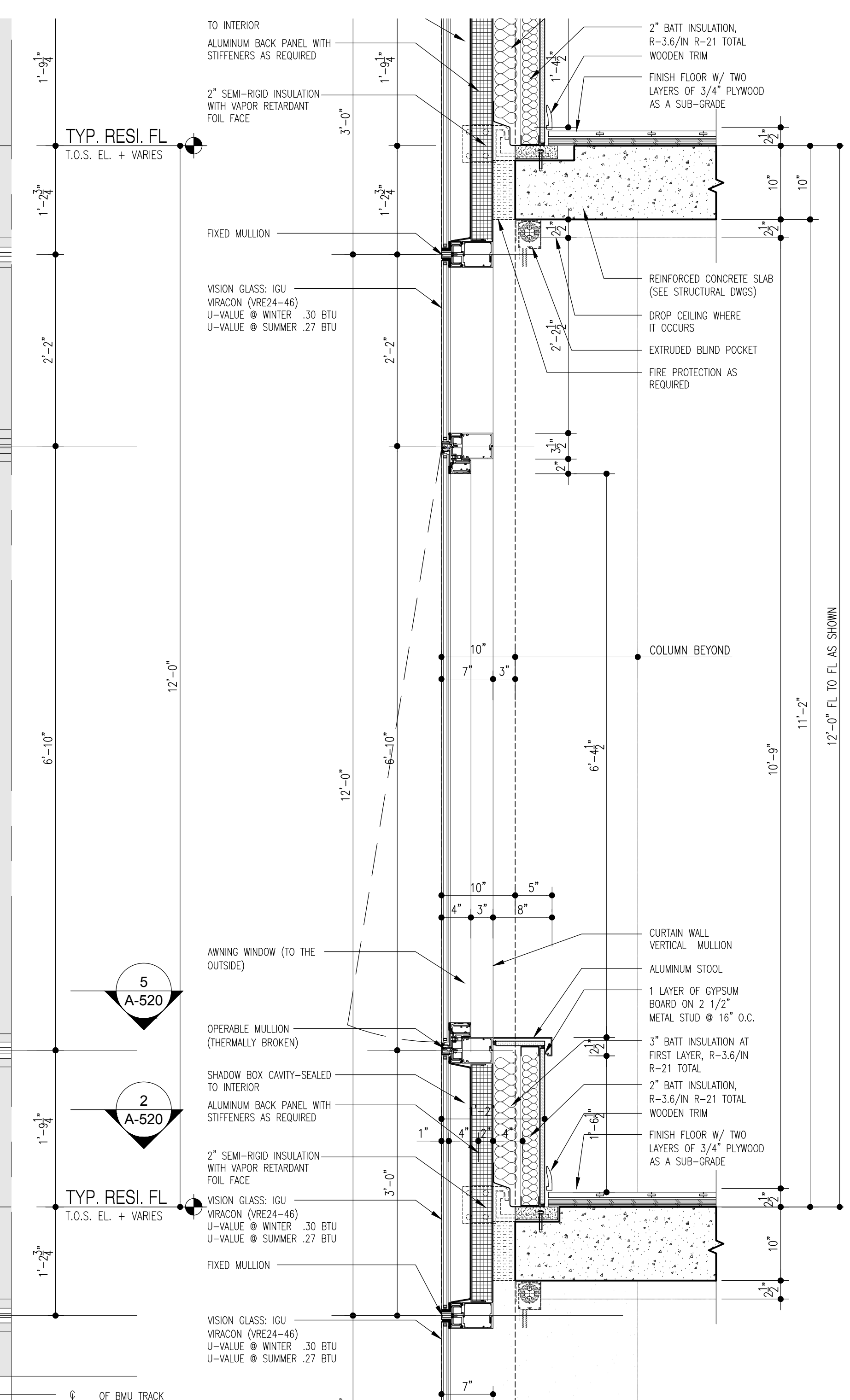
8 TYP. ELEVATION @ 11' FL-TO-FL  
Scale: 1"=1'-0"



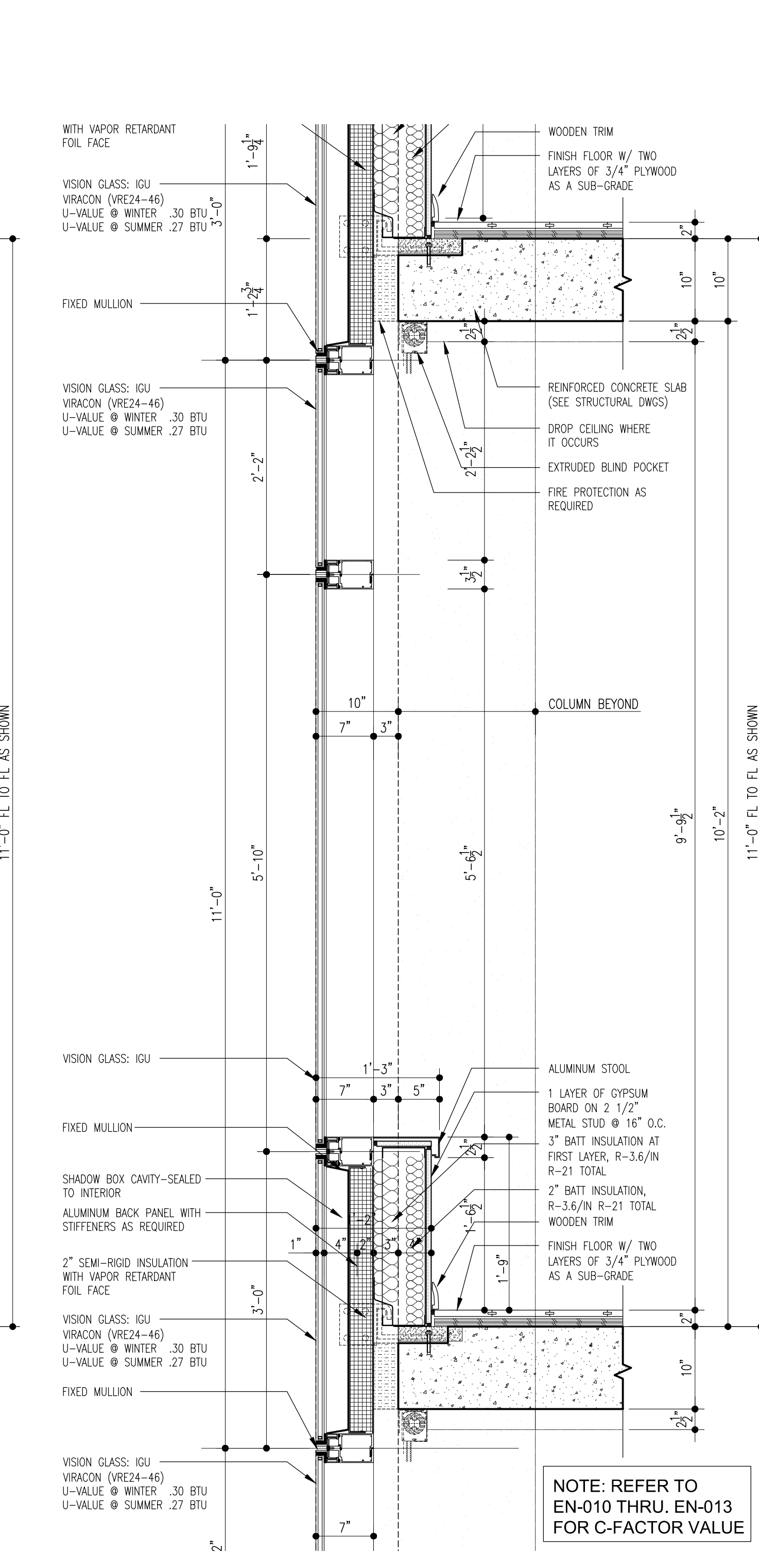
5 TYP. ELEVATION @ 12' FL-TO-FL  
Scale: 1"=1'-0"



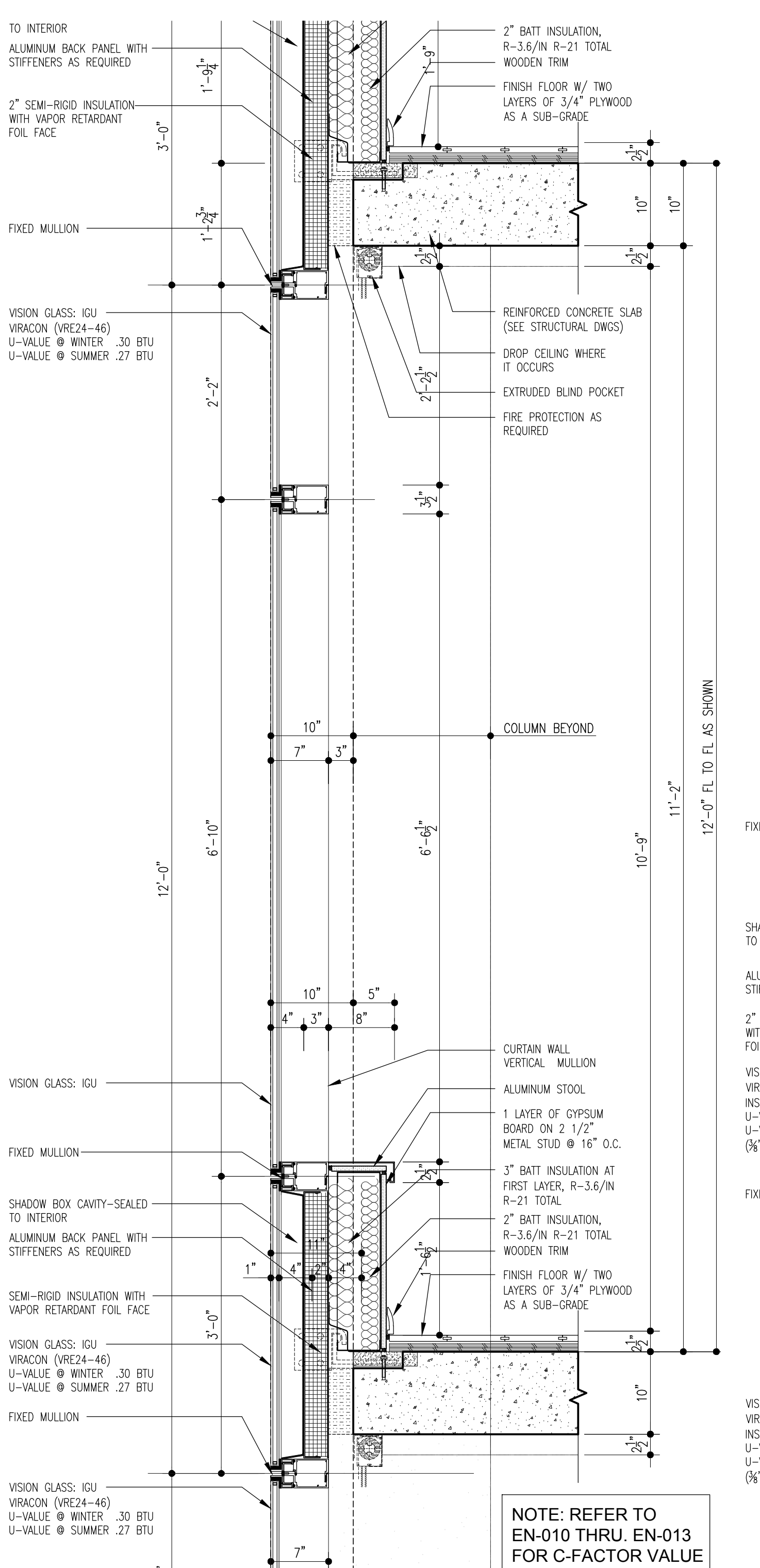
7 TYP. WALL SECTION @ 11' FL-TO-FL  
Scale: 1"=1'-0"



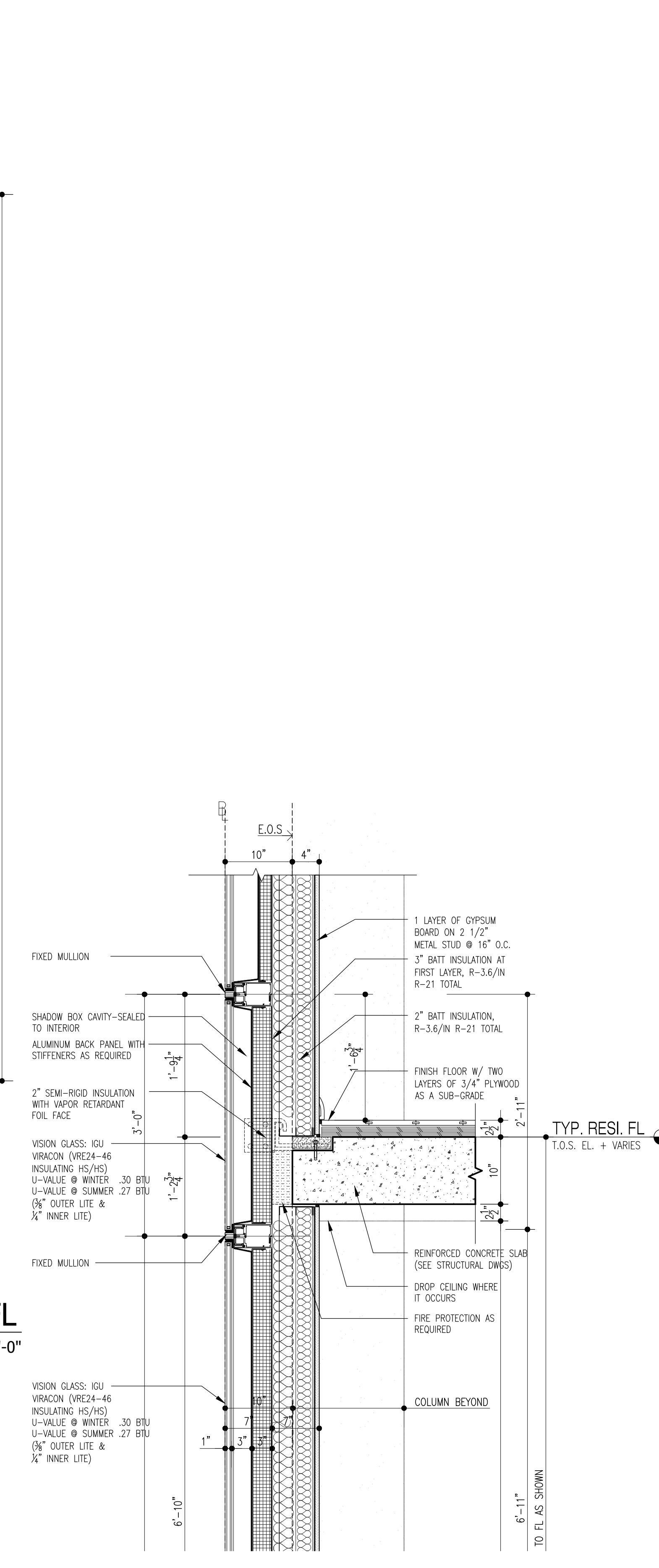
4 TYP. ELEVATION @ 12' FL-TO-FL  
Scale: 1"=1'-0"



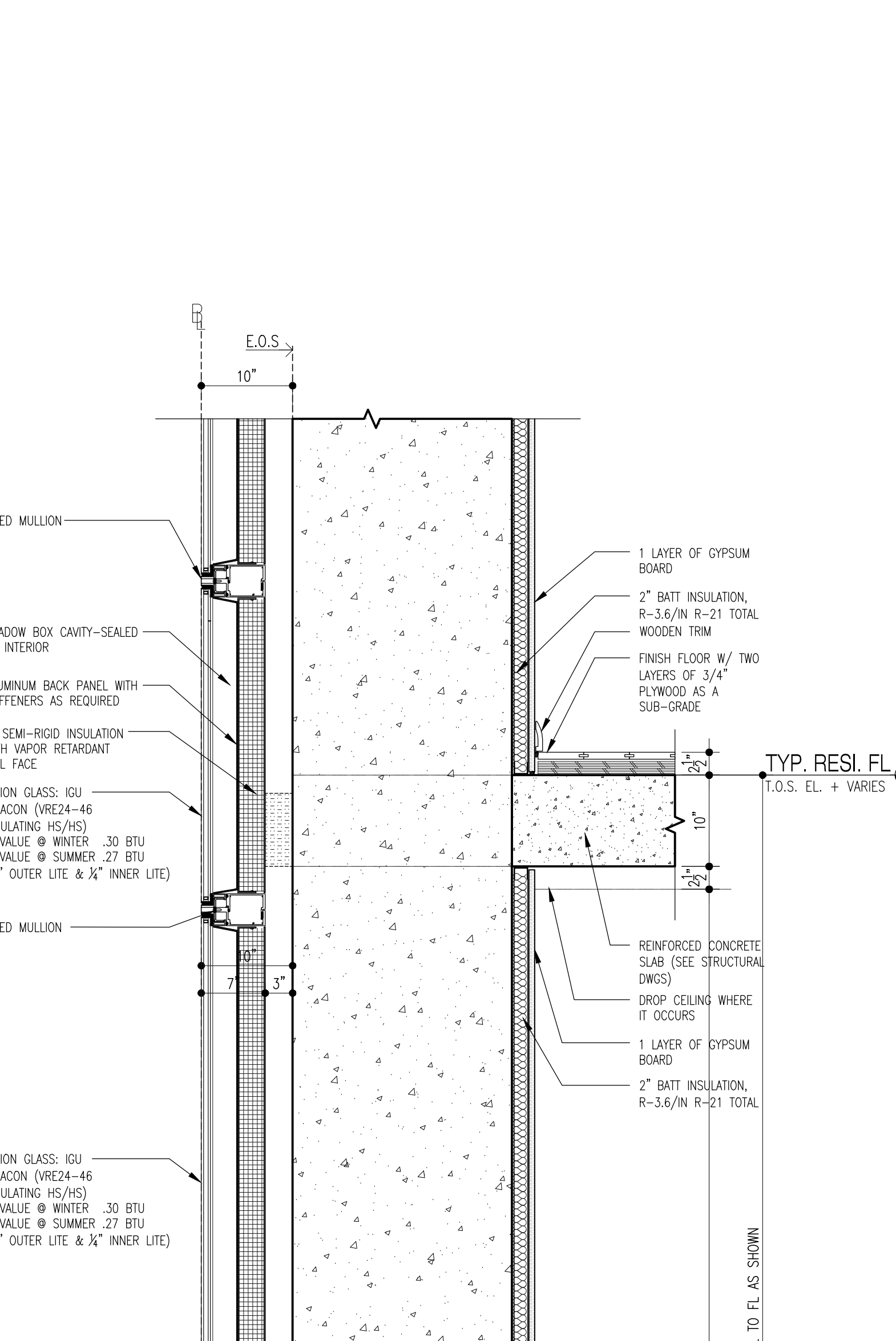
6 TYP. WALL SECTION @ 11' FL-TO-FL  
Scale: 1"=1'-0"



3 TYP. ELEVATION @ 12' FL-TO-FL  
Scale: 1"=1'-0"



2 TYP. WALL SECTION @ SPANDREL  
Scale: 1"=1'-0"



1 TYP. WALL SECTION @ COL.  
Scale: 1"=1'-0"

NOTES:

Number	Date	Revision
10/06/2017	ISSUED FOR DOB	
09/15/2017	90% CD SET AND #3	
06/02/2017	65% CD SET	
03/04/2017	50% CD SET	
03/10/2017	ISSUED FOR DOB	
03/01/2017	ISSUED FOR DOB	
02/14/2017	ISSUED FOR DOB	
01/27/2017	SUPPLEMENT SET	
01/25/2017	ISSUED FOR DOB	
11/17/2016	FAÇADE FINISH SET	
11/01/2016	100% DISSEMINATION HOS SET	
10/12/2016	ISSUED FOR DOB	
04/08/2016	FOUNDATION SDO SET	
02/05/2016	DOB FILING SET	

Number	Date	Revision
--------	------	----------

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940


DOB STAMPS & SIGNATURES:

DWG TITLE:  
WALL TYPE A-1

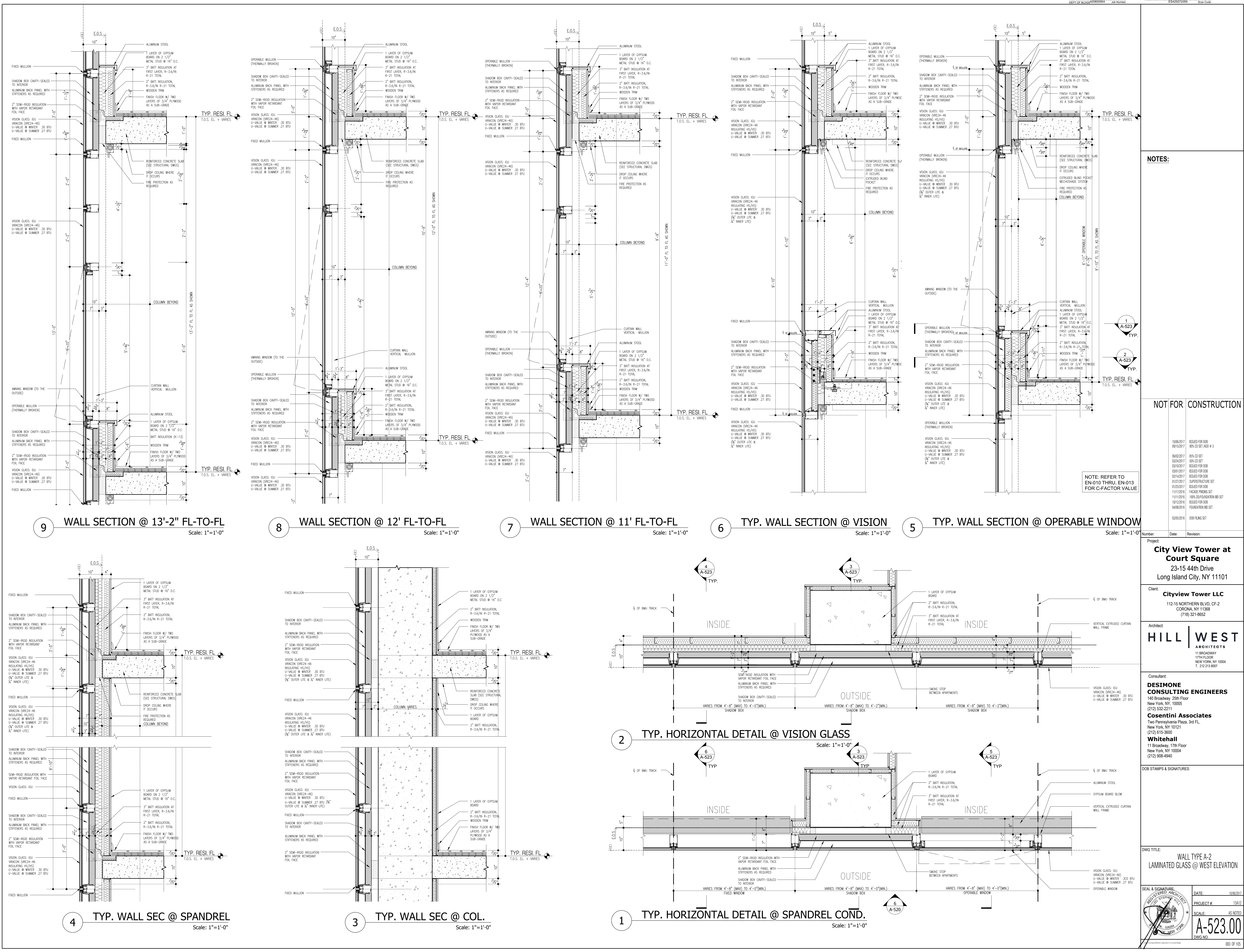
SEAL & SIGNATURE:  
REGISTERED ARCHITECT  
PROJECT #  
DATE:  
SCALE:  
AS NOTED  
A-521.00  
DWG NO.





	DATE:	10/06/2017
	PROJECT #:	15A12
	SCALE:	AS NOTED
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DWG NO.		





NOTES:

NOT FOR CONSTRUCTION

Number	Date	Revision
10/06/2017	08/10/2017	ISSUED FOR DOB
08/10/2017	08/10/2017	99% CD SET AND #3
08/02/2017	08/10/2017	65% CD SET
03/04/2017	03/10/2017	55% CD SET
03/10/2017	03/10/2017	ISSUED FOR DOB
03/01/2017	03/01/2017	ISSUED FOR DOB
02/14/2017	02/14/2017	ISSUED FOR DOB
01/07/2017	01/07/2017	SUPPLEMENTAL SET
01/05/2017	01/05/2017	ISSUED FOR DOB
11/17/2016	11/17/2016	FAÇADE FINISH SET
11/11/2016	11/11/2016	100% DISSEMINATION HDS SET
10/12/2016	10/12/2016	ISSUED FOR DOB
04/08/2016	04/08/2016	FOUNDATION HDS SET
02/05/2016	02/05/2016	DOB FILING SET

Project: **City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect: **HILL | WEST ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant: **DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd Fl.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

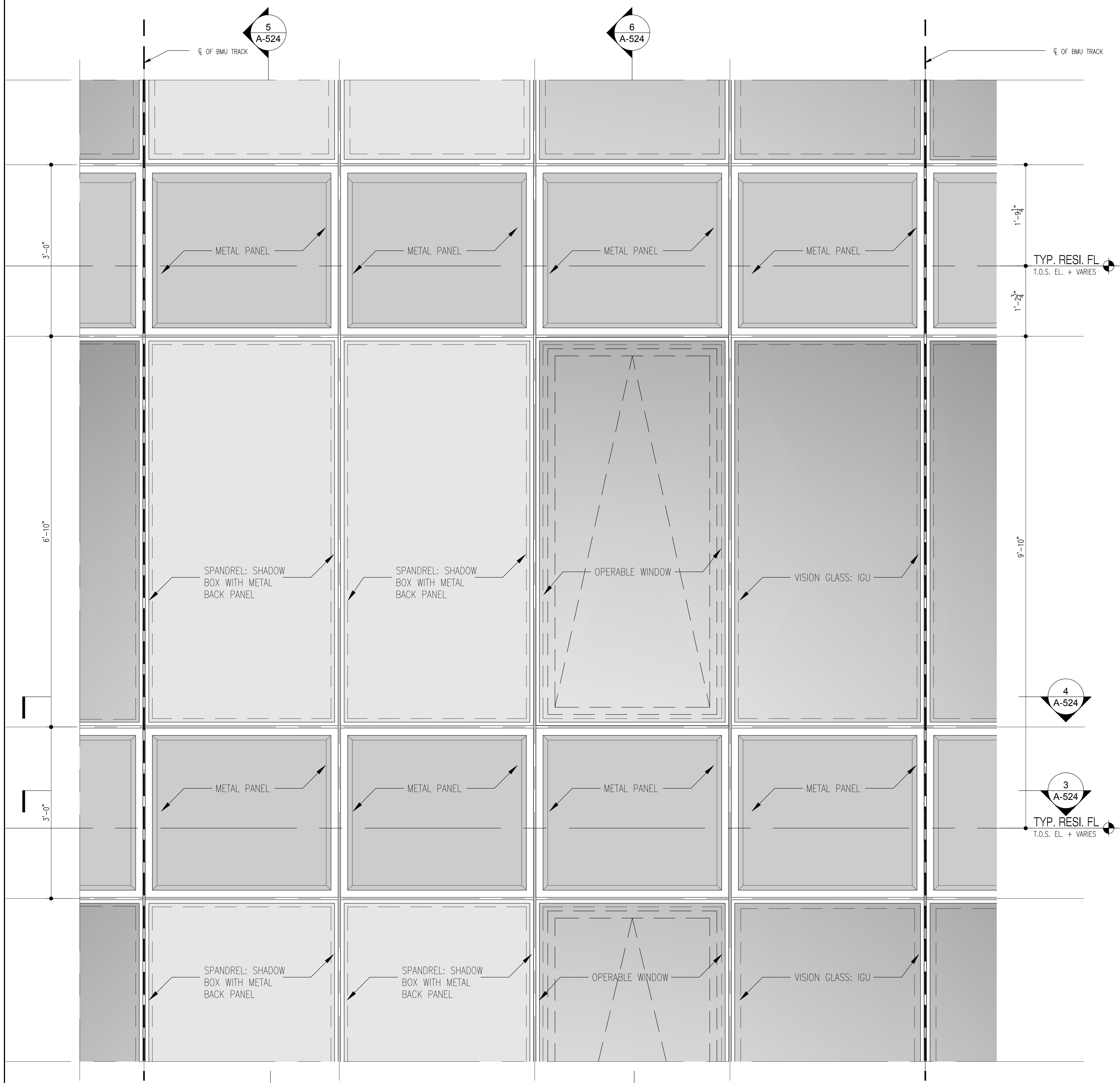
DOB STAMPS & SIGNATURES:

DWG TITLE: **WALL TYPE A-2 LAMINATED GLASS @ WEST ELEVATION**

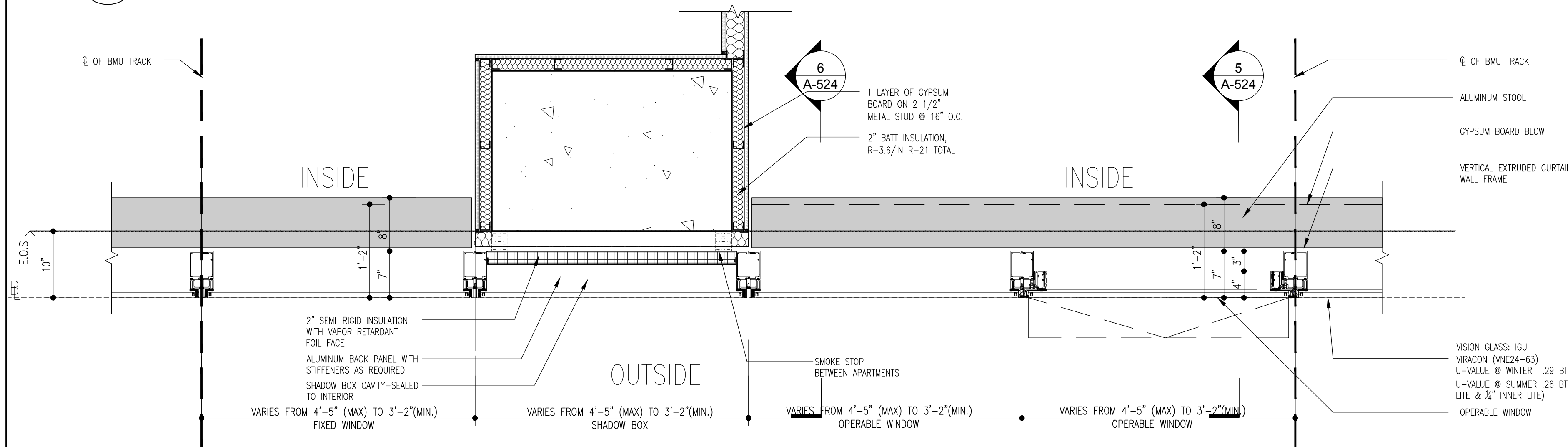
DATE: 10/08/2017  
PROJECT #: 15412  
SCALE: AS NOTED  
DWG NO: **A-523.00**

SEAL & SIGNATURE: **REGISTERED ARCHITECT**  
DATE: 10/08/2017  
PROJECT #: 15412  
SCALE: AS NOTED  
DWG NO: **A-523.00**

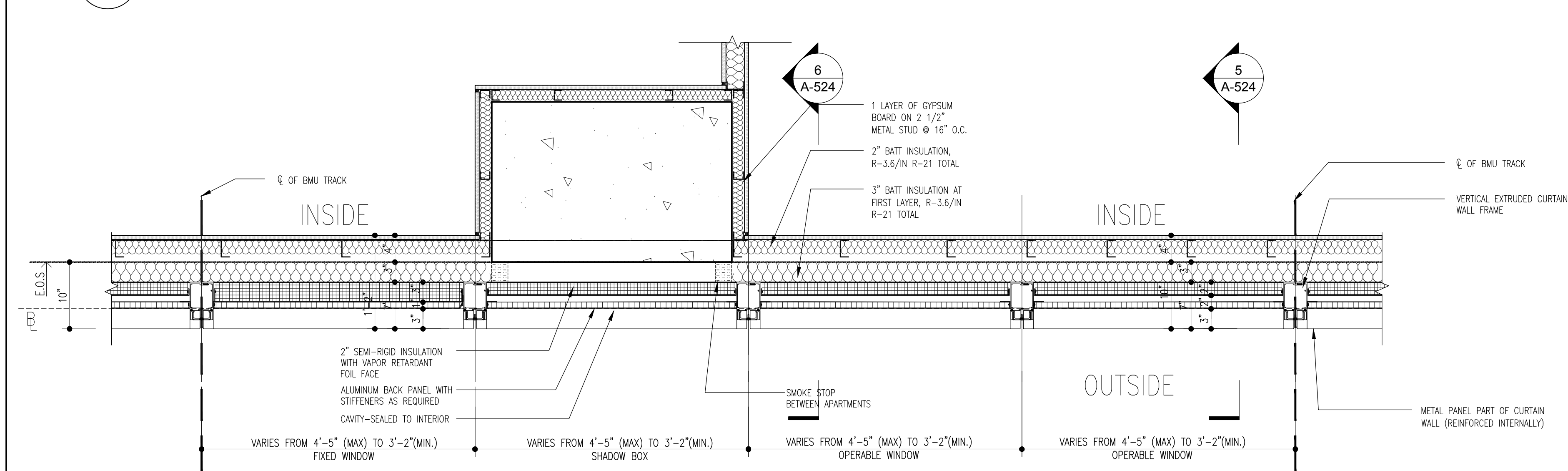




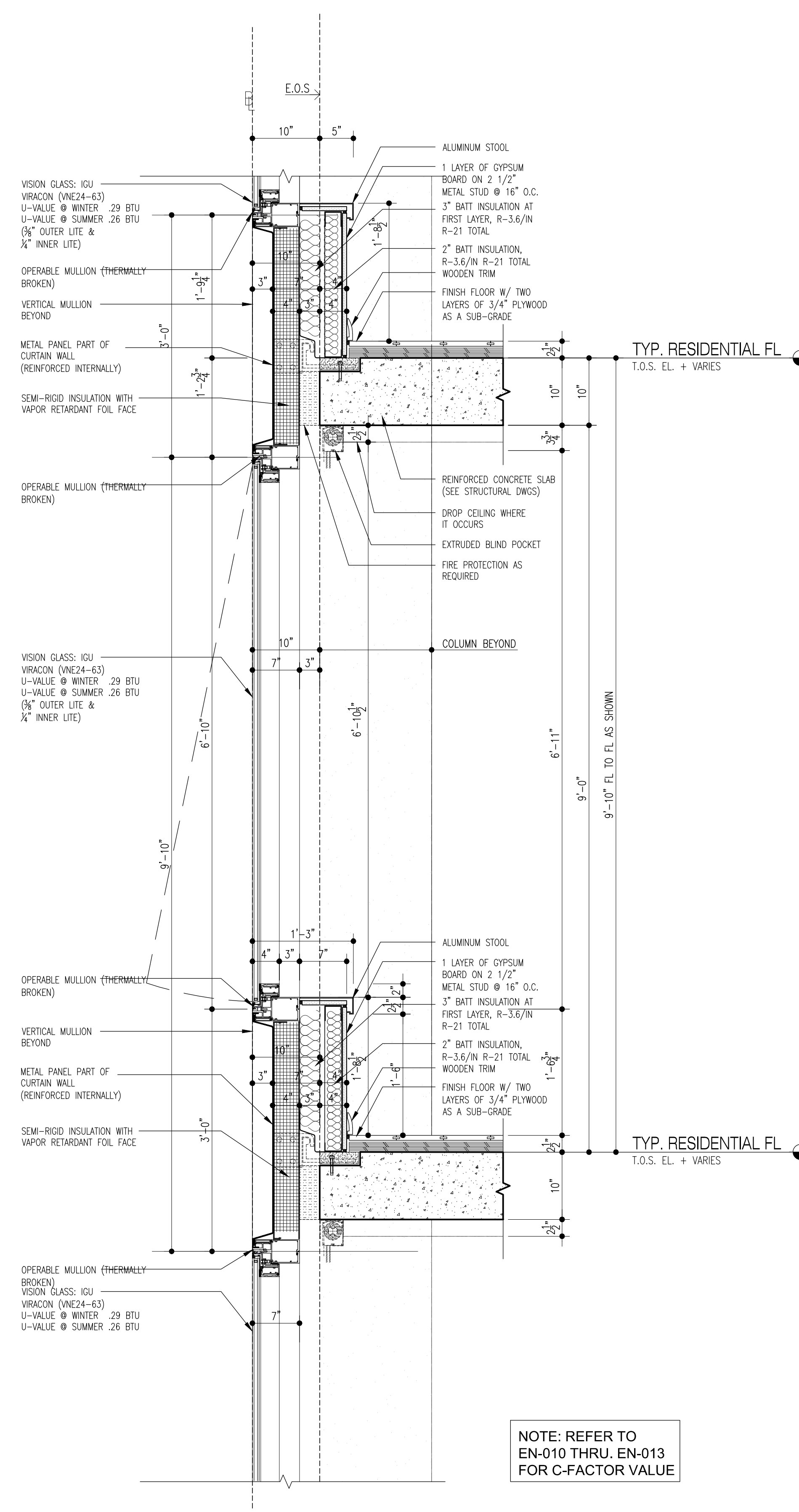
7 TYP. ELEVATION DETAIL  
Scale: 1"=1'-0"



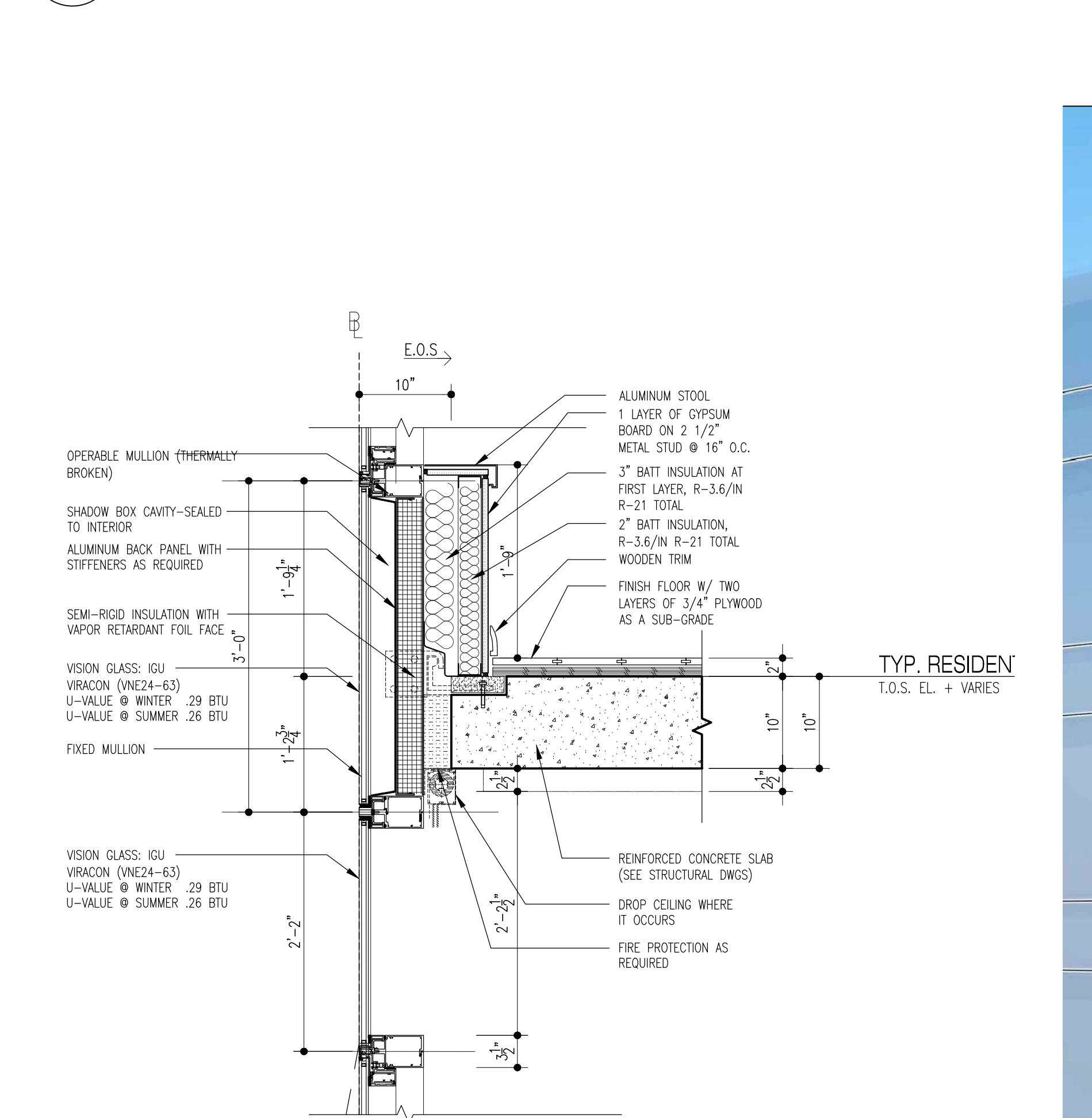
4 TYP. HORIZONTAL DETAIL  
Scale: 1"=1'-0"



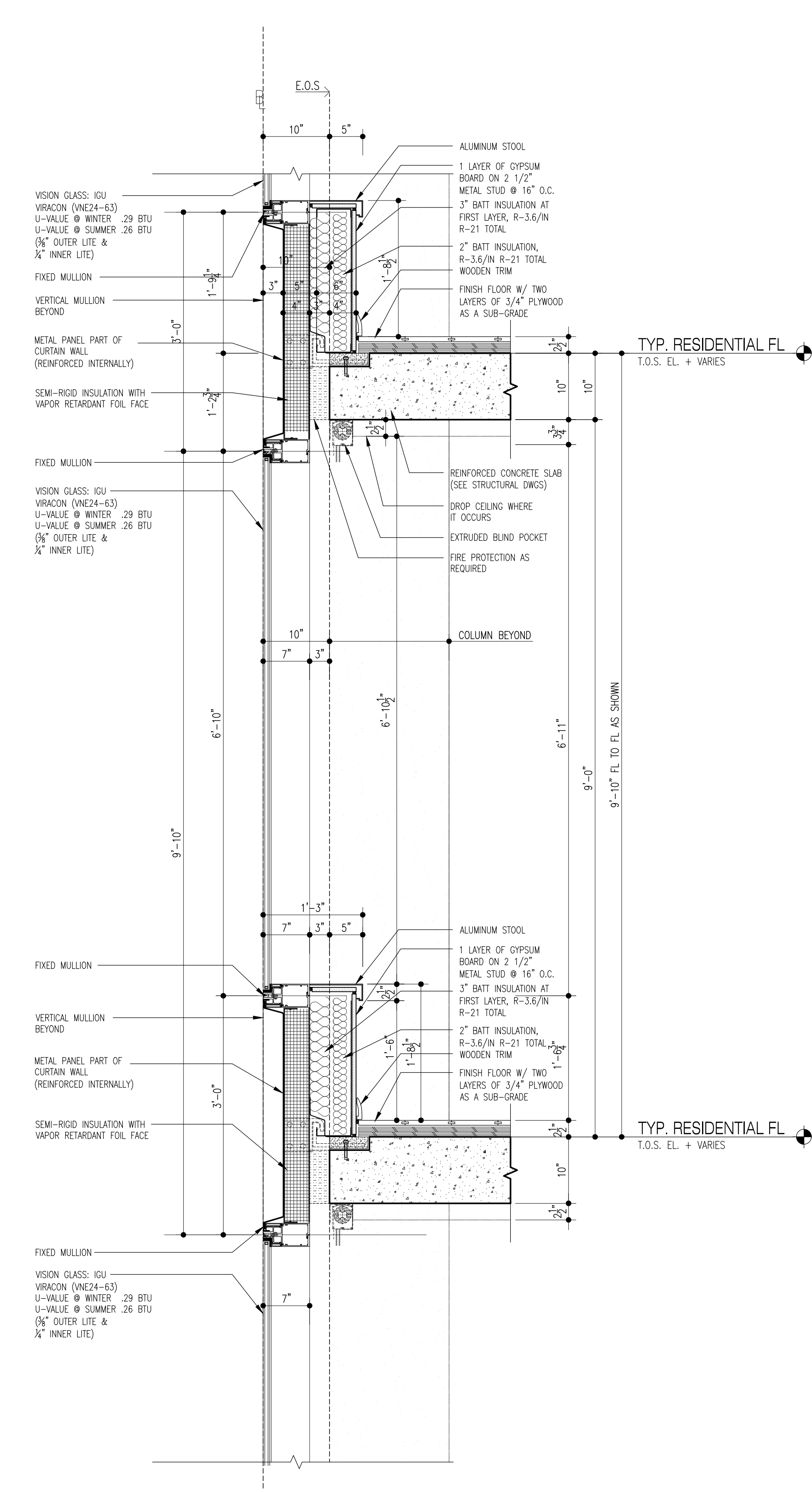
3 TYP. HORIZONTAL DETAIL  
Scale: 1"=1'-0"



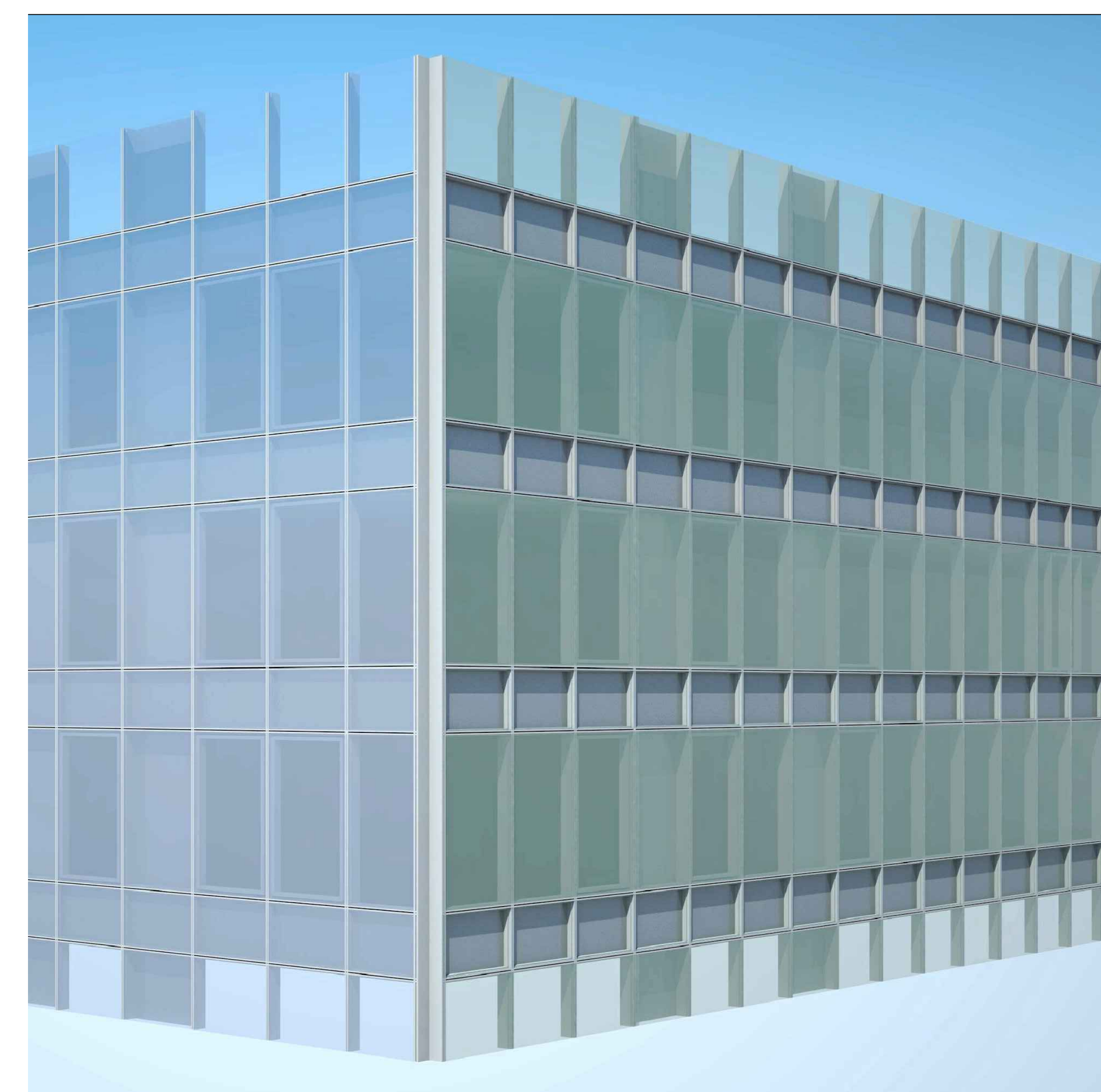
6 TYP. WALL SECTION @ METAL PANEL  
Scale: 1"=1'-0"



2 SHADOW BOX @ SPANDREL (FL 21,22,51,52,67)  
Scale: 1"=1'-0"



5 TYP. WALL SECTION @ METAL PANEL  
Scale: 1"=1'-0"



1 TYP. WALL TYPE AXONOMETRIC  
Scale: NTS

NOTES:

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/15/2017	99% CD SET AND #3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FAÇADE FINISH SET
11/01/2016	100% DISSEMINATION HD SET
10/22/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION HD SET
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

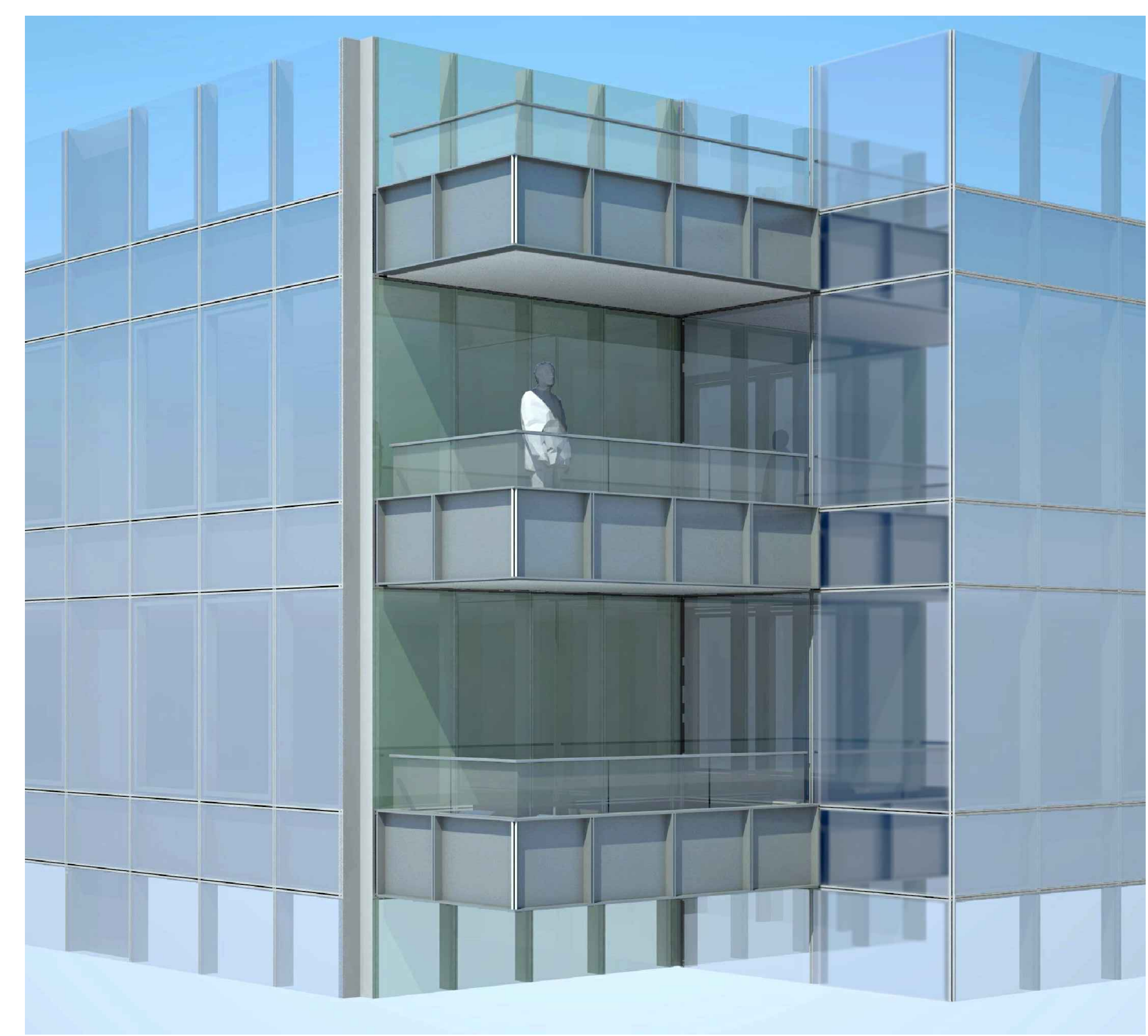
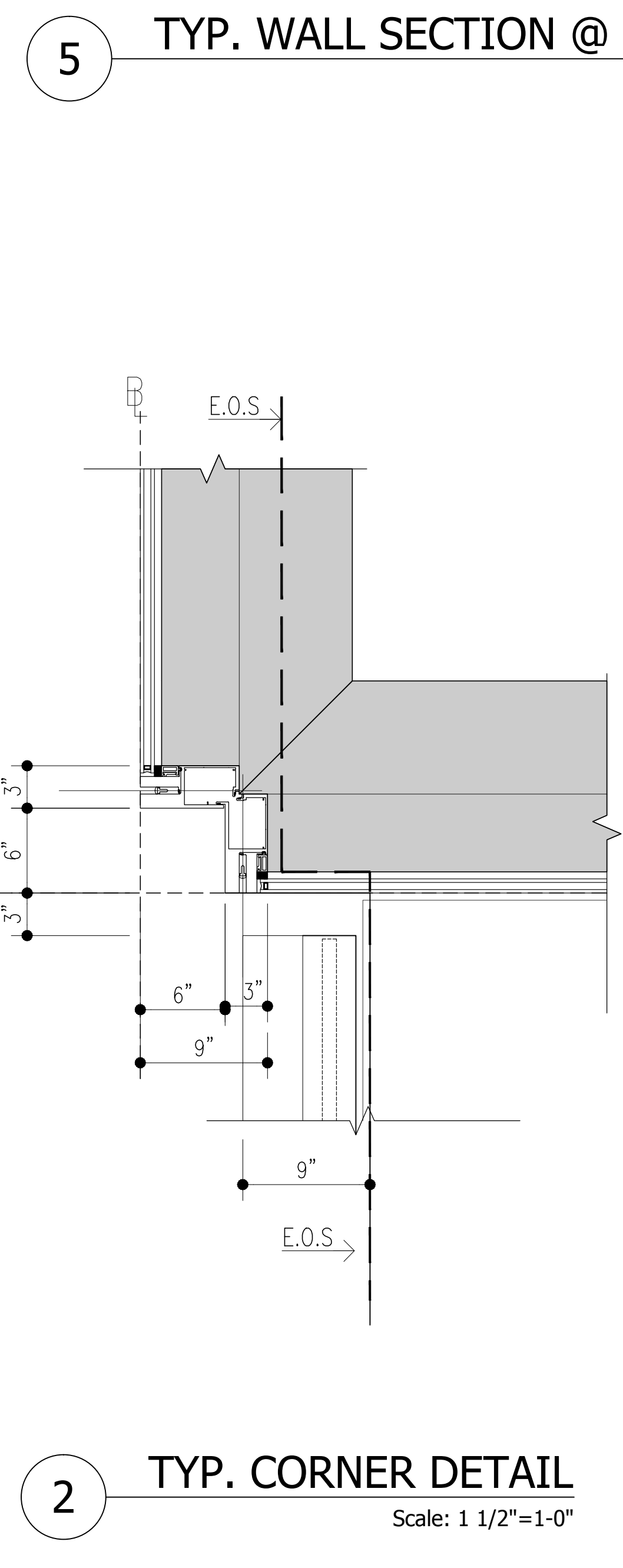
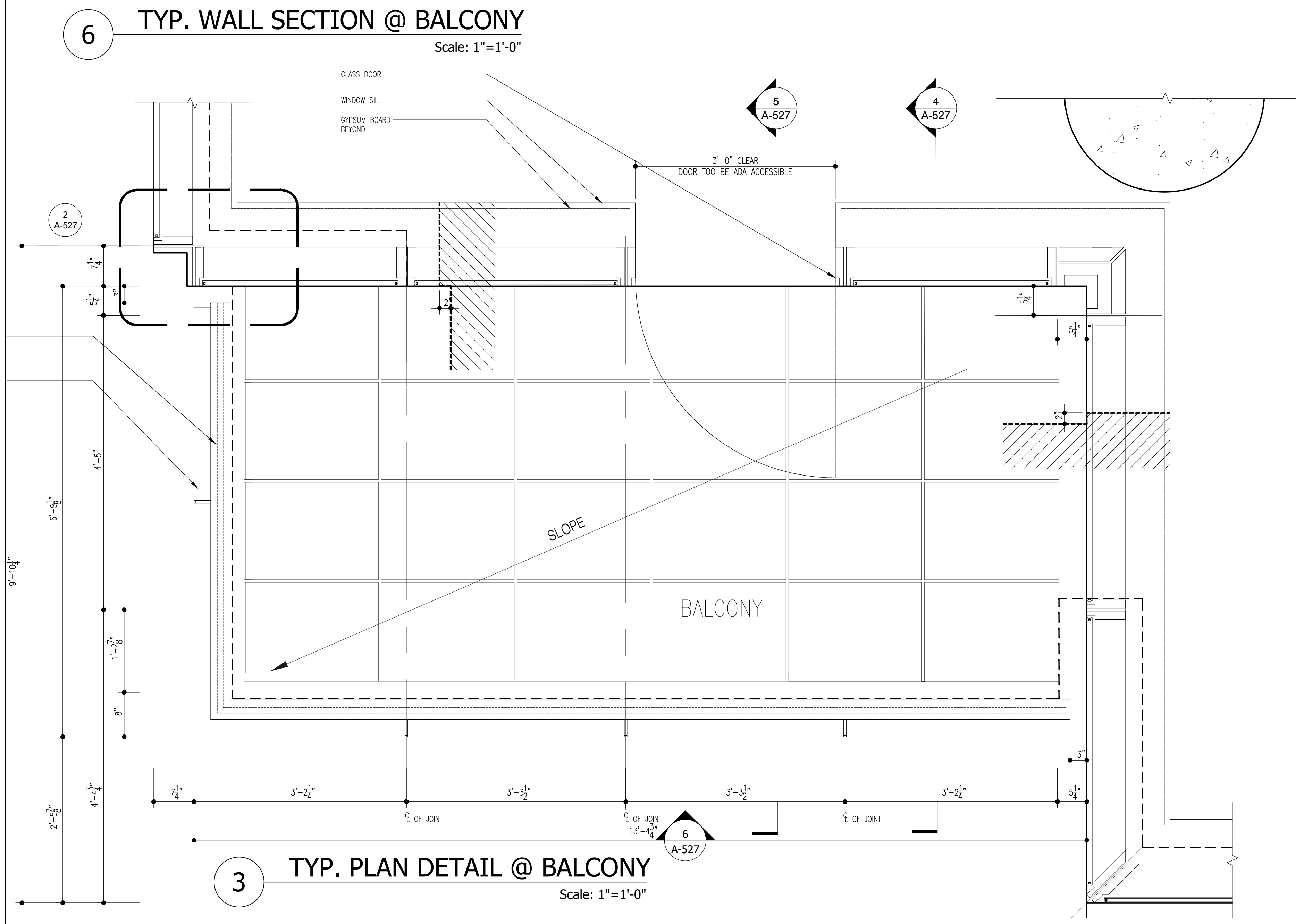
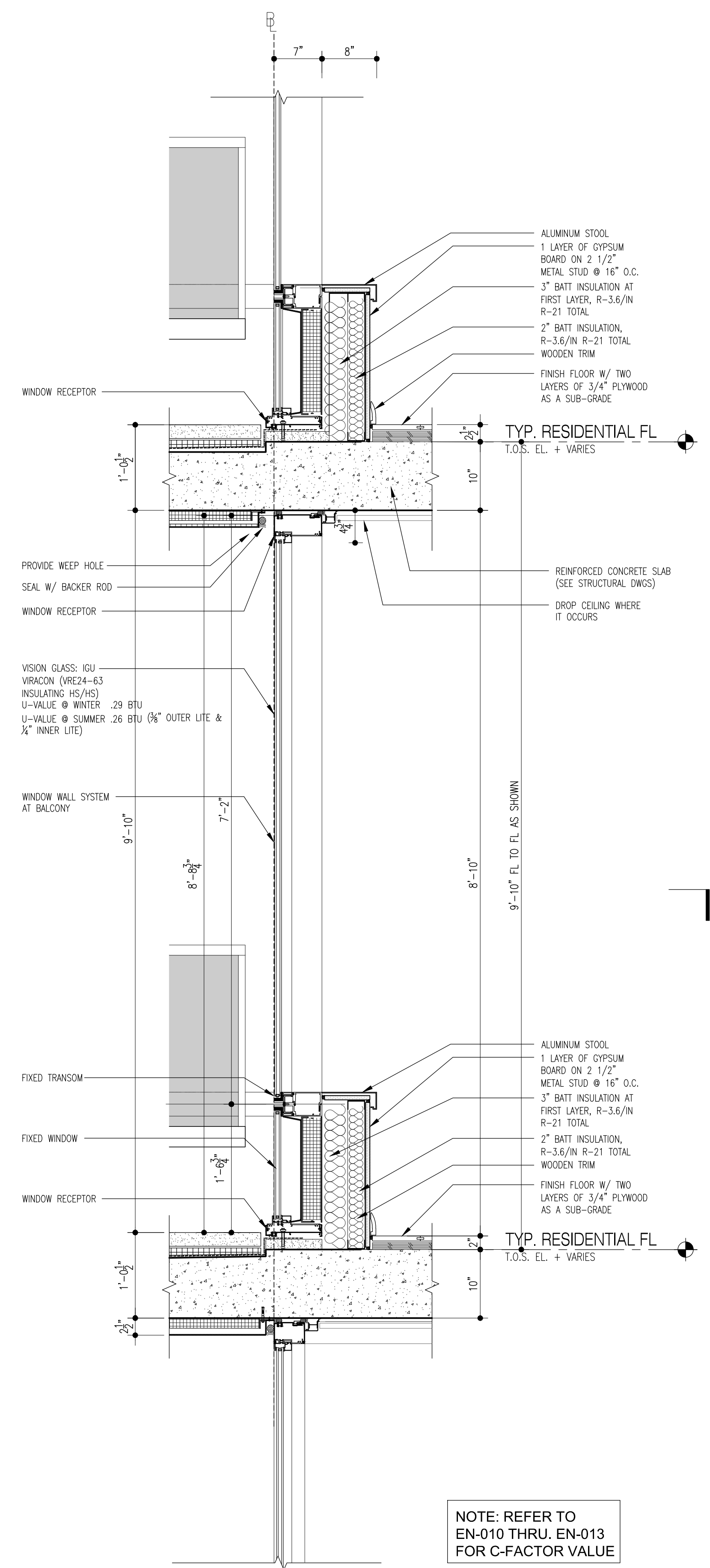
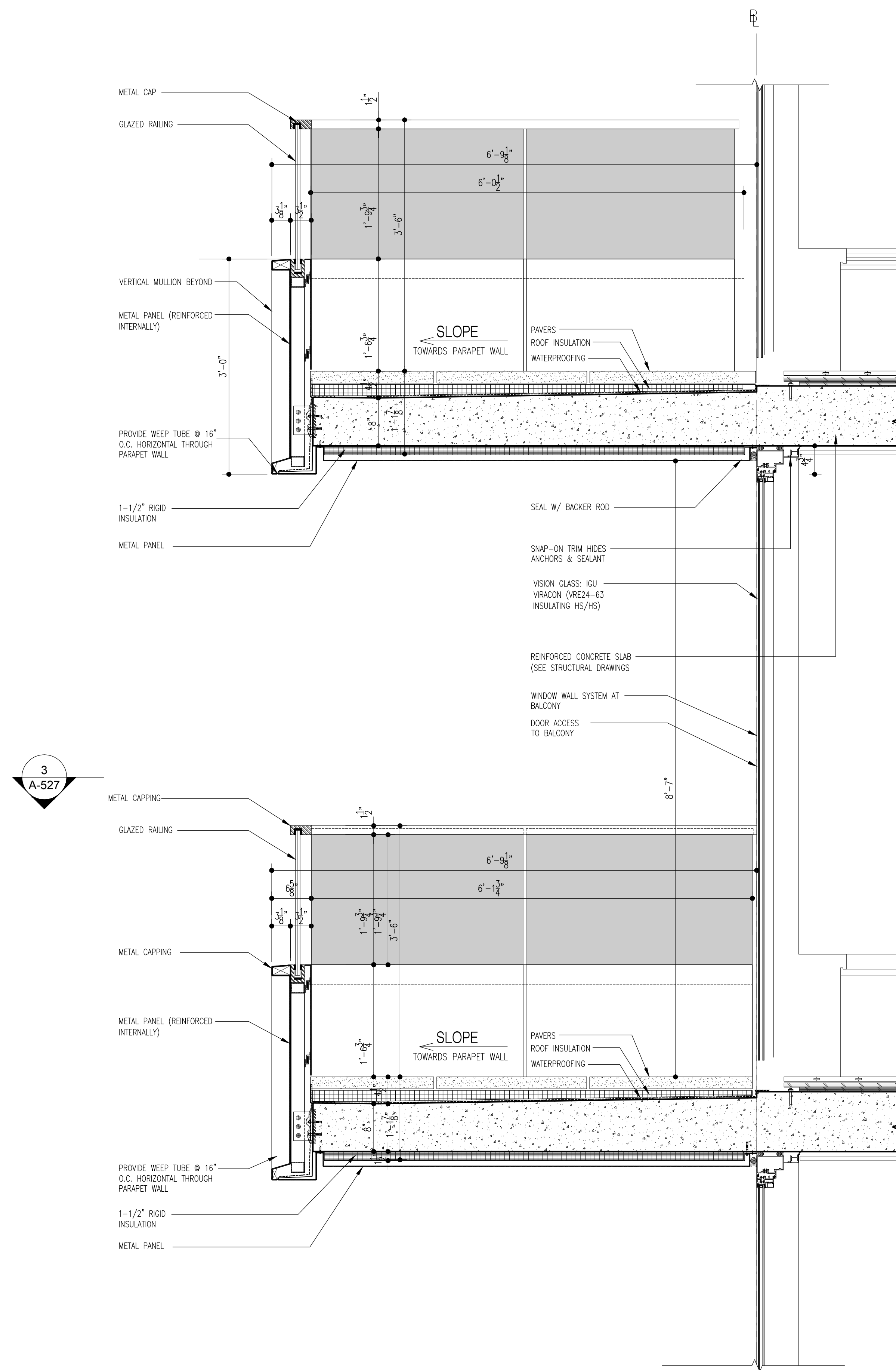
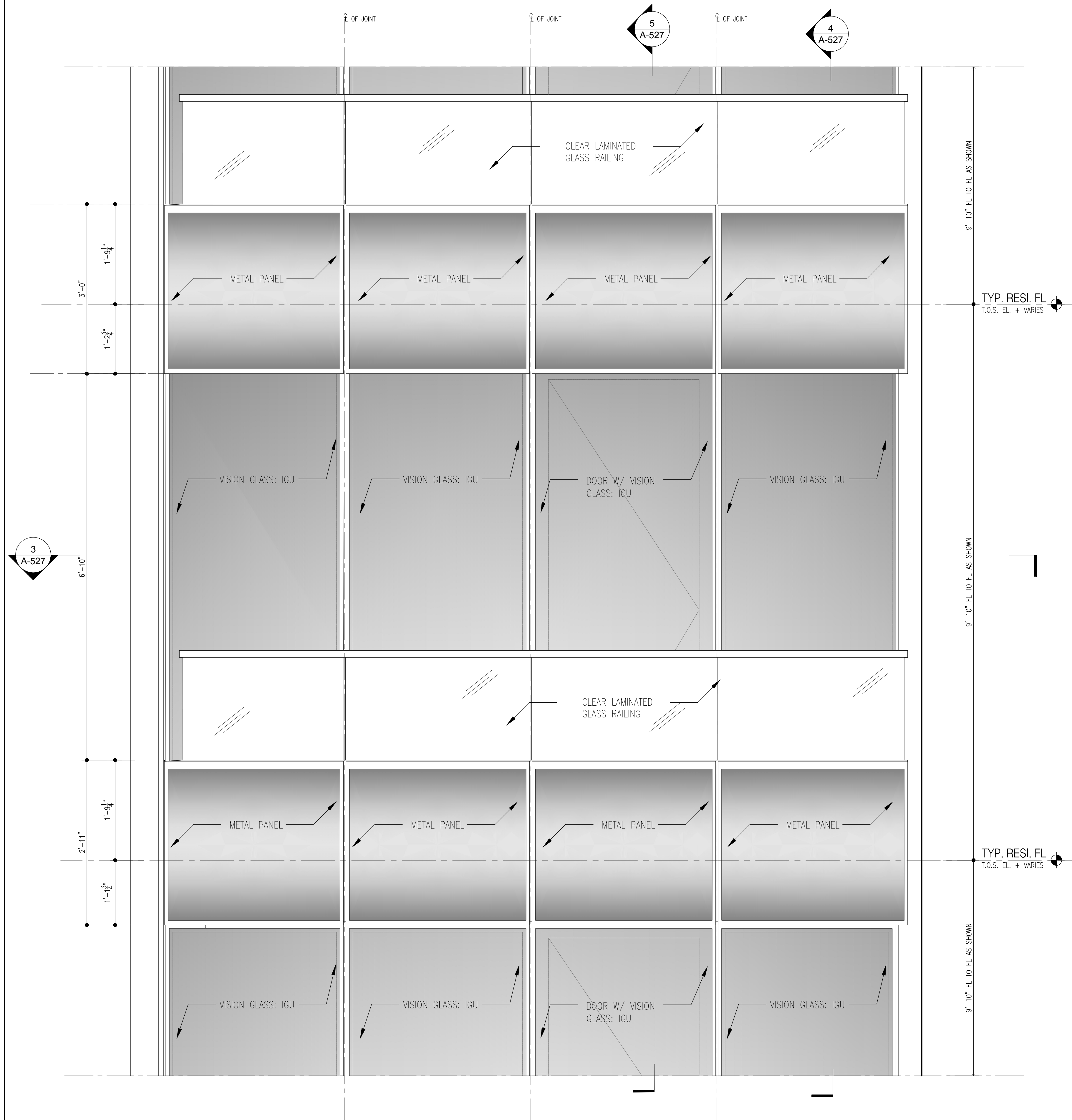
DOB STAMPS & SIGNATURES:

DWG TITLE:

TYP. WALL TYPE B

SEAL & SIGNATURE: REGISTERED ARCHITECT JAMES WEST NEW YORK	DATE: 10/08/2017
PROJECT #: 15412	SCALE: AS NOTED
DWG NO: A-524.00	





NOTES:

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/15/2017	99% CD SET AND #3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FAÇADE PAVING SET
11/01/2016	100% DISSEMINATION HD SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION HD SET
02/05/2016	DOB FILING SET

Number:	Date:	Revision:
---------	-------	-----------

Project:  
**City View Tower at Court Square**  
 23-15 44th Drive  
 Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
 112-15 NORTHERN BLVD, CF-2  
 CORONA, NY 11368  
 (718) 321-8652

Architect:  
**HILL | WEST**  
 ARCHITECTS  
 11 BROADWAY  
 17TH FLOOR  
 NEW YORK, NY 10004  
 T. 212 213 8007

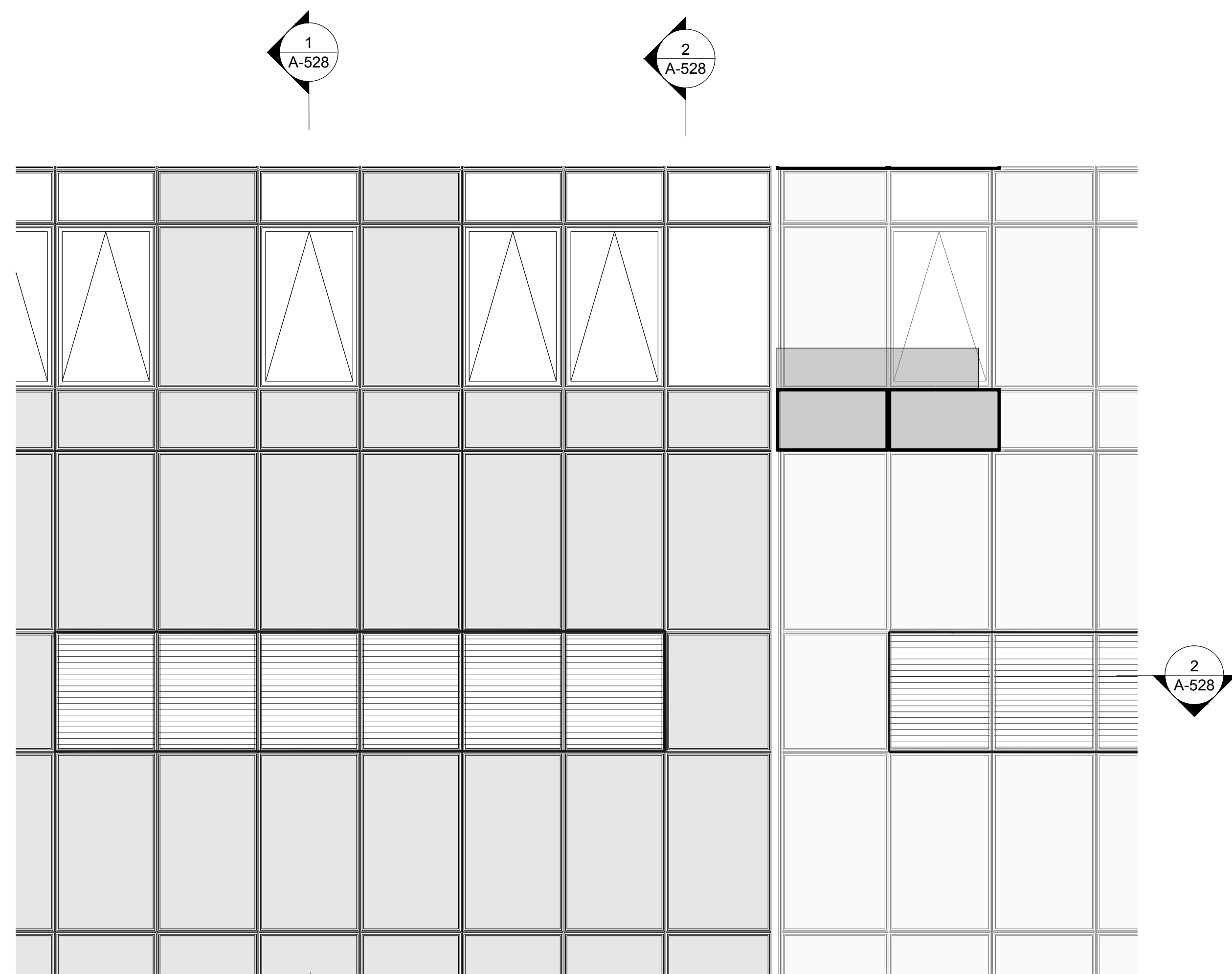
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
 140 Broadway 25th Floor  
 New York, NY, 10005  
 (212) 532-2211  
**Cosentini Associates**  
 Two Pennsylvania Plaza, 3rd FL.  
 New York, NY 10121  
 (212) 615-3600  
**Whitehall**  
 11 Broadway, 17th Floor  
 New York, NY 10004  
 (212) 908-4940

DOB STAMPS & SIGNATURES:

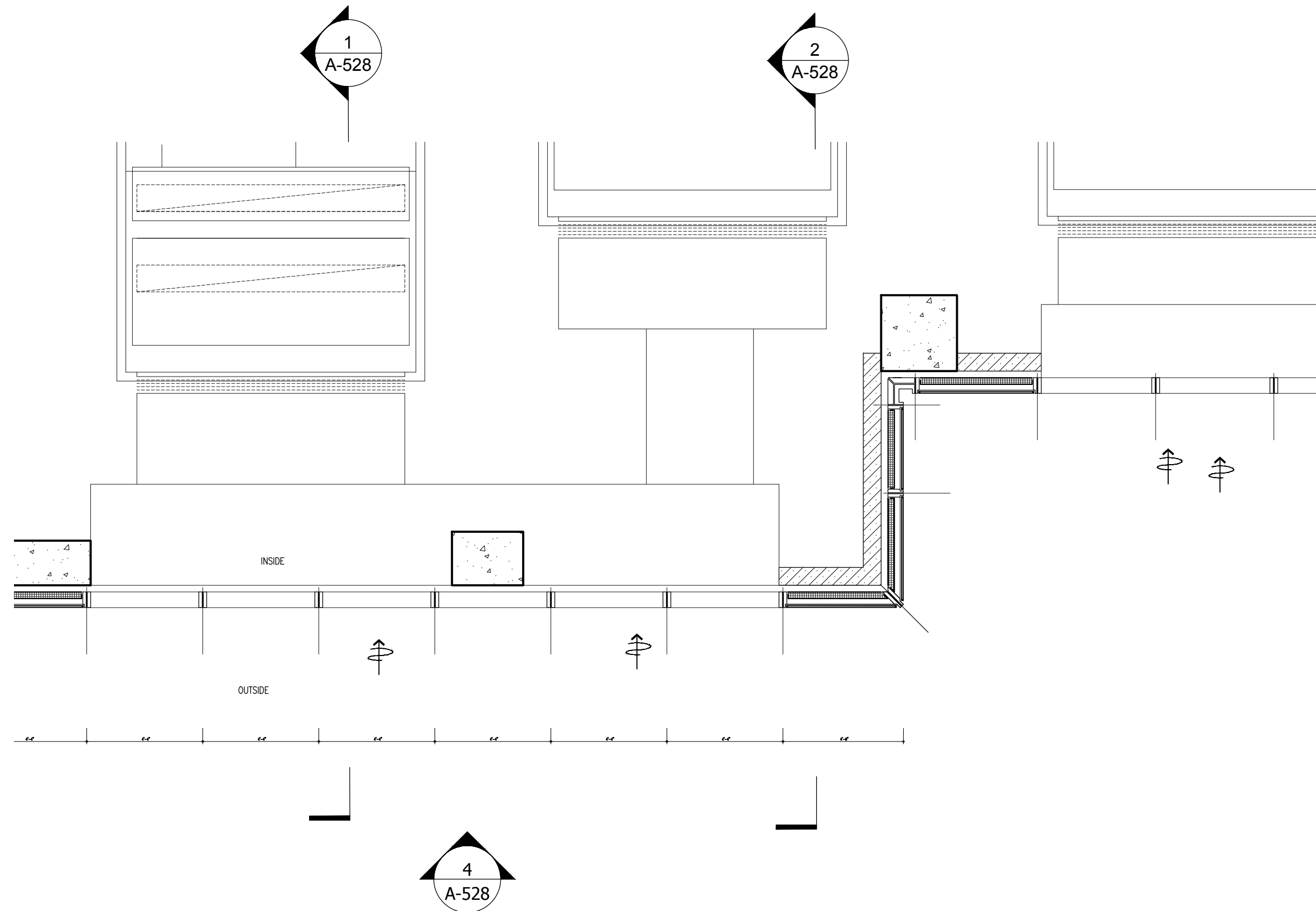
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 TYP. WALL TYPE C

SEAL & SIGNATURE: REGISTERED ARCHITECT STEPHEN HILL NEW YORK	DATE: 10/06/2017
PROJECT #: 15412	SCALE: AS NOTED
DWG NO: A-527.00	085 OF 105

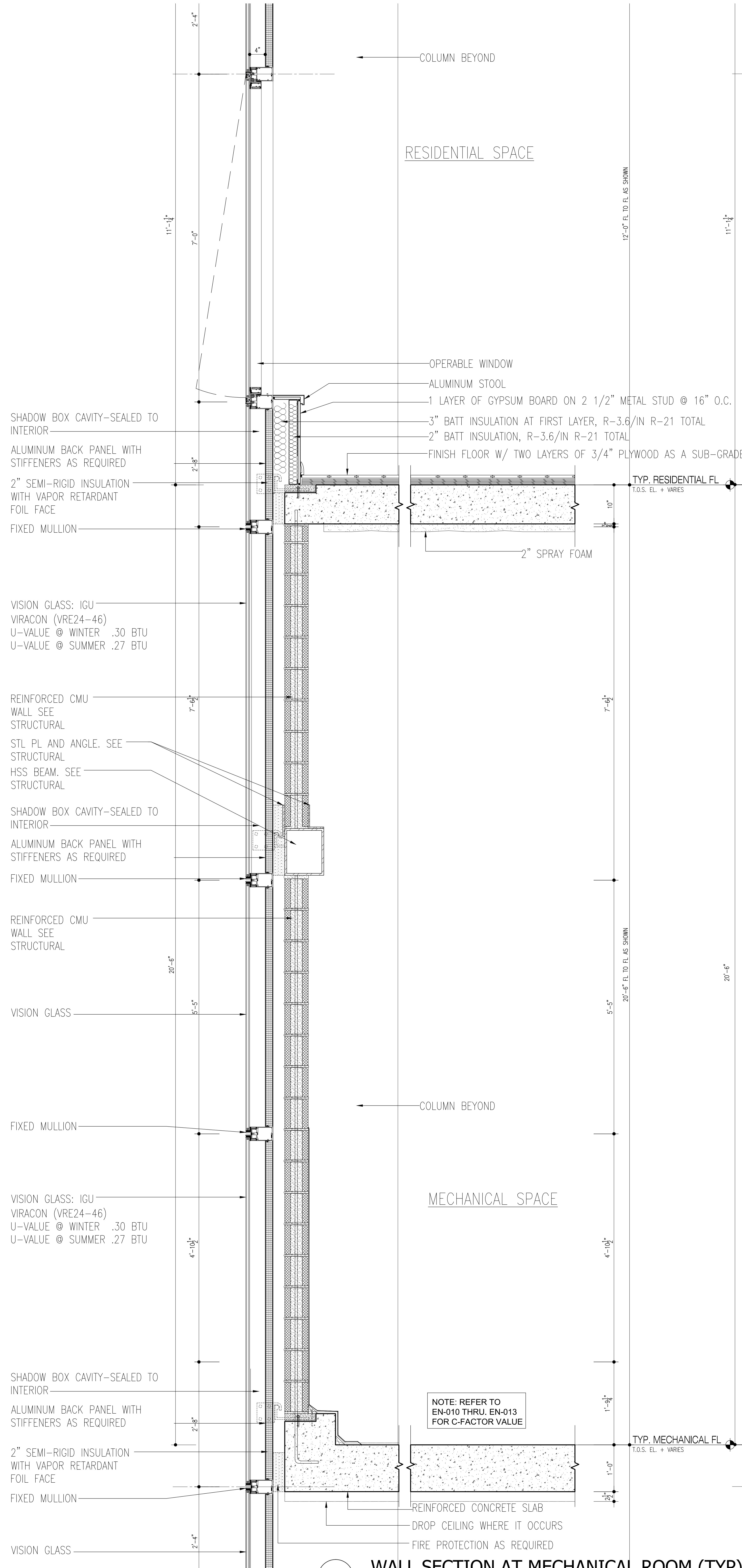




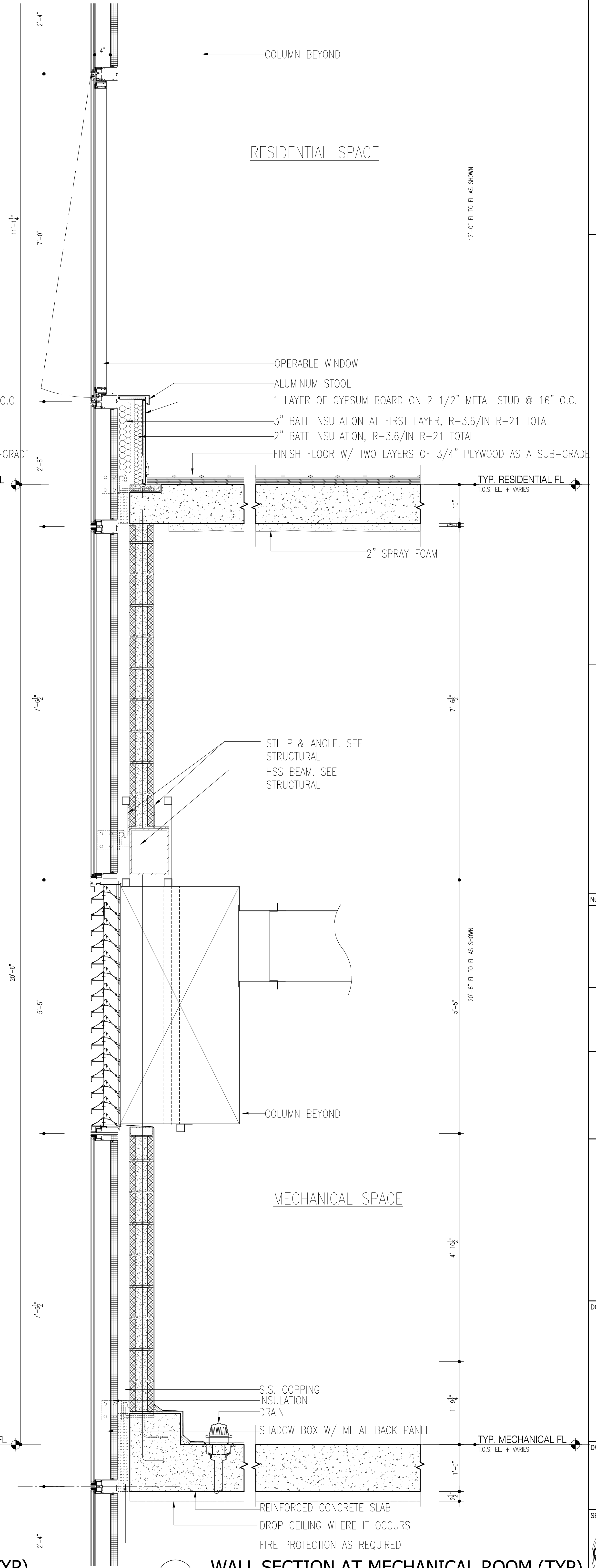
4 TYP. ELEVATION @ MECHANICAL FLOOR TYPICAL  
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3 TYPICAL PLAN @ MECHANICAL FLOOR TYPICAL  
Scale: 1/4"=1'-0"



2 WALL SECTION AT MECHANICAL ROOM (TYP)  
Scale: 1"=1'-0"



1 WALL SECTION AT MECHANICAL ROOM (TYP)  
Scale: 1"=1'-0"

NOTES:

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET AND # 3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FAÇADE PAVING SET
11/01/2016	100% CD FOUNDATION HOS SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION HOS SET
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

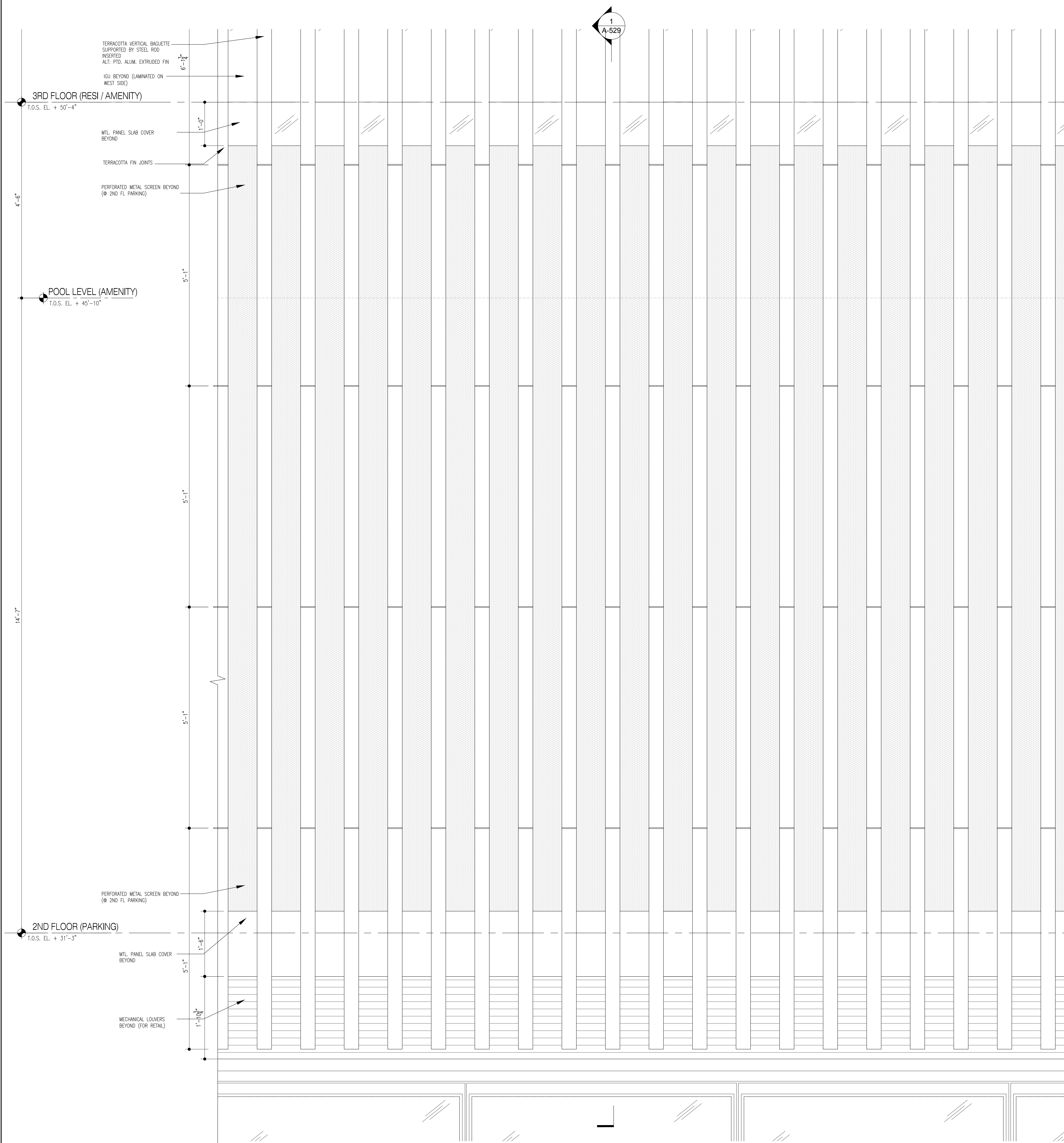
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

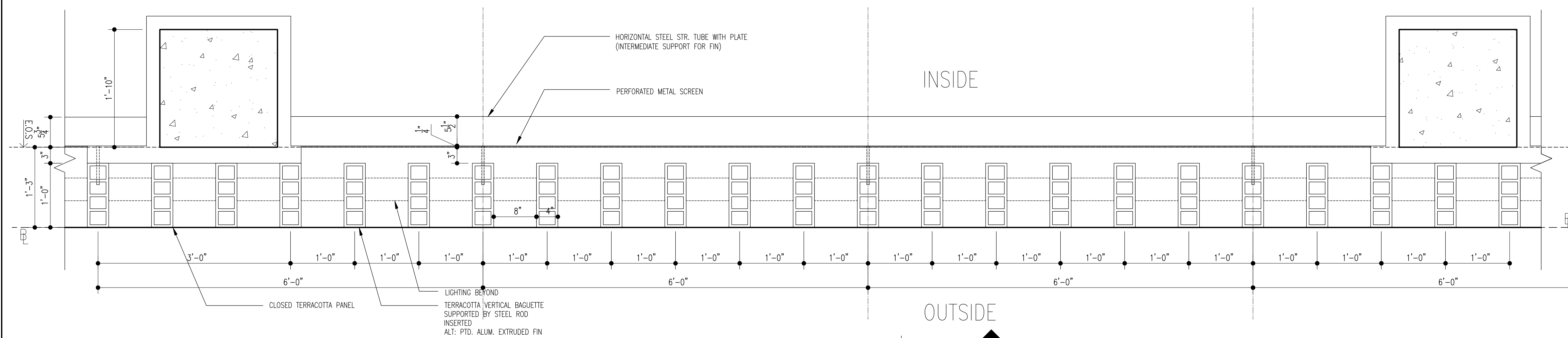
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WALL TYPE D

SEAL & SIGNATURE:  
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PROJECT #  
DATE: 10/06/2017  
PROJECT # 15412  
SCALE: AS NOTED  
A-528.00  
DWG NO.  
086 OF 105

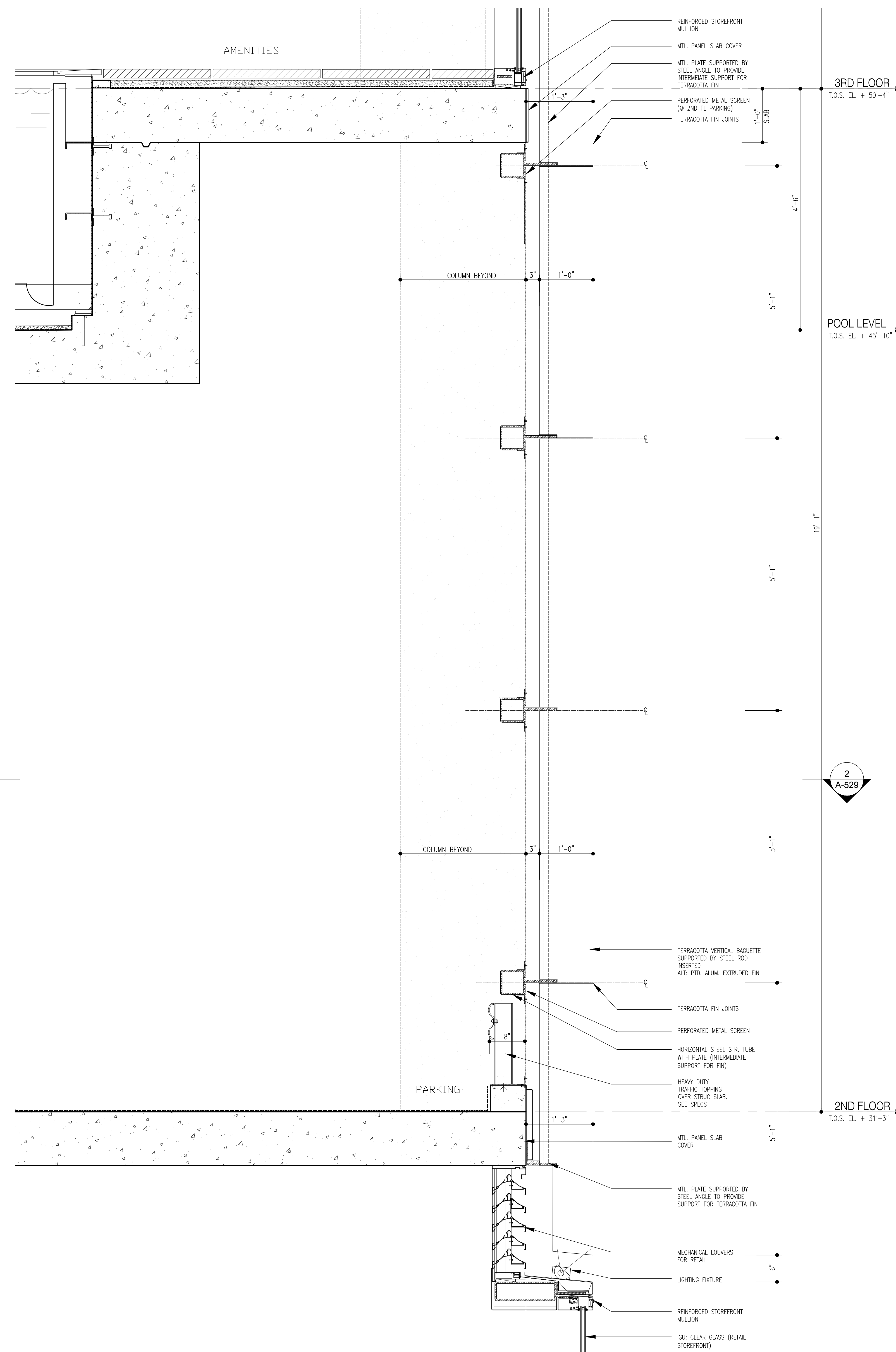




3 PARTIAL WEST BASE ELEVATION  
Scale: 1"=1'-0"



2 PARTIAL 2ND FLOOR PLAN  
Scale: 1"=1'-0"



1 WALL SECTION AT 2ND FLOOR PARKING  
Scale: 1"=1'-0"

NOTES:

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/15/2017	99% CD SET AND # 3
06/02/2017	65% CD SET
03/04/2017	95% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FAÇADE PAVING SET
11/01/2016	100% FUNDAMENTATION HOS SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION HOS SET
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

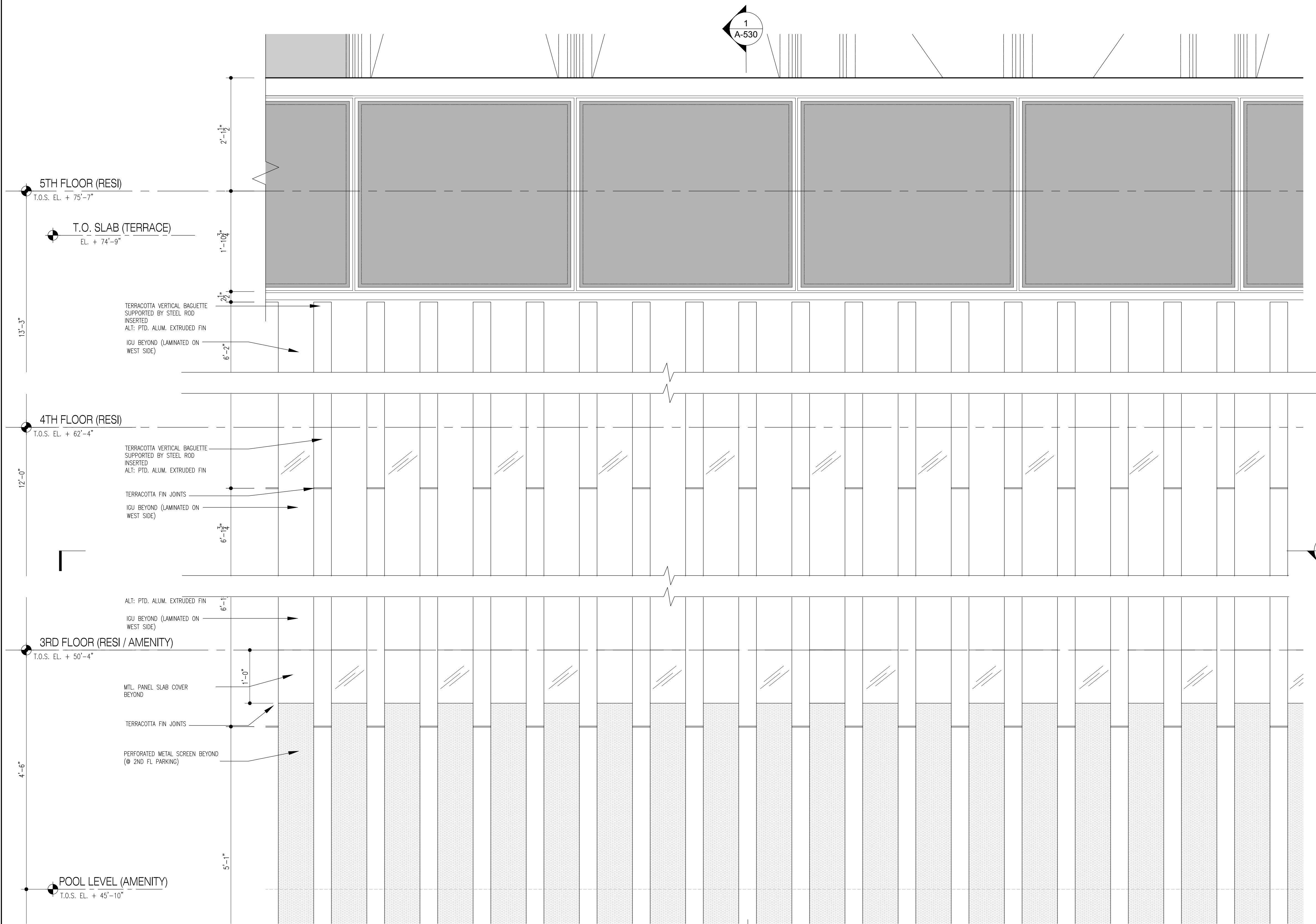
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

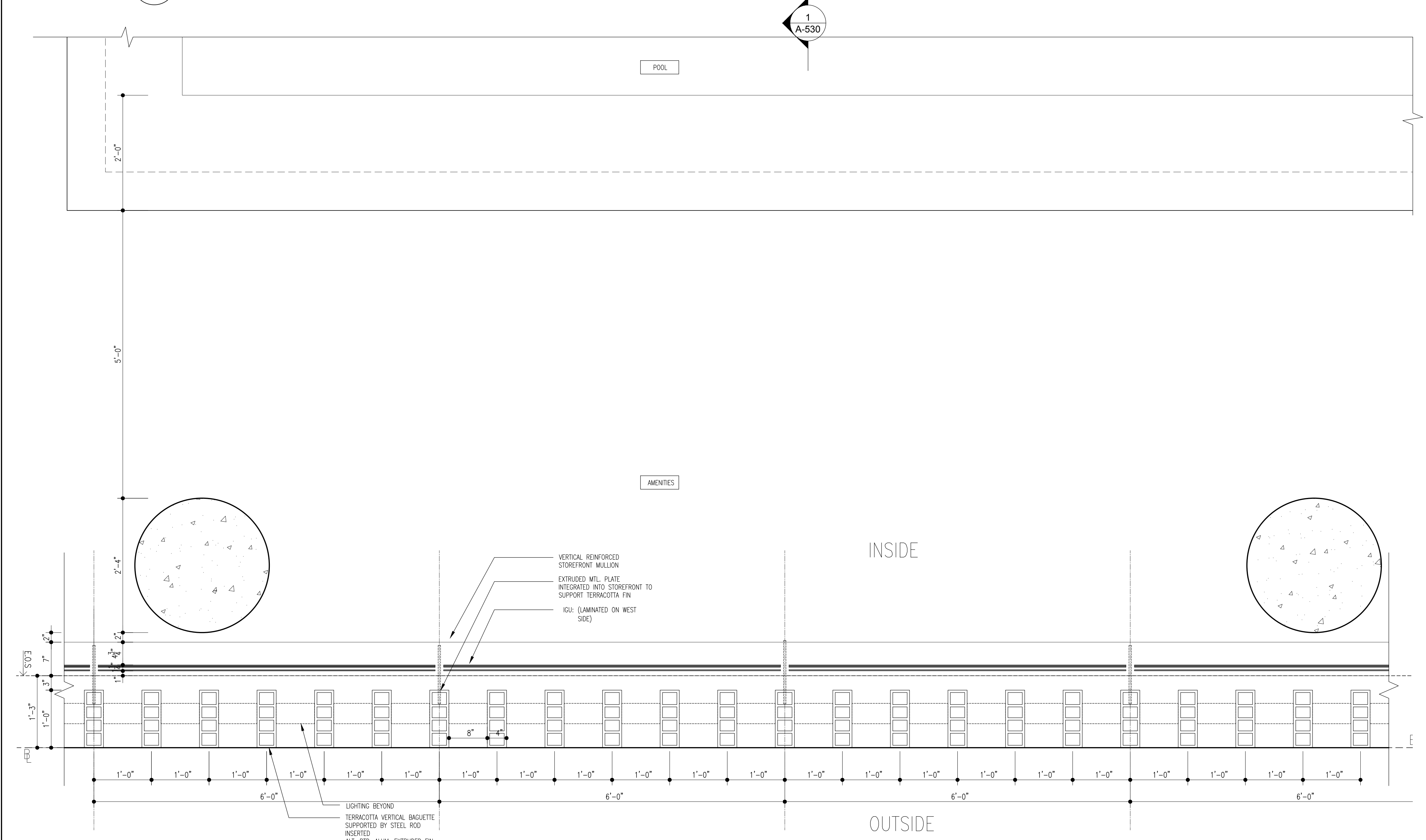
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SEAL & SIGNATURE: PROJECT # 15412  
DATE: 10/06/2017  
SCALE: AS NOTED  
A-529.00  
DWG NO.

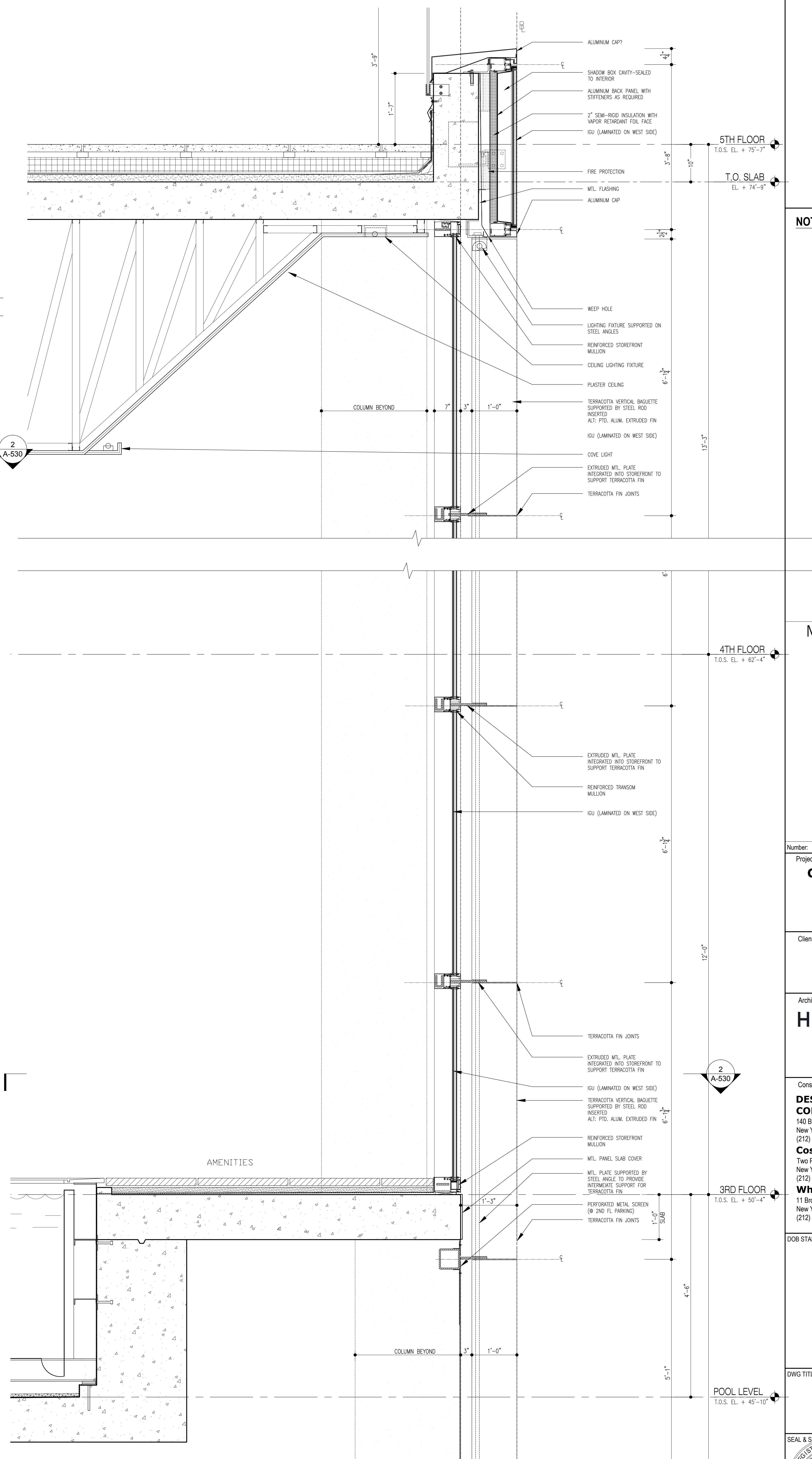




3 PARTIAL WEST BASE ELEVATION  
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2 PARTIAL AMENITY FLOOR PLAN  
Scale: 1"=1'-0"



1 WALL SECTION AT AMENITY FLOOR  
Scale: 1"=1'-0"

NOTES:

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/15/2017	99% CD SET AND # 3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FAÇADE PAVING SET
11/01/2016	100% DISSEMINATION HD SET
10/22/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION HD SET
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212.213.8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:

WALL TYPE F

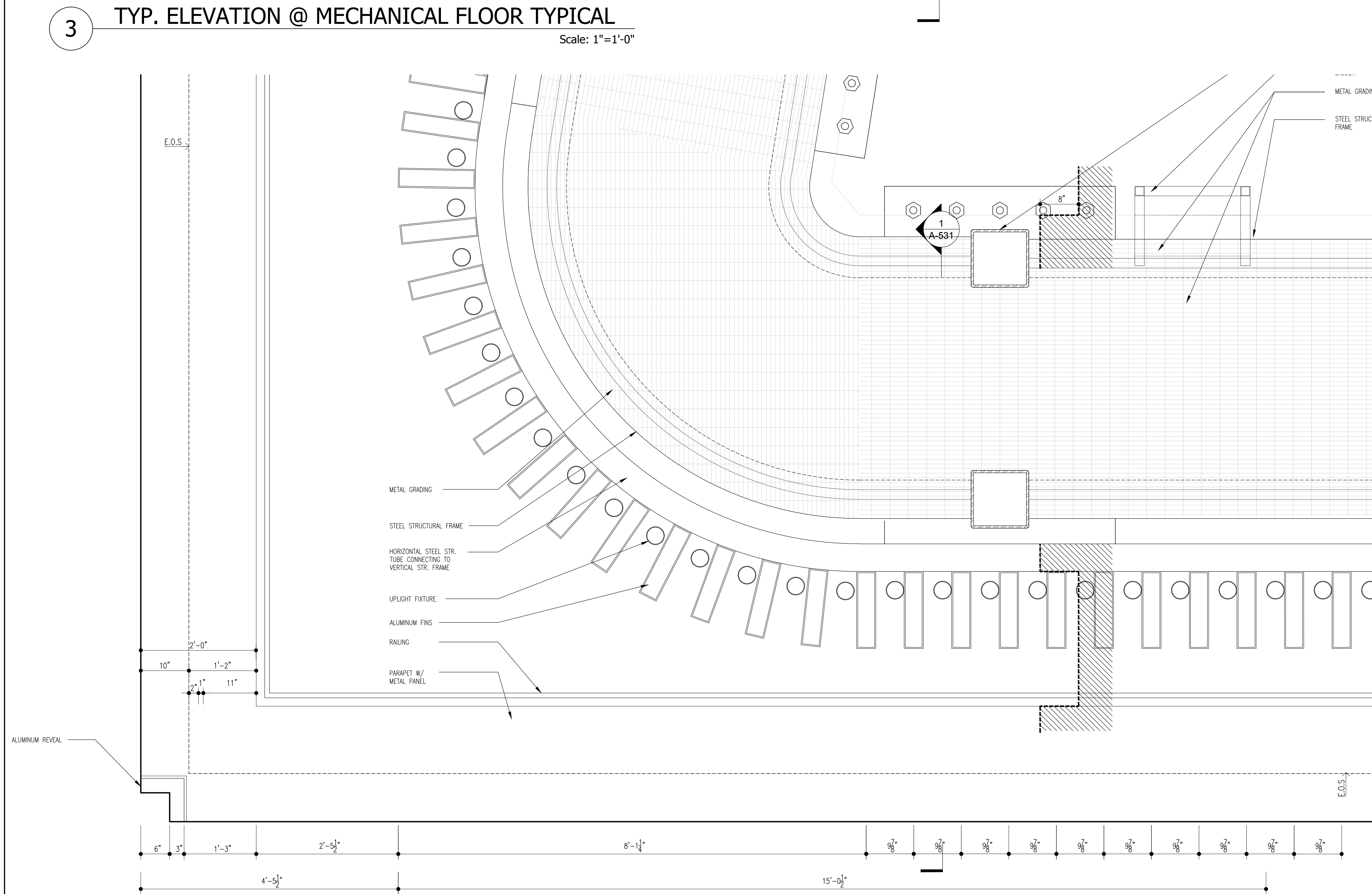
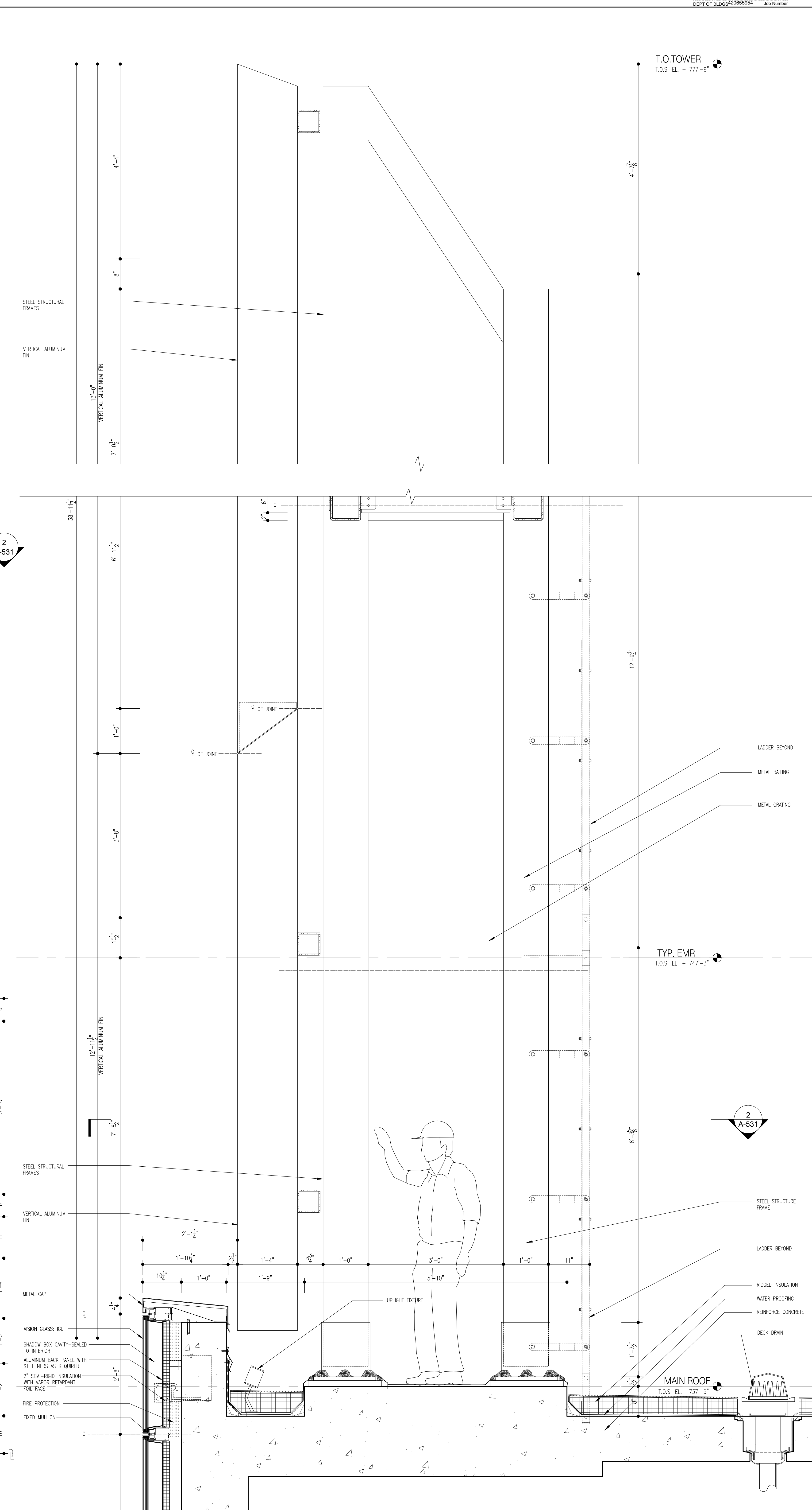
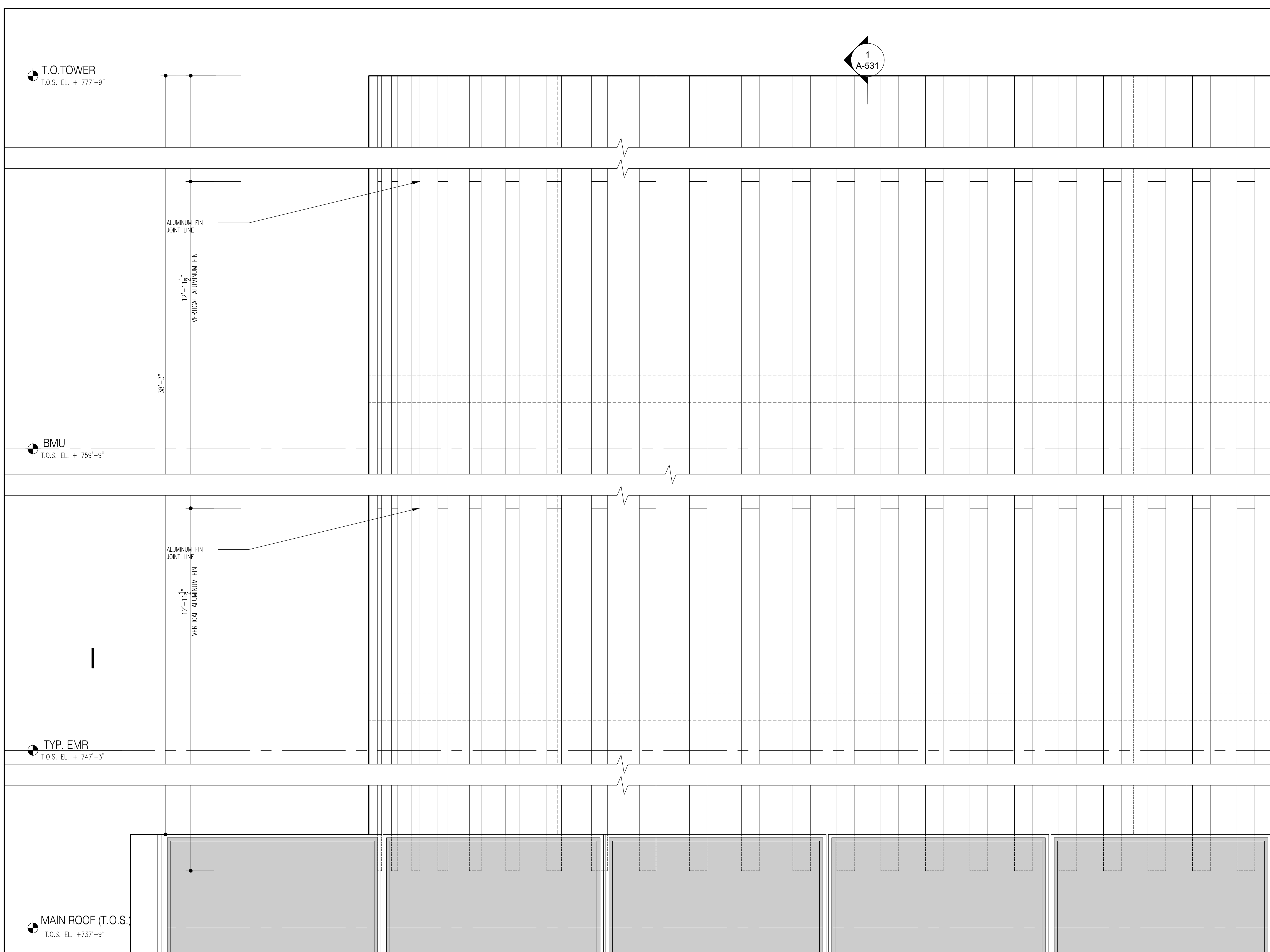
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REGISTERED ARCHITECT  
NEW YORK

DATE: 10/06/2017  
PROJECT # 15412

SCALE: AS NOTED

A-530.00  
DWG NO.





**NOTES:**

**NOT FOR CONSTRUCTION**

10/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET AND #3
06/02/2017	65% CD SET
03/04/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FACE PAVING SET
11/01/2016	100% DISPOSITION HOS SET
10/12/2016	ISSUED FOR DOB
04/08/2016	FOUNDATION HD SET
02/05/2016	DOB FILING SET

Number:	Date:	Revision:
Project: <b>City View Tower at Court Square</b> 23-15 44th Drive Long Island City, NY 11101		
Client: <b>Cityview Tower LLC</b> 112-15 NORTHERN BLVD, CF-2 CORONA, NY 11368 (718) 321-8652		
Architect: <b>HILL   WEST</b> ARCHITECTS 11 BROADWAY 17TH FLOOR NEW YORK, NY 10004 T. 212 213 8007		
Consultant: <b>DESIMONE CONSULTING ENGINEERS</b> 140 Broadway 25th Floor New York, NY, 10005 (212) 532-2211 <b>Cosentini Associates</b> Two Pennsylvania Plaza, 3rd FL, New York, NY 10121 (212) 615-3600 <b>Whitehall</b> 11 Broadway, 17th Floor New York, NY 10004 (212) 908-4940		
DOB STAMPS & SIGNATURES:		
DWG TITLE: WALL TYPE G		
SEAL & SIGNATURE: REGISTERED ARCHITECT PROJECT #	DATE: 10/06/2017	SCALE: AS NOTED
PROJECT # A-531.00		DWG NO. 089 OF 105

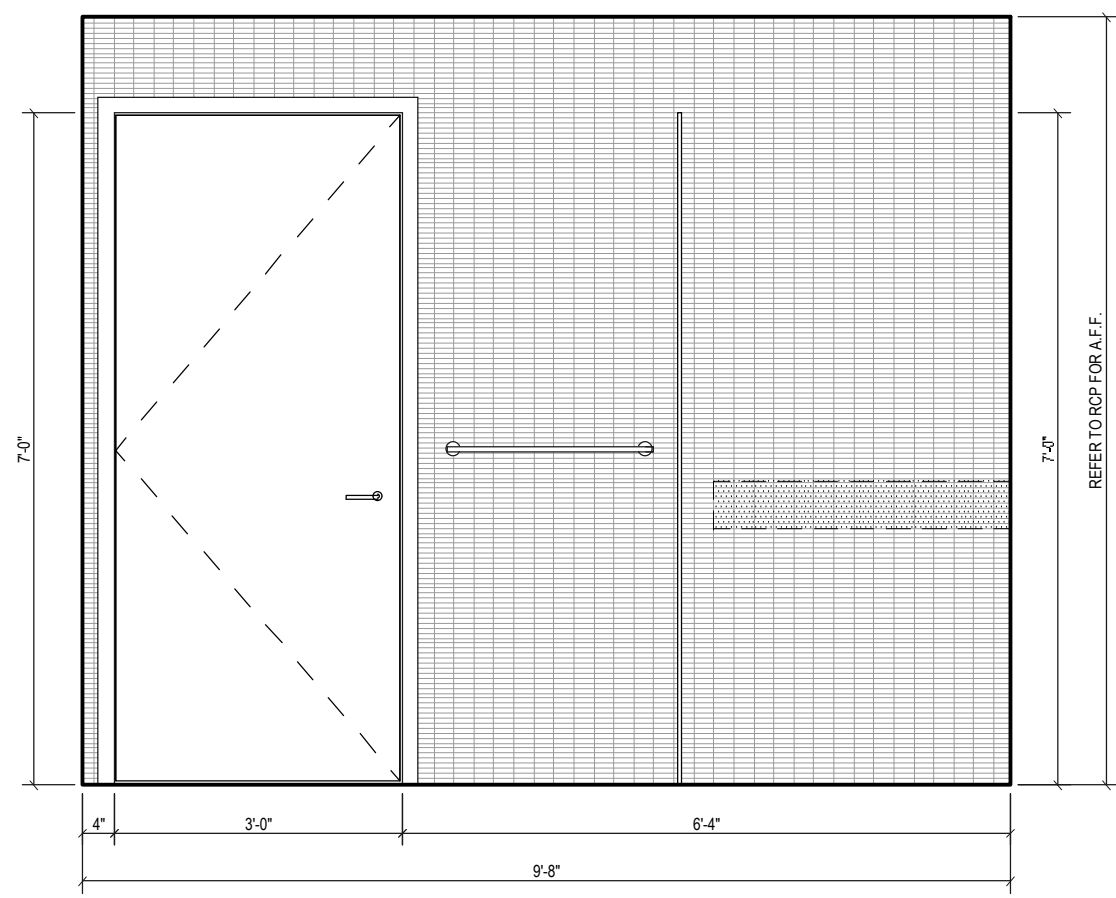




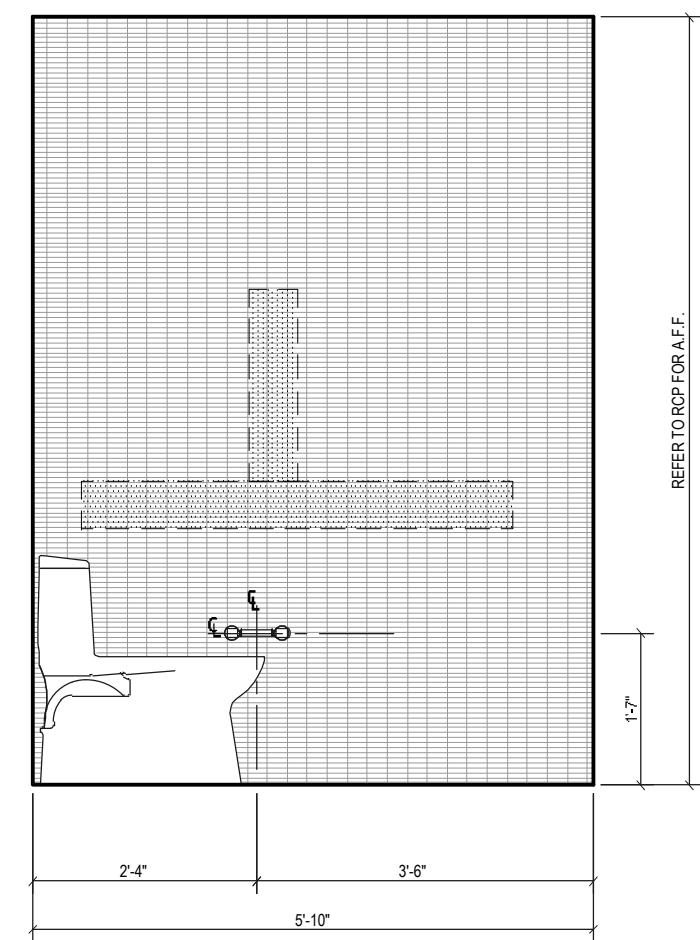




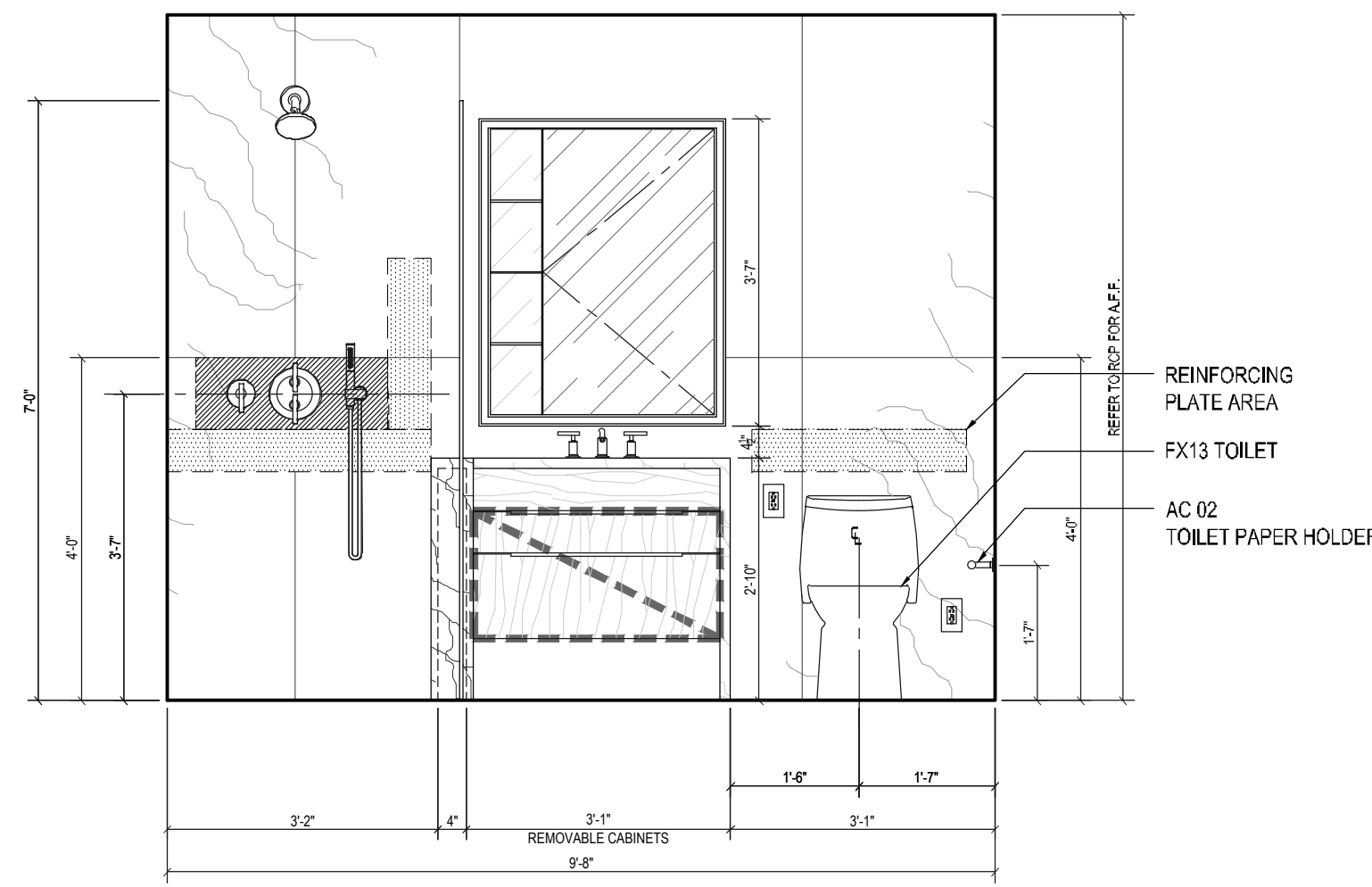




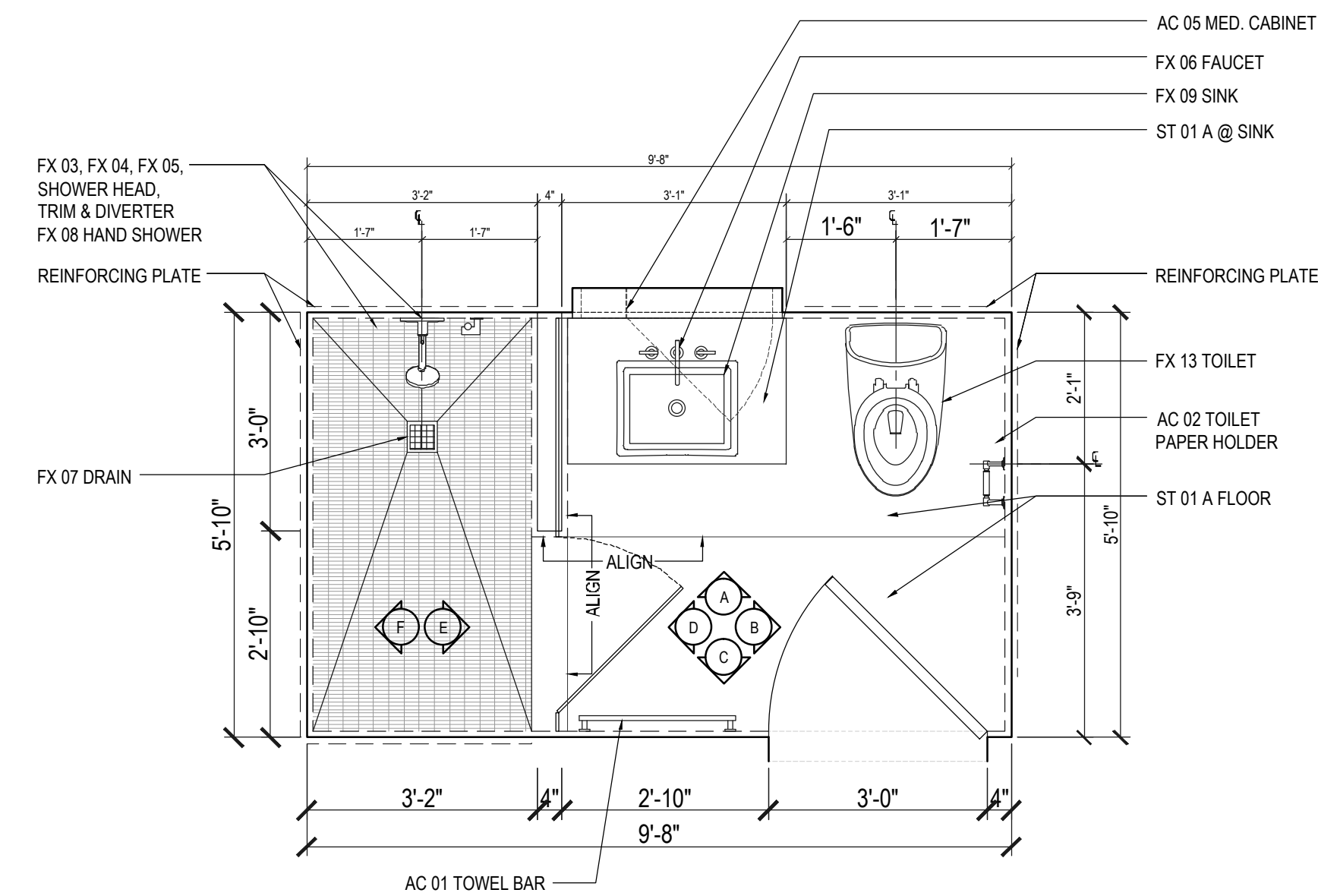
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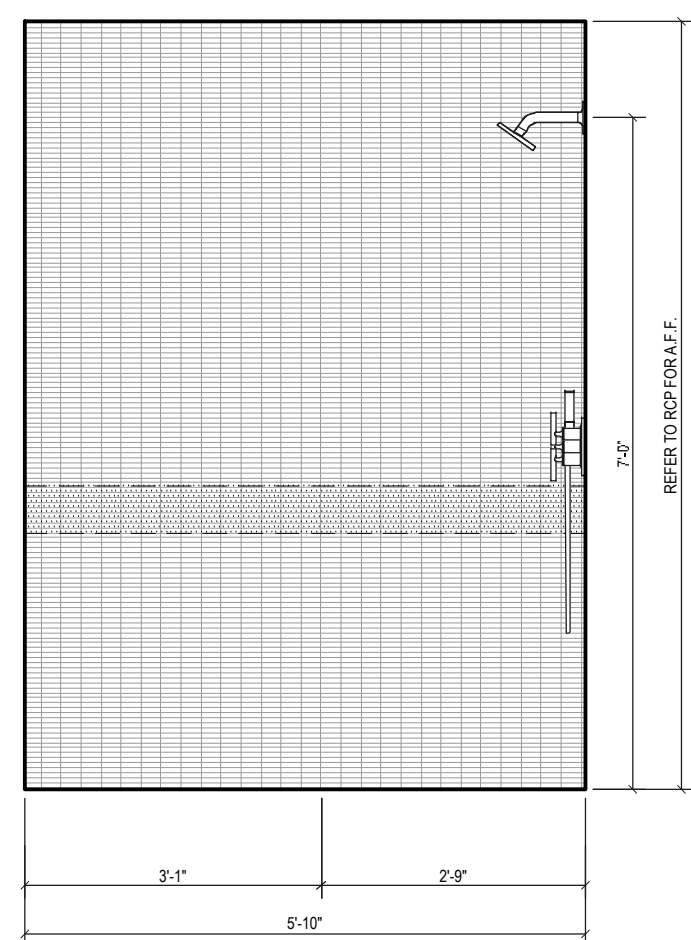
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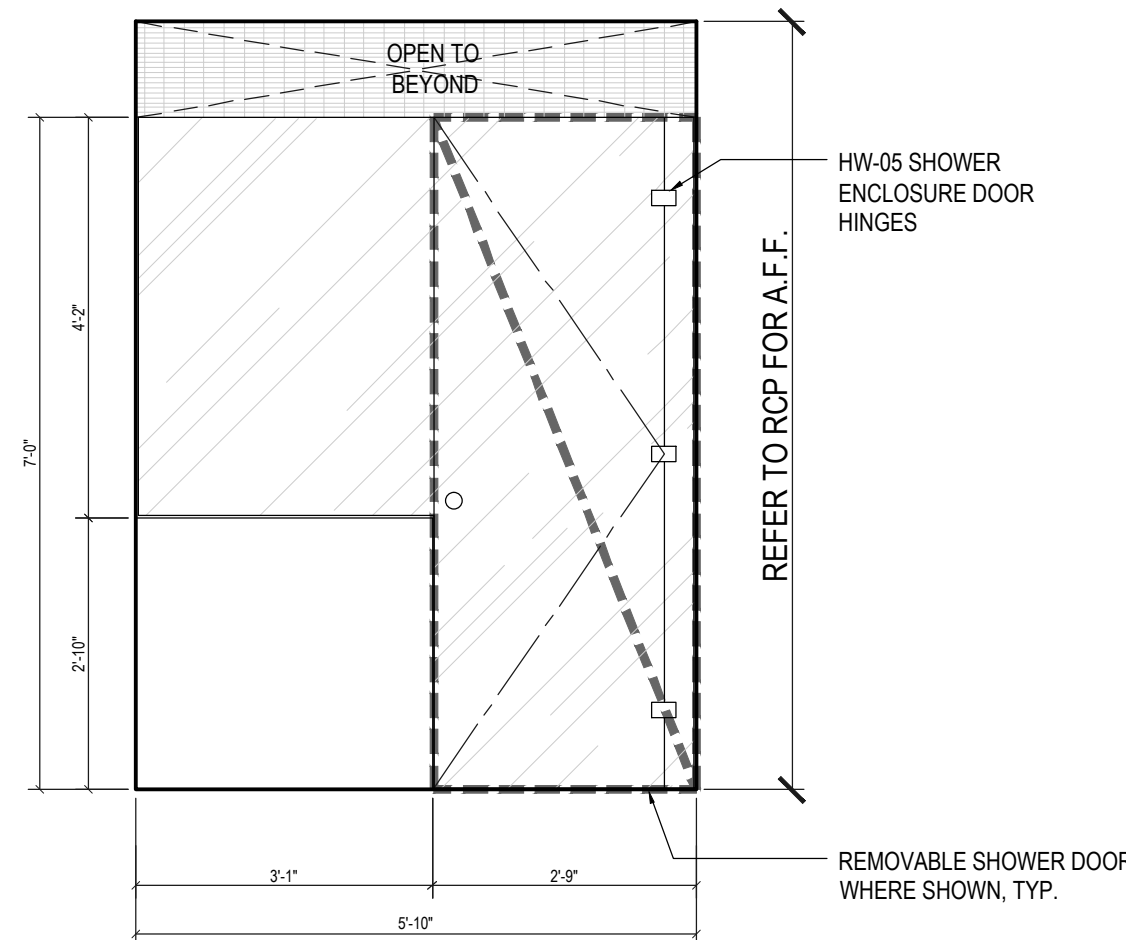
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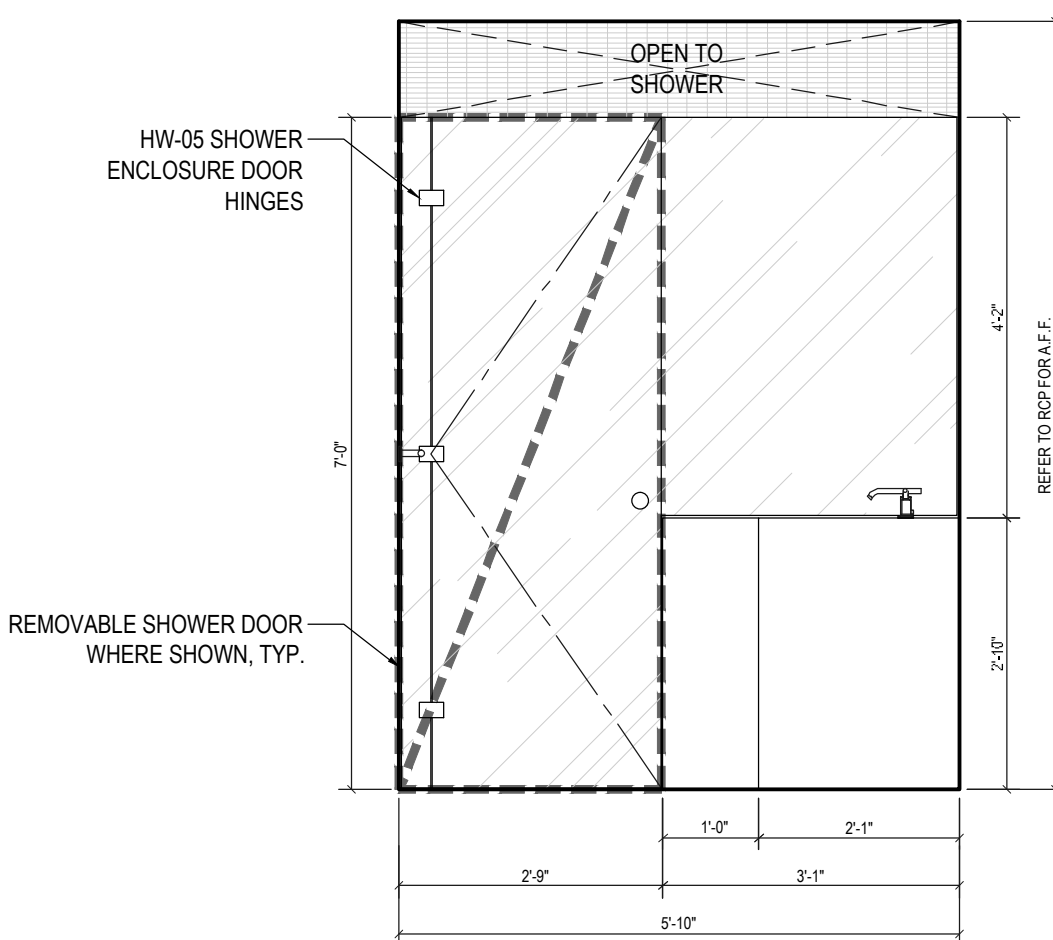
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ELEVATION A  
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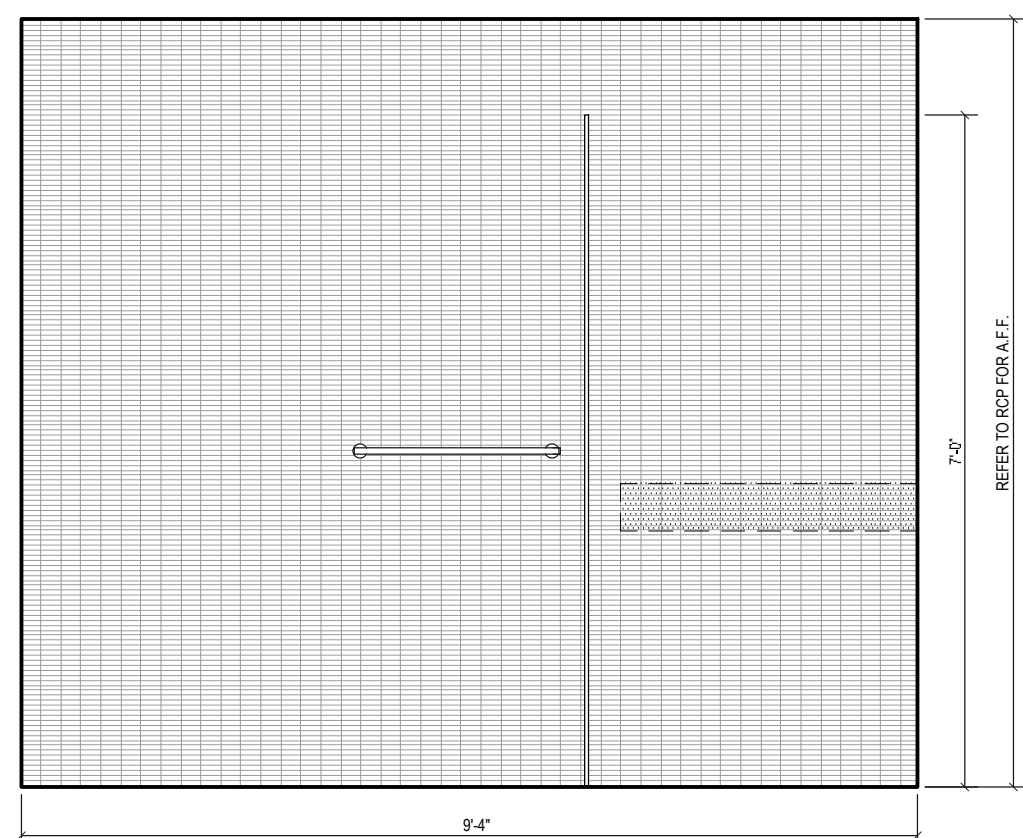


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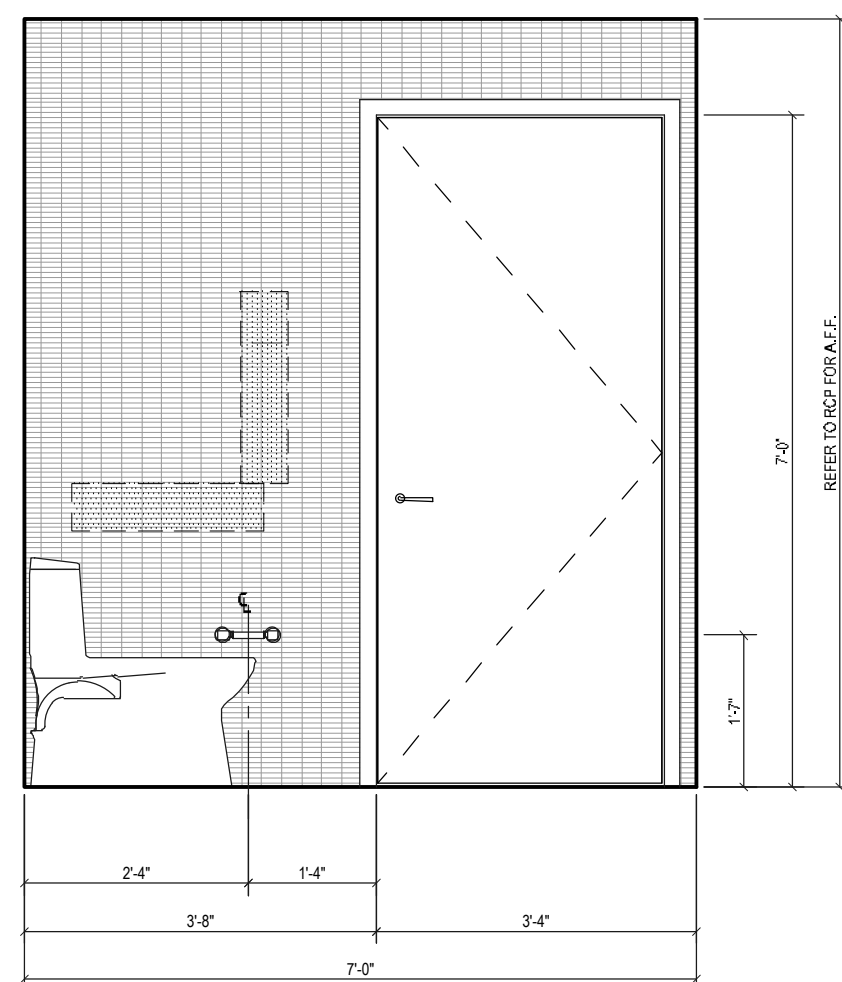


ELEVATION A  
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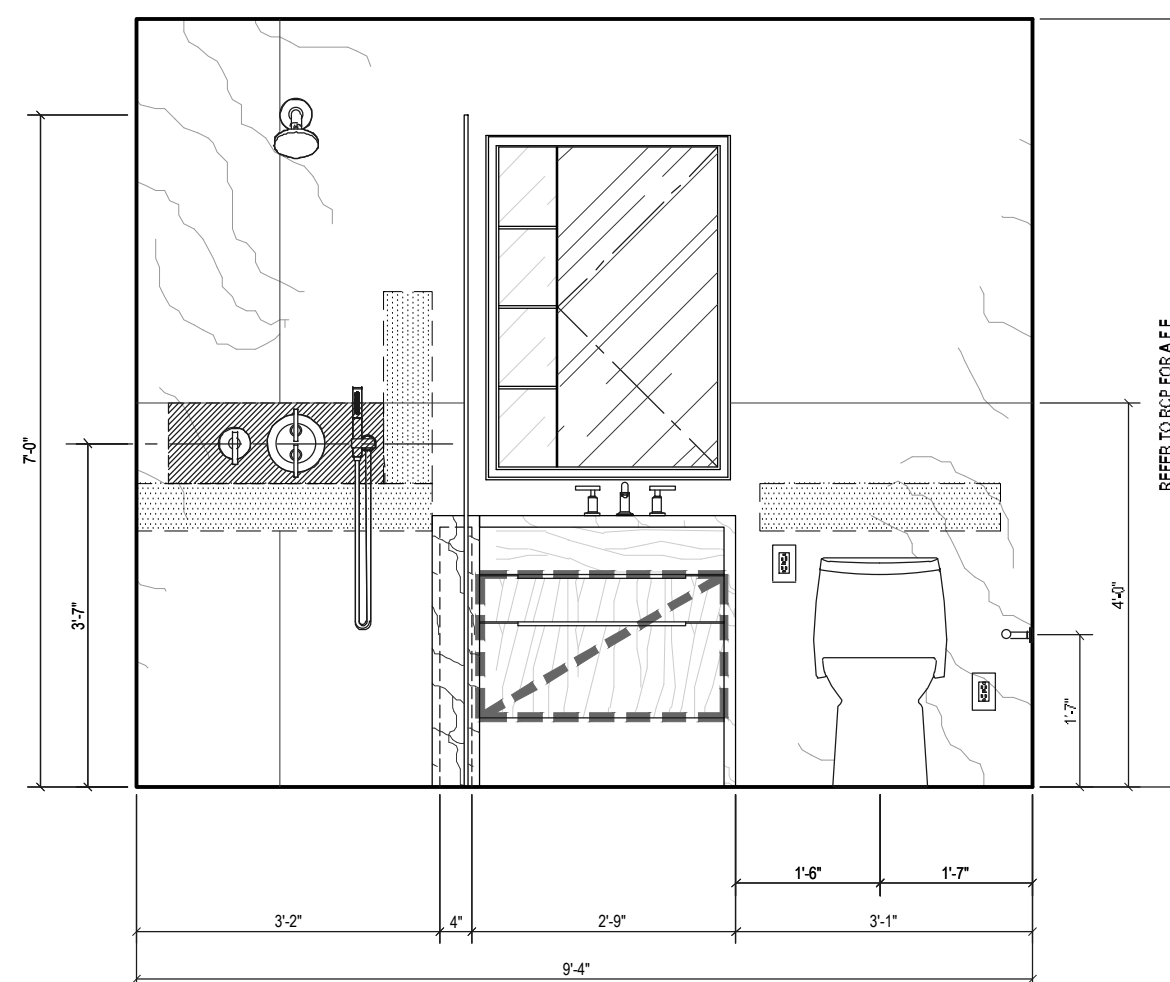
APPENDIX P BATHROOM			DIMENSIONS ARE TO FINISH GYPSUM BOARD, TYP.
FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
3RD	03, 08, 18	ID TYPE-MA (SEE ID DRAWINGS)	A-103
4TH	03, 08, 18	ID TYPE-MA (SEE ID DRAWINGS)	A-104
5TH	05, 06, 08, 11, 29, 32	ID TYPE-MA (SEE ID DRAWINGS)	A-105
6TH	05, 06, 08, 11, 29, 32	ID TYPE-MA (SEE ID DRAWINGS)	A-106
7TH	02	ID TYPE-MA (SEE ID DRAWINGS)	A-107
8TH-19TH	02, 03	ID TYPE-MA (SEE ID DRAWINGS)	A-108
20TH-35TH	02, 03	ID TYPE-MA (SEE ID DRAWINGS)	A-109
37TH	02, 10, 11	ID TYPE-MA (SEE ID DRAWINGS)	A-111
38TH-50TH	01, 02, 10, 11	ID TYPE-MA (SEE ID DRAWINGS)	A-112
51ST-61ST	01, 02, 10, 11	ID TYPE-MA (SEE ID DRAWINGS)	A-113
62ND	01, 02, 09, 10	ID TYPE-MA (SEE ID DRAWINGS)	A-114
63RD-66TH	01, 02, 05, 07, 08	ID TYPE-MA (SEE ID DRAWINGS)	A-115



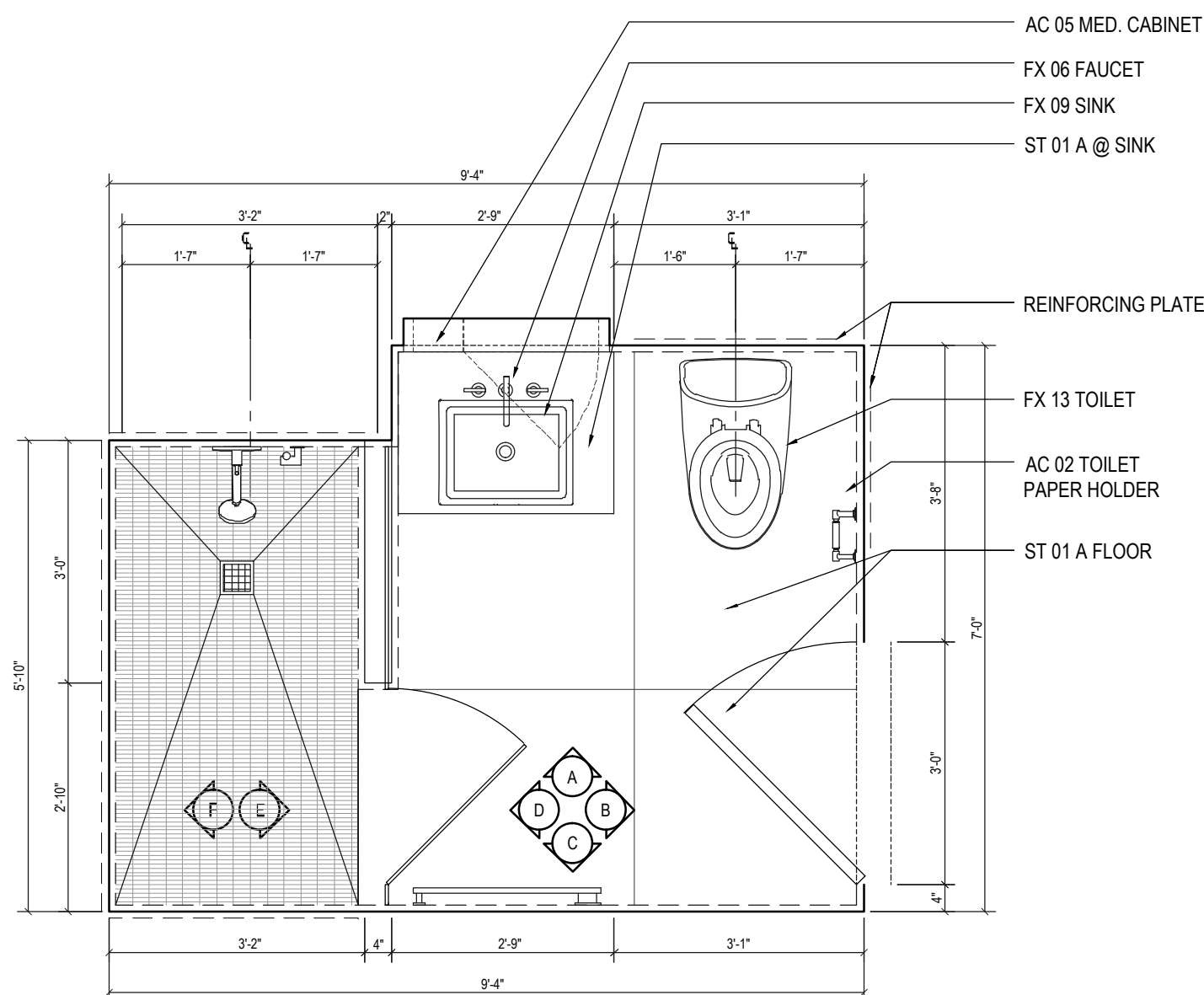
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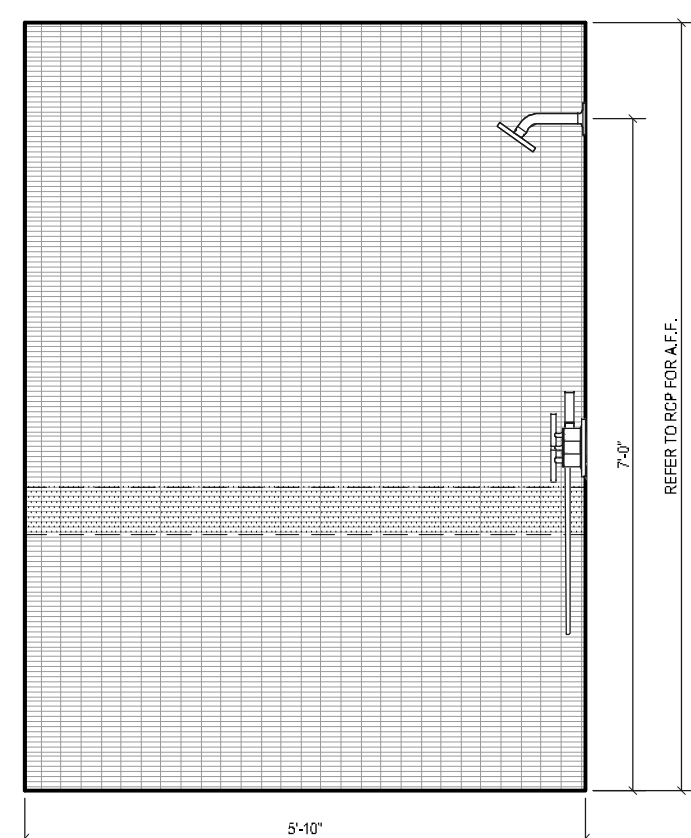
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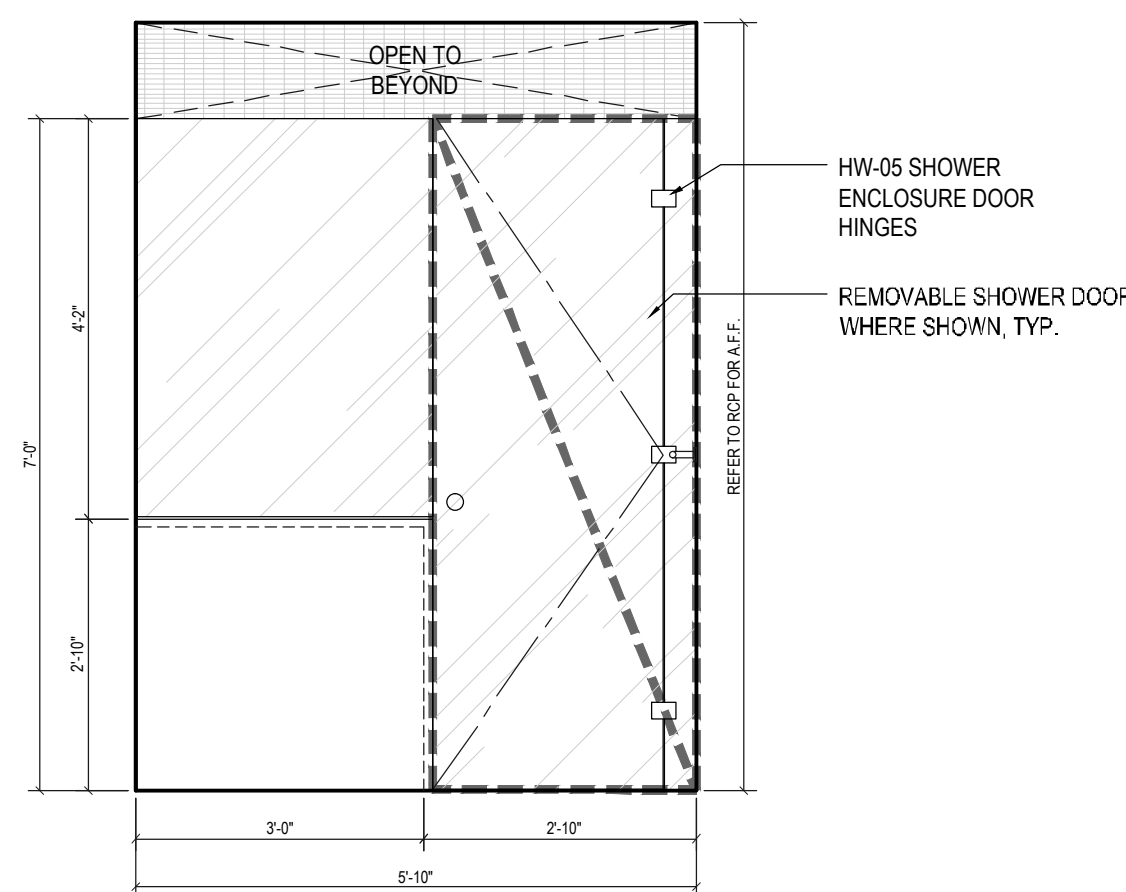
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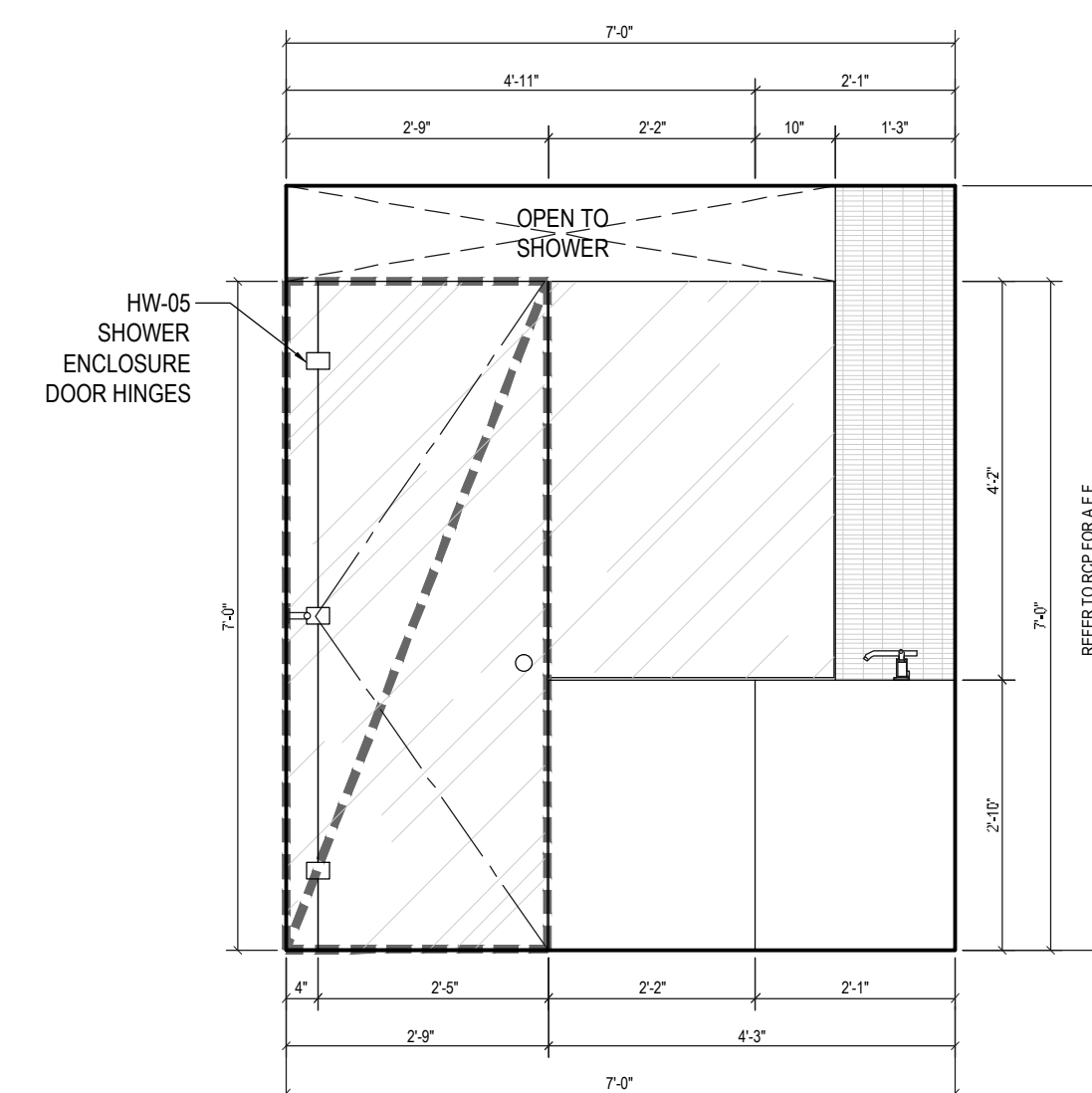
2 PLAN TOILET M02  
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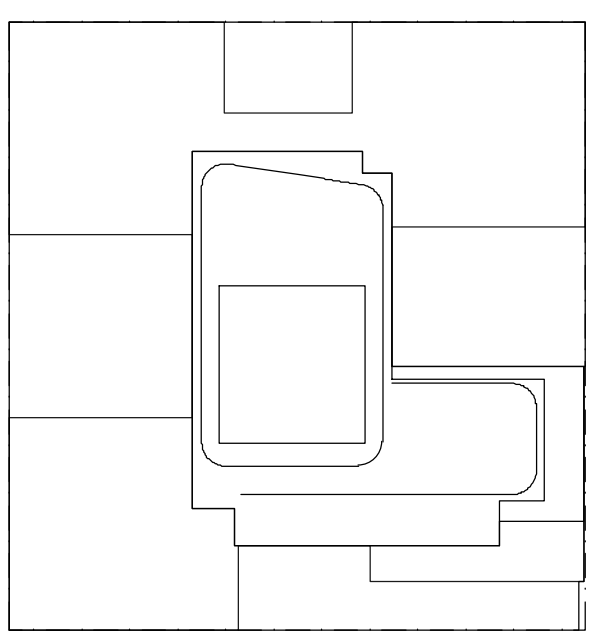


E ELEVATION A  
Scale: 1/2"=1'



ELEVATION A  
Scale: 1/2"=1'

APPENDIX P BATHROOM			DIMENSIONS ARE TO FINISH GYPSUM BOARD, TYP.
FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
5TH	31	ID TYPE-MB (SEE ID DRAWINGS)	A-105
6TH	31	ID TYPE-MB (SEE ID DRAWINGS)	A-106
7TH	8	ID TYPE-MB (SEE ID DRAWINGS)	A-107
8TH-19TH	8	ID TYPE-MB (SEE ID DRAWINGS)	A-108
20TH-35TH	8	ID TYPE-MB (SEE ID DRAWINGS)	A-109
37TH	9	ID TYPE-MB (SEE ID DRAWINGS)	A-111
38TH-50TH	9	ID TYPE-MB (SEE ID DRAWINGS)	A-112
51ST-61ST	9	ID TYPE-MB (SEE ID DRAWINGS)	A-113
62ND	9	ID TYPE-MB (SEE ID DRAWINGS)	A-114
63RD-66TH	12	ID TYPE-MB (SEE ID DRAWINGS)	A-115



NOTES:  
1. SUBMIT SHOP DRAWINGS AND MOCK-UPS FOR INTERIOR DESIGNER & OWNER APPROVAL PRIOR TO FABRICATION.

NOT FOR CONSTRUCTION

10/06/2017 ISSUED FOR DOB  
09/10/2017 99% CD SET, ADD #3  
06/07/2017 65% CD SET  
03/04/2017 50% CD SET  
02/04/2017 ISSUED FOR DOB  
01/07/2017 ISSUED FOR DOB  
01/07/2017 SUPPLEMENTAL SET  
01/05/2017 ISSUED FOR DOB  
11/17/2016 FACILE PHASE SET  
11/11/2016 100% CD FOR VARIOUS SETS  
10/12/2016 ISSUED FOR DOB

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

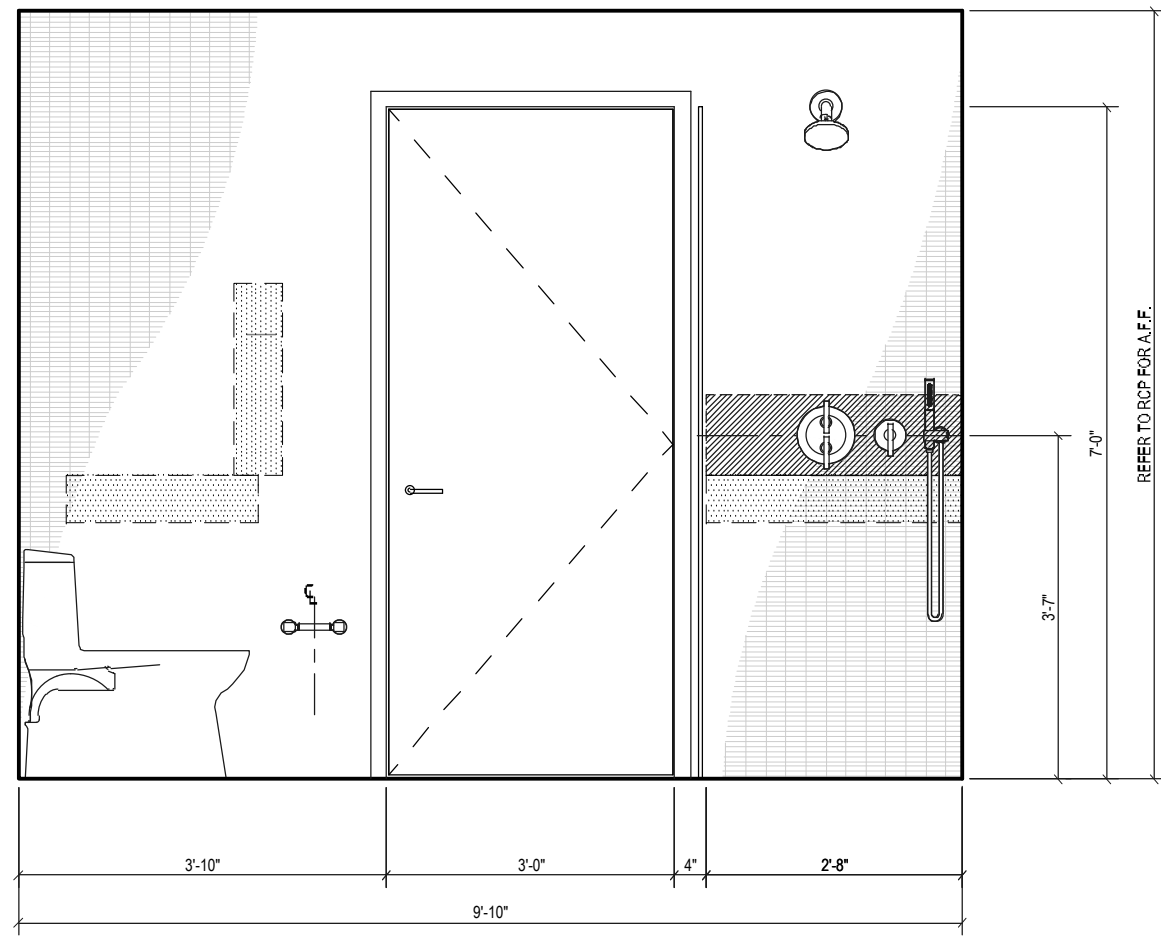
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

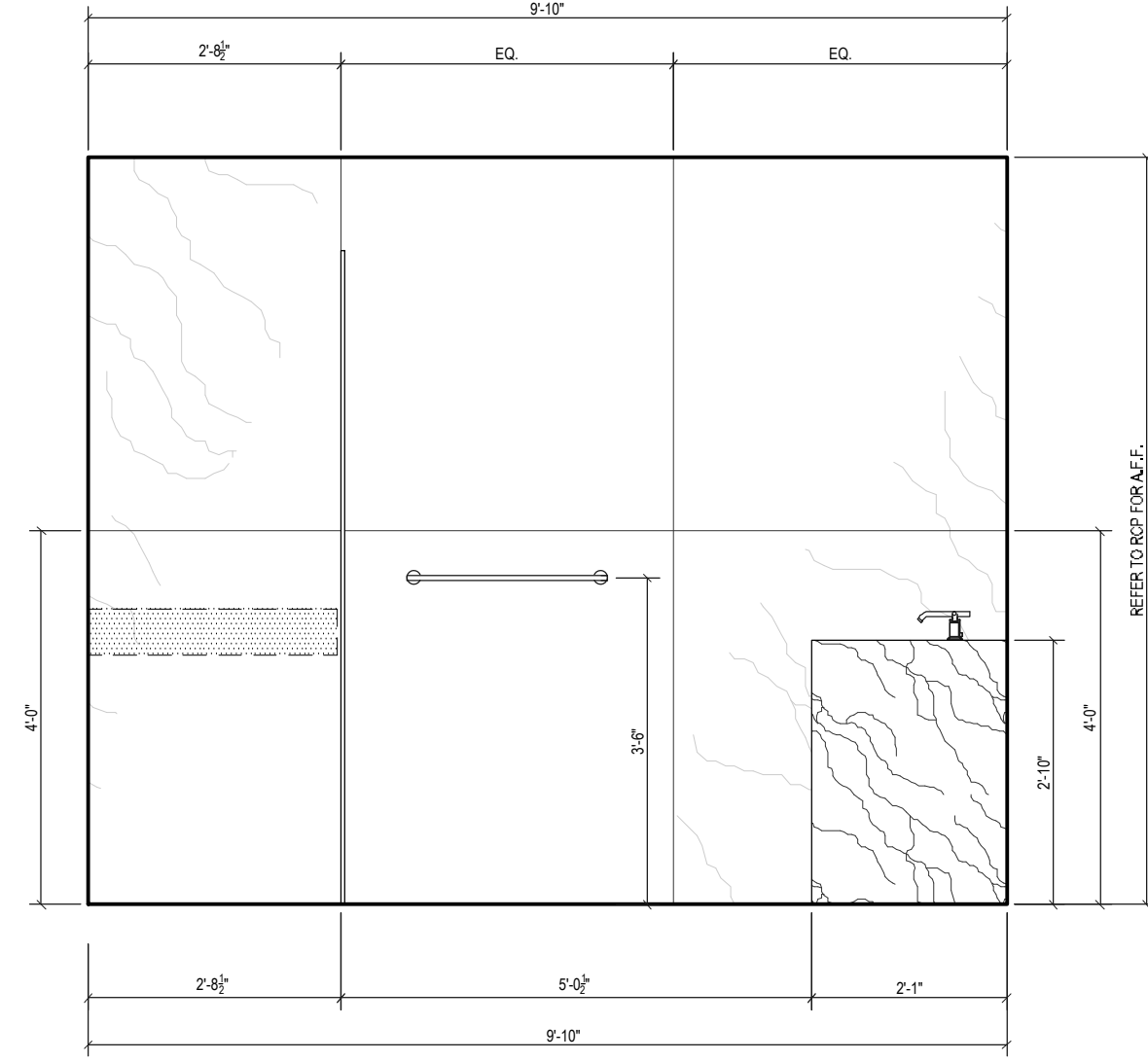
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**MASTER BATHROOM  
PLANS AND ELEVATIONS**

SEAL & SIGNATURE: PROJECT # 15412  
DATE: 10/06/2017  
SCALE: AS NOTED  
DWG NO. A-602.00  
002 OF 105

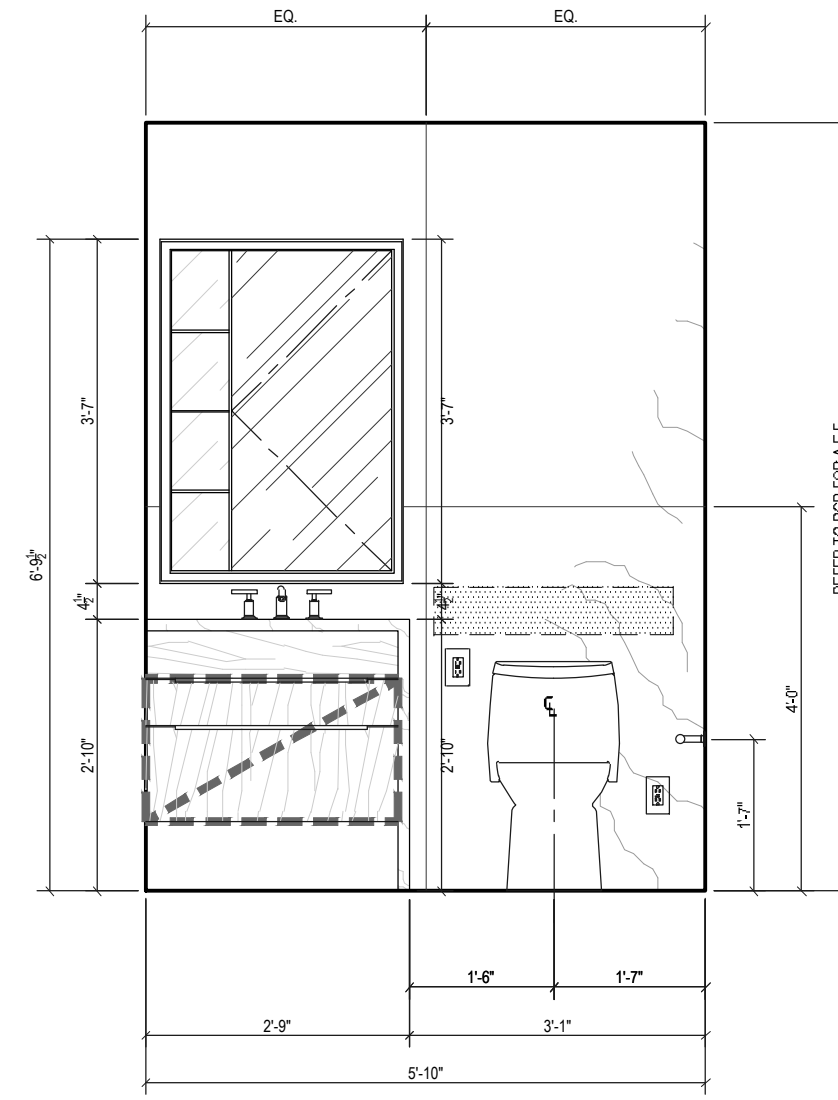




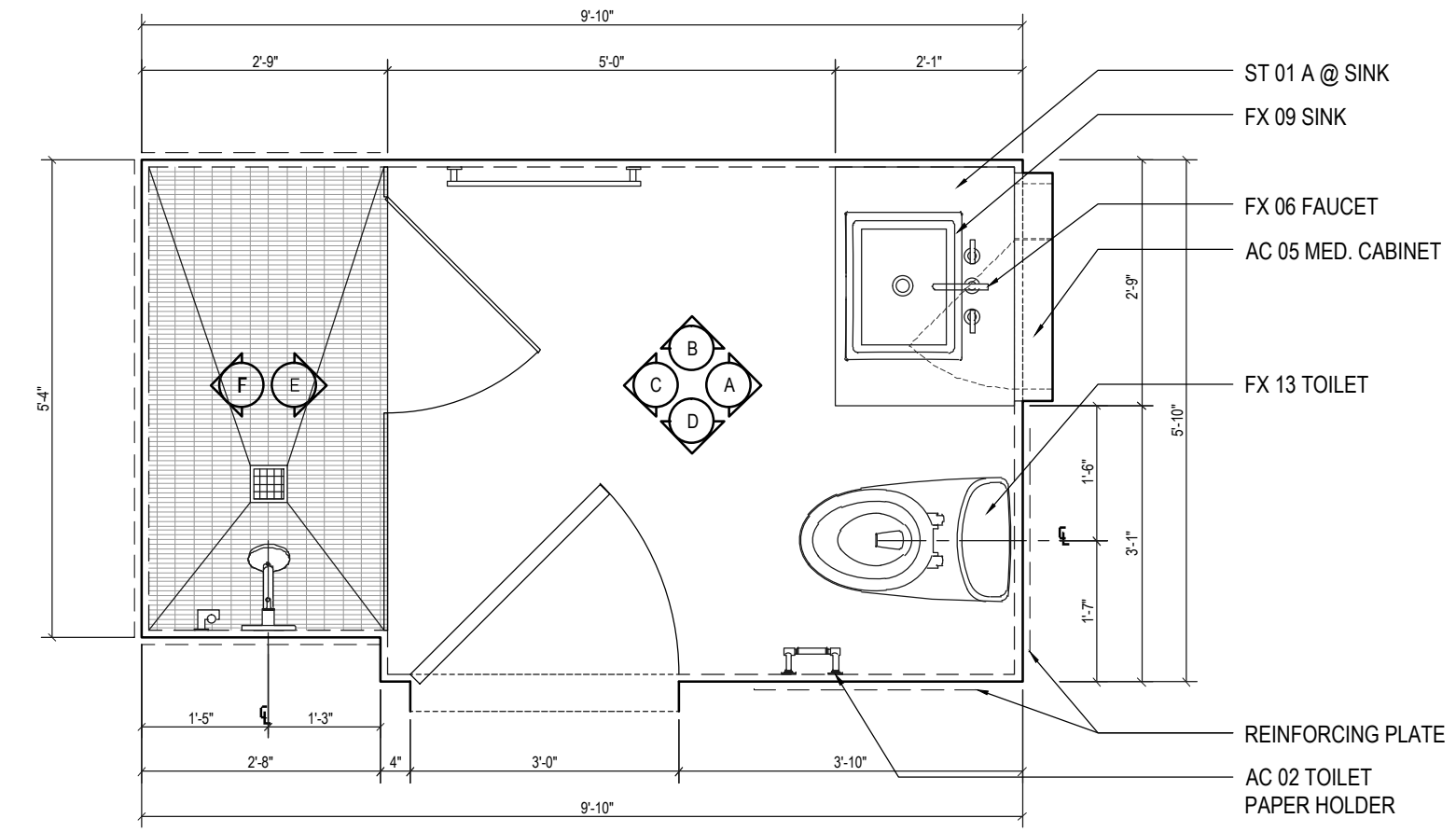
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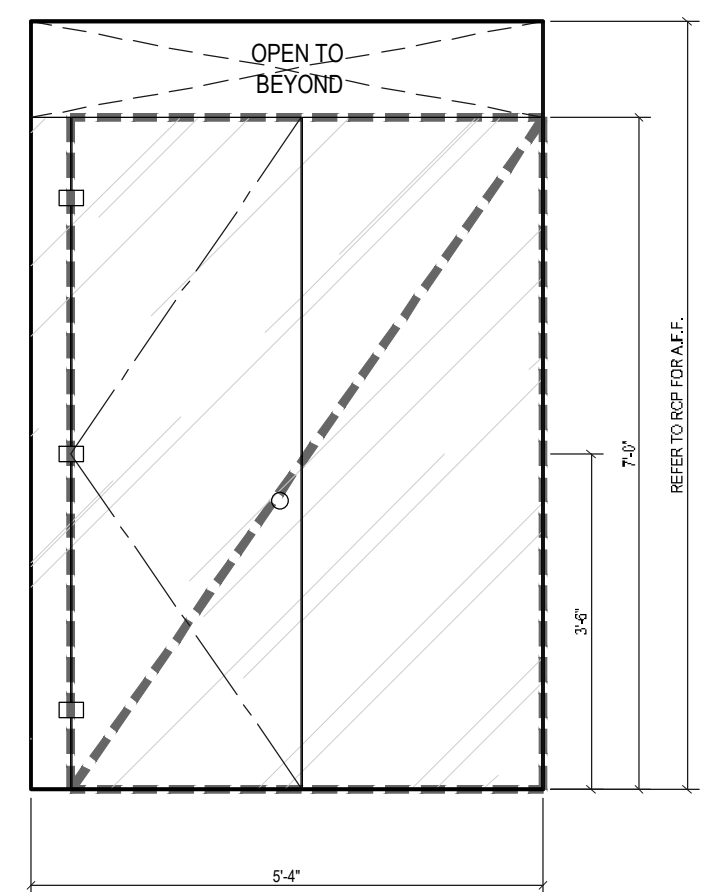
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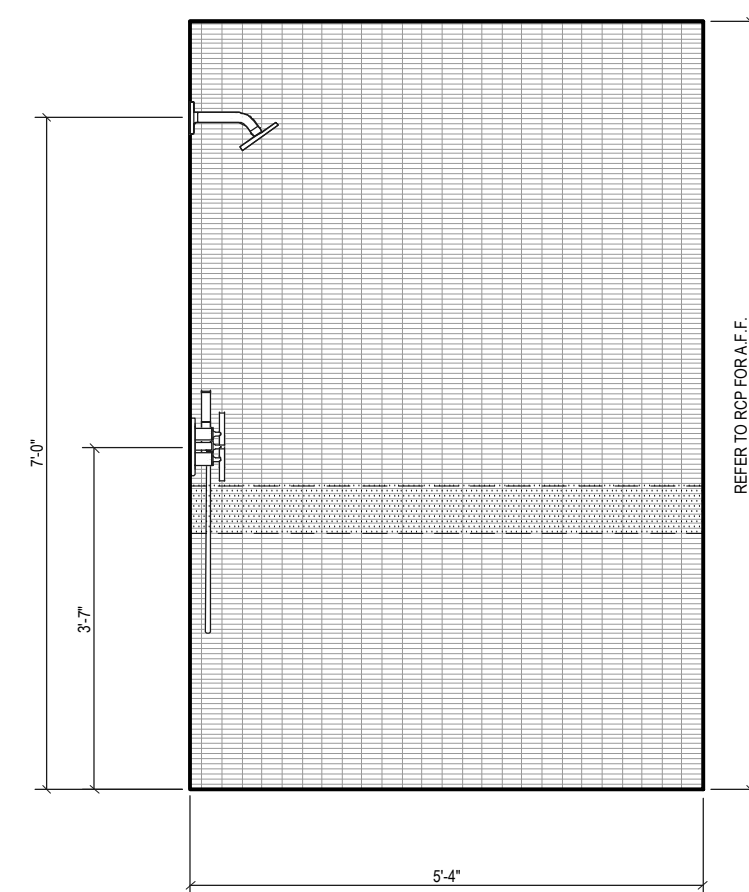
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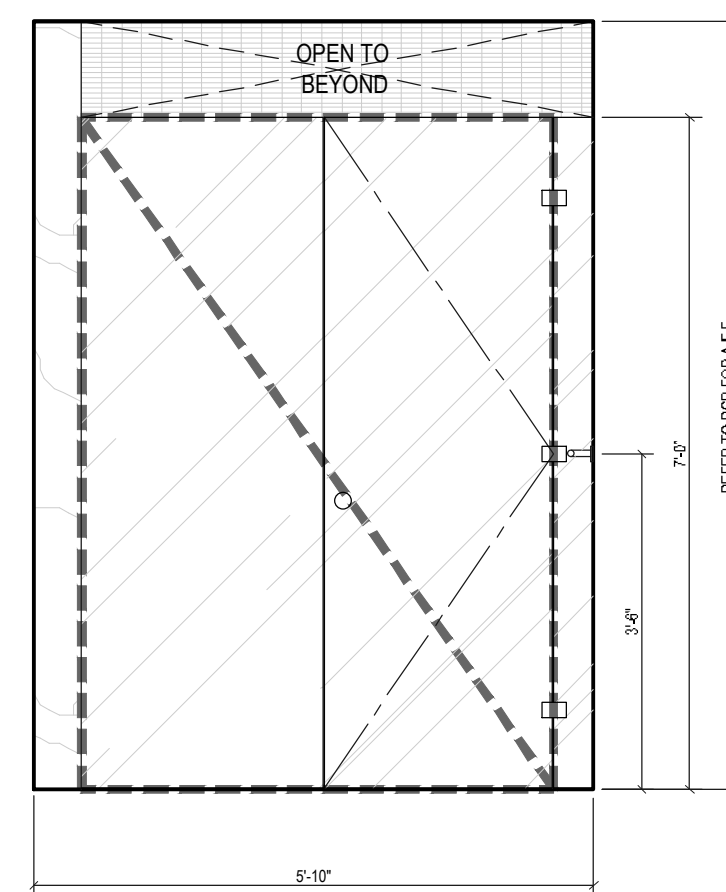
1 PLAN OF MASTER BATHROOM  
Scale: 1/2"=1'



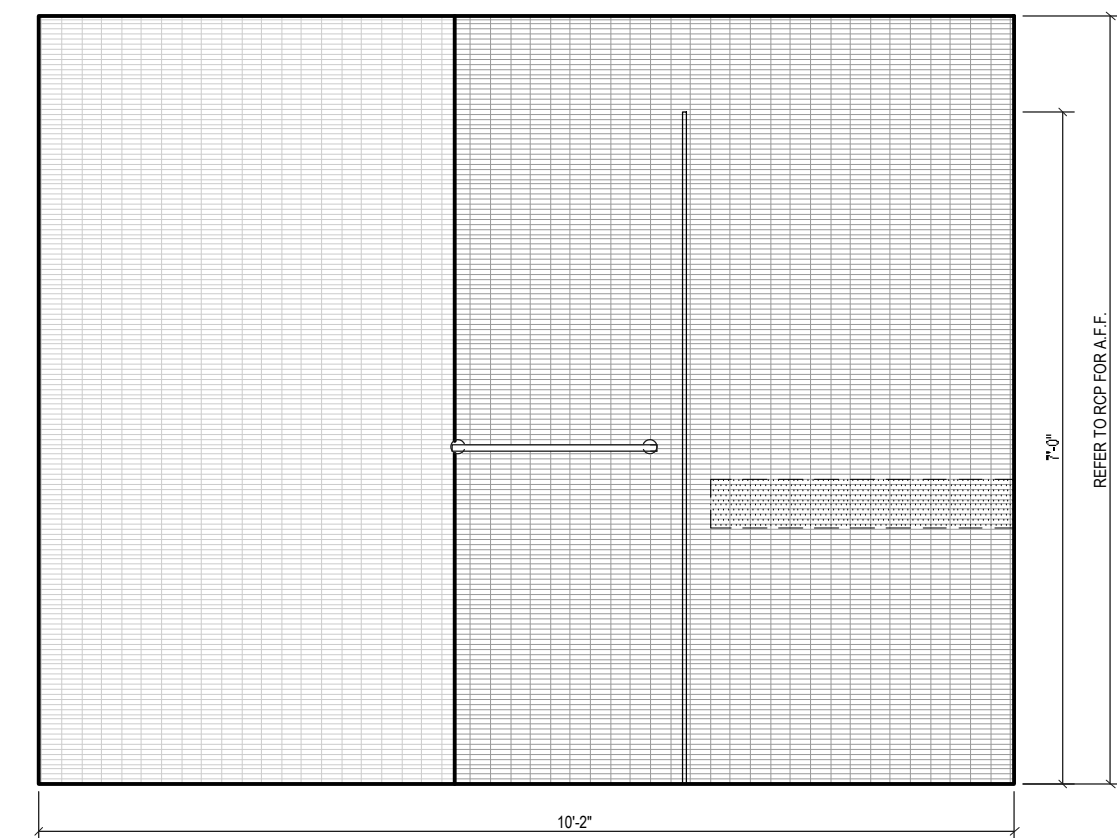
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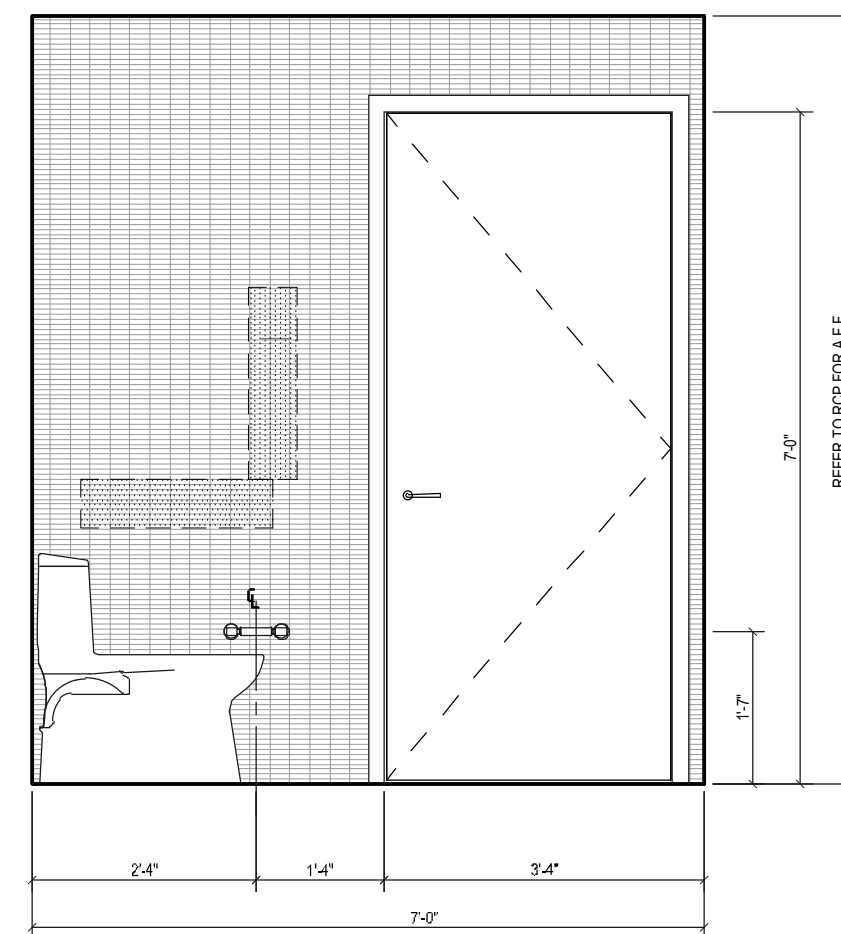
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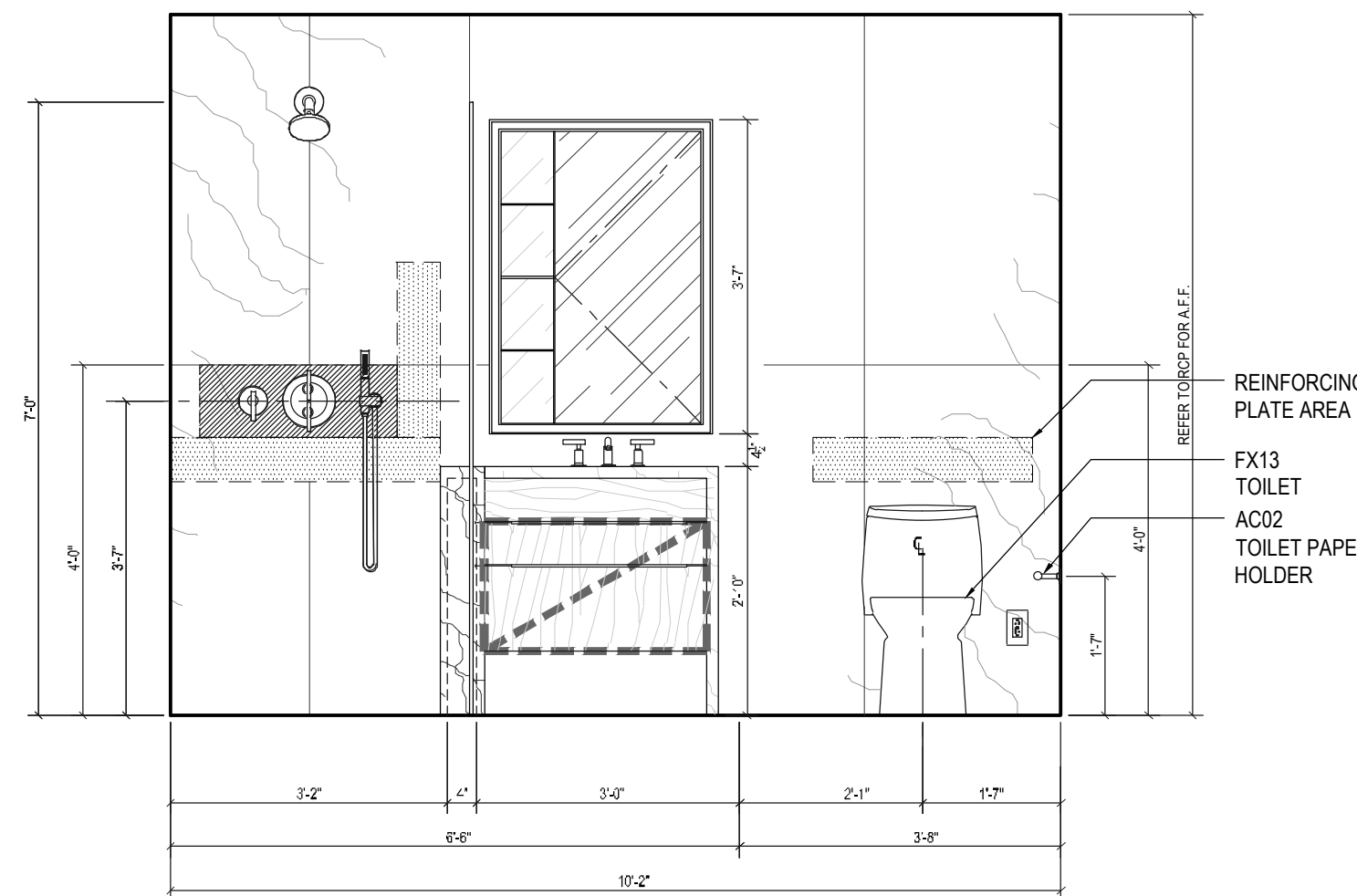
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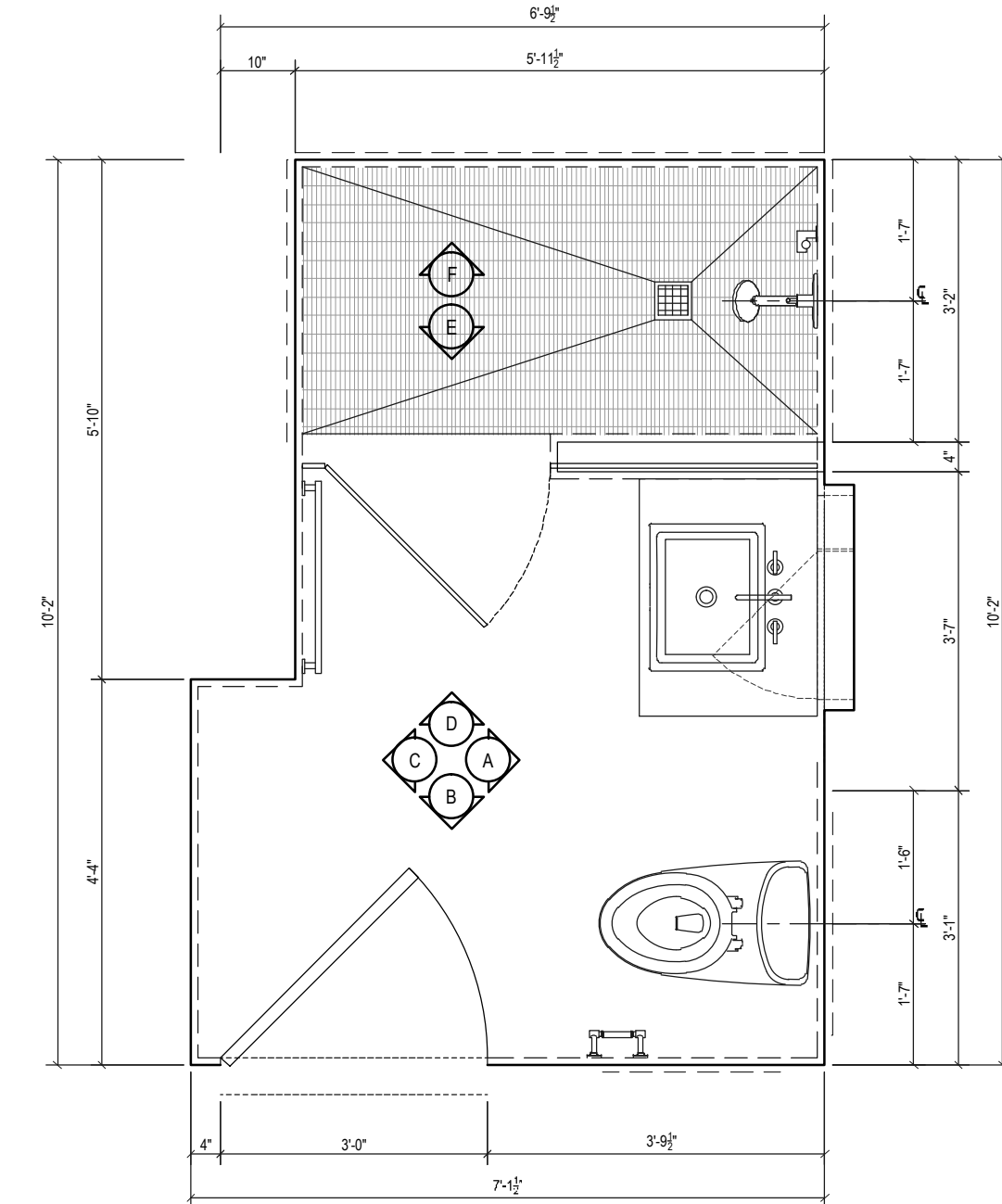
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Scale: 1/2"=1'



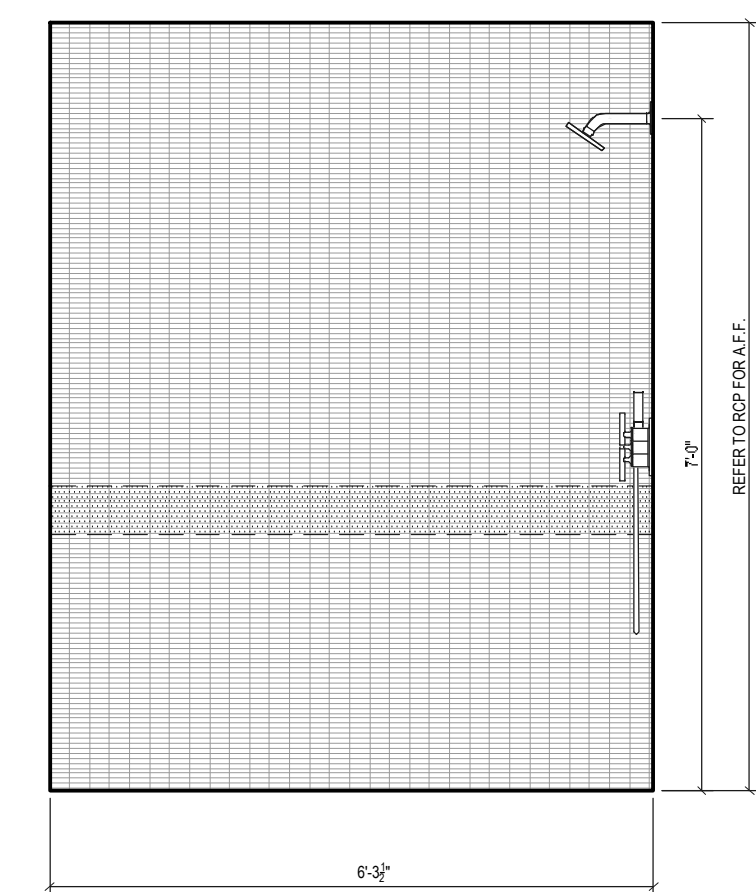
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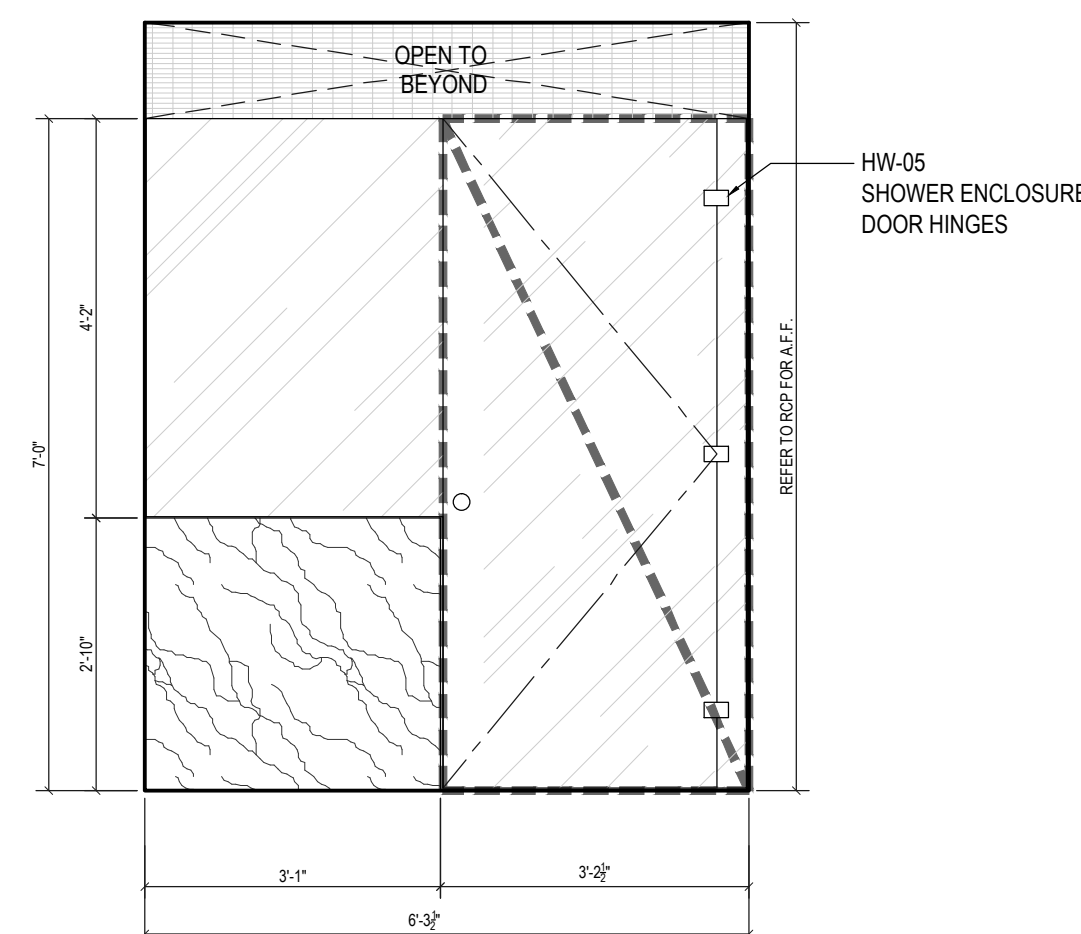
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Scale: 1/2"=1'



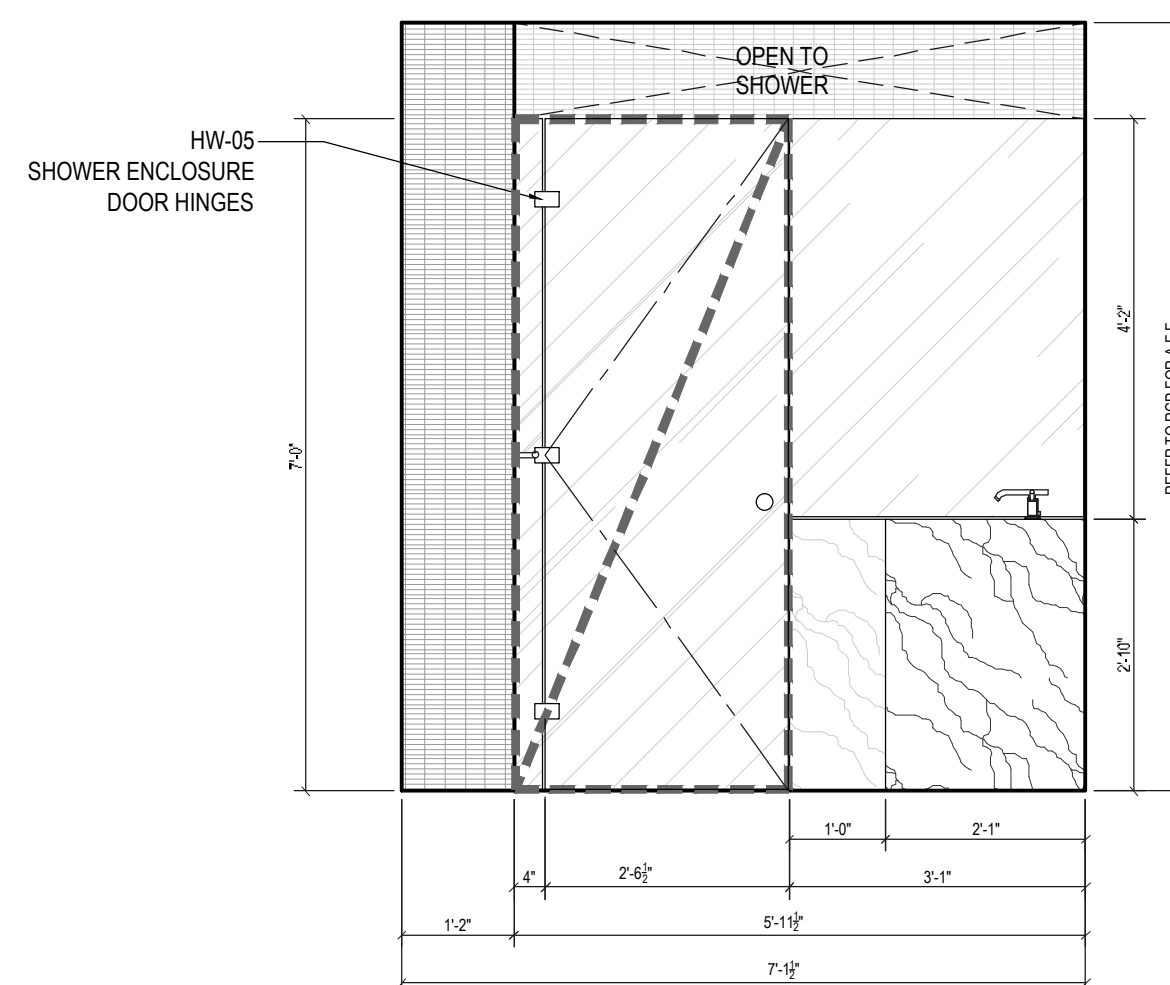
2 PLAN OF MASTER BATHROOM  
Scale: 1/2"=1'



D ELEVATION D  
Scale: 1/2"=1'

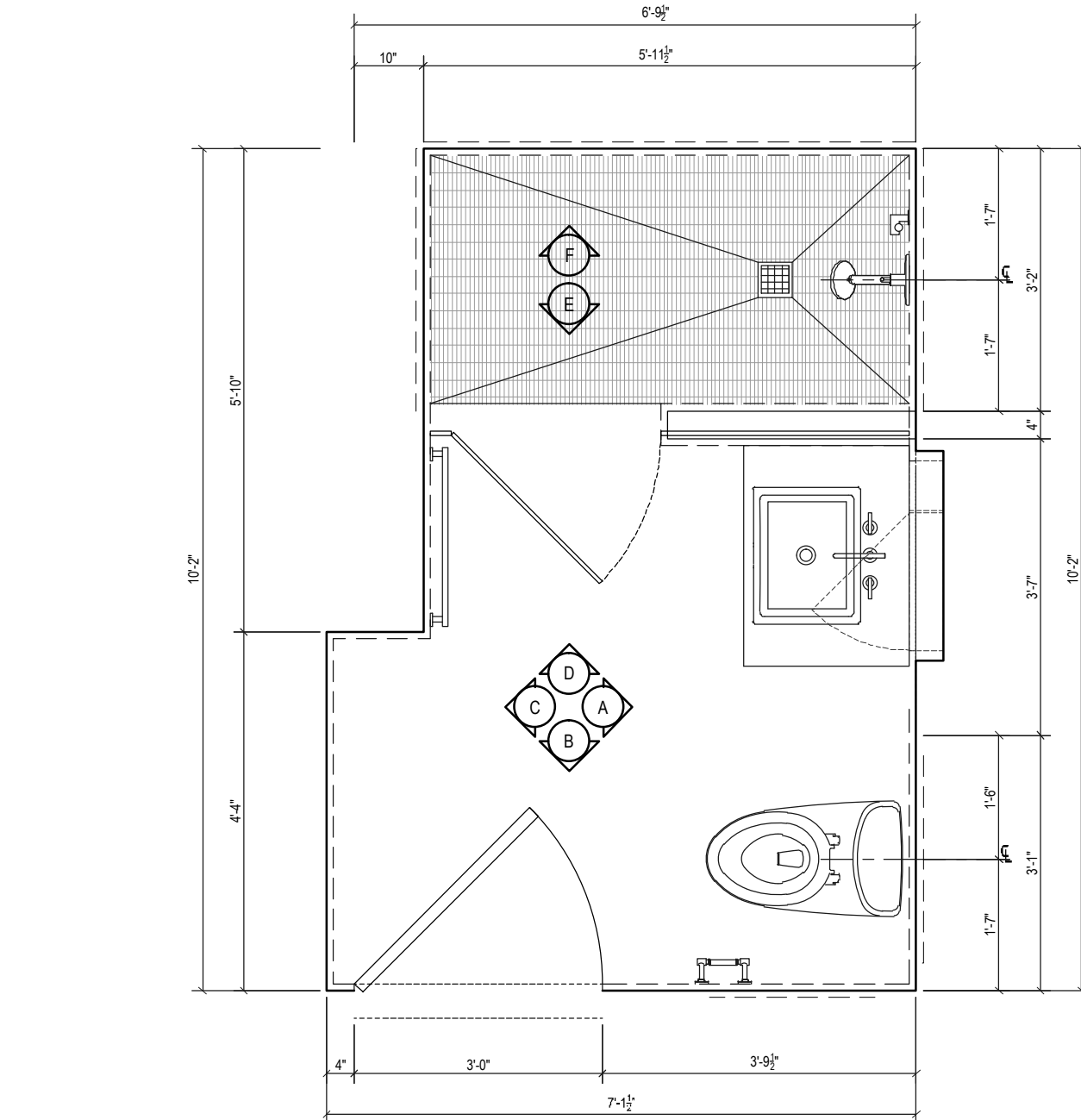


E ELEVATION E  
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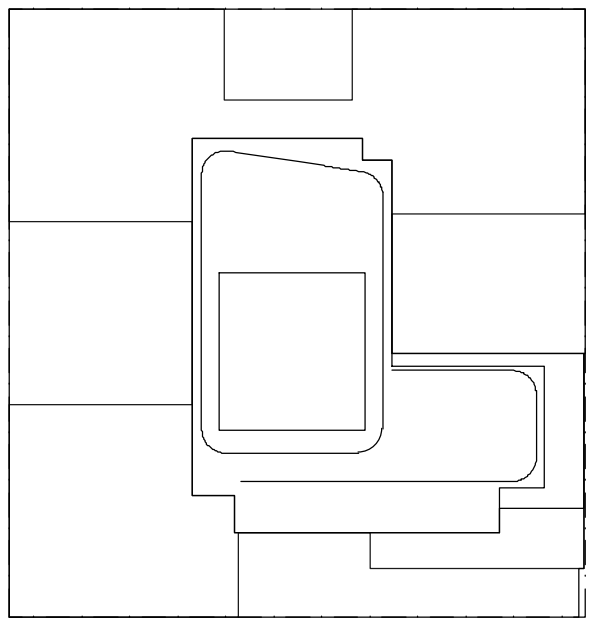
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APPENDIX P BATHROOM		DIMENSIONS ARE TO FINISH GYPSUM BOARD, TYP.	
FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
3TH	20	ID TYPE-MC (SEE ID DRAWINGS)	A-105
6TH	20	ID TYPE-MC (SEE ID DRAWINGS)	A-106
7TH	03, 06, 12	ID TYPE-MC (SEE ID DRAWINGS)	A-107
8TH-9TH	05	ID TYPE-MC (SEE ID DRAWINGS)	A-108
20TH-30TH	05	ID TYPE-MC (SEE ID DRAWINGS)	A-109



2 PLAN OF MASTER BATHROOM  
Scale: 1/2"=1'

APPENDIX P BATHROOM		DIMENSIONS ARE TO FINISH GYPSUM BOARD, TYP.	
FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
63RD-68TH	05	ID TYPE-MB (SEE ID DRAWINGS)	A-115



NOTES:  
1. SUBMIT SHOP DRAWINGS AND MOCK-UPS FOR INTERIOR DESIGNER & OWNER APPROVAL PRIOR TO FABRICATION.

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET, ADD #3
08/02/2017	60% CD SET
03/24/2017	90% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FACILE PHASE SET
11/11/2016	100% CD FOR MASTER BATH SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

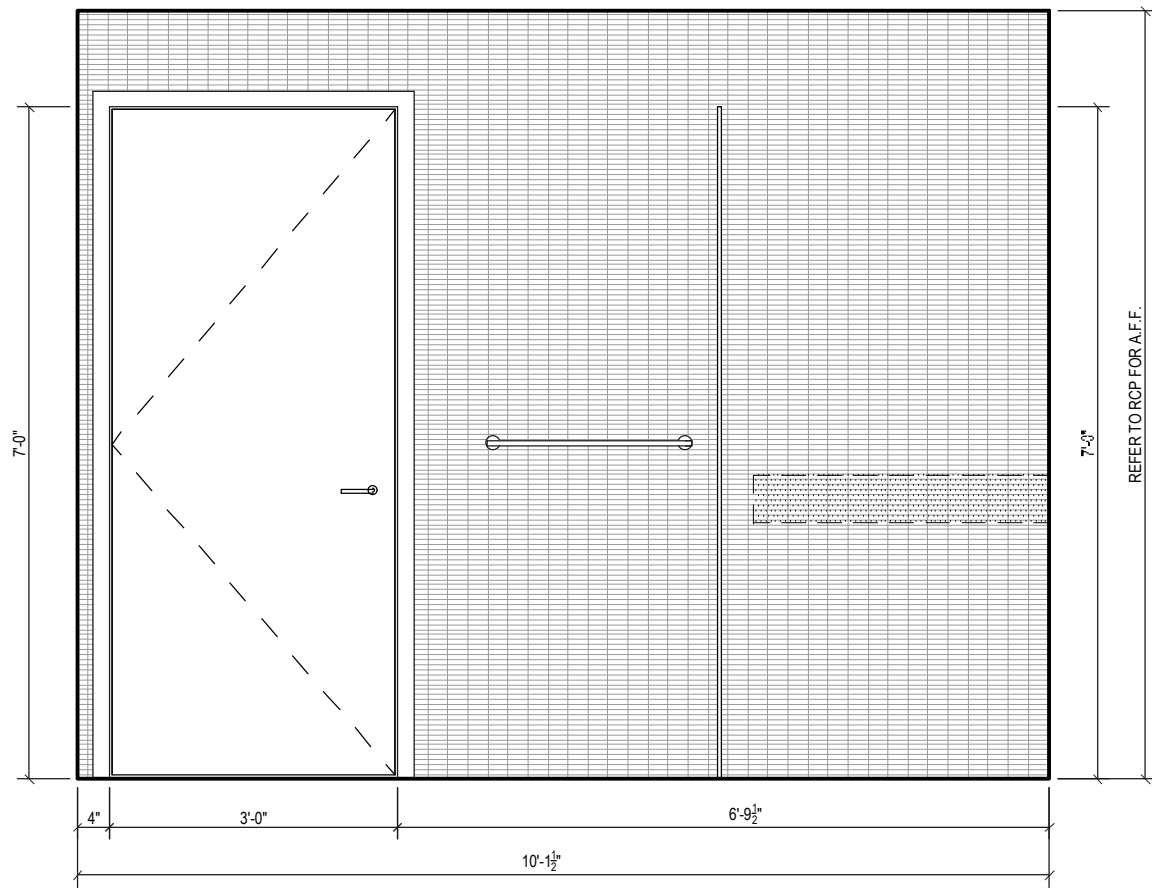
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

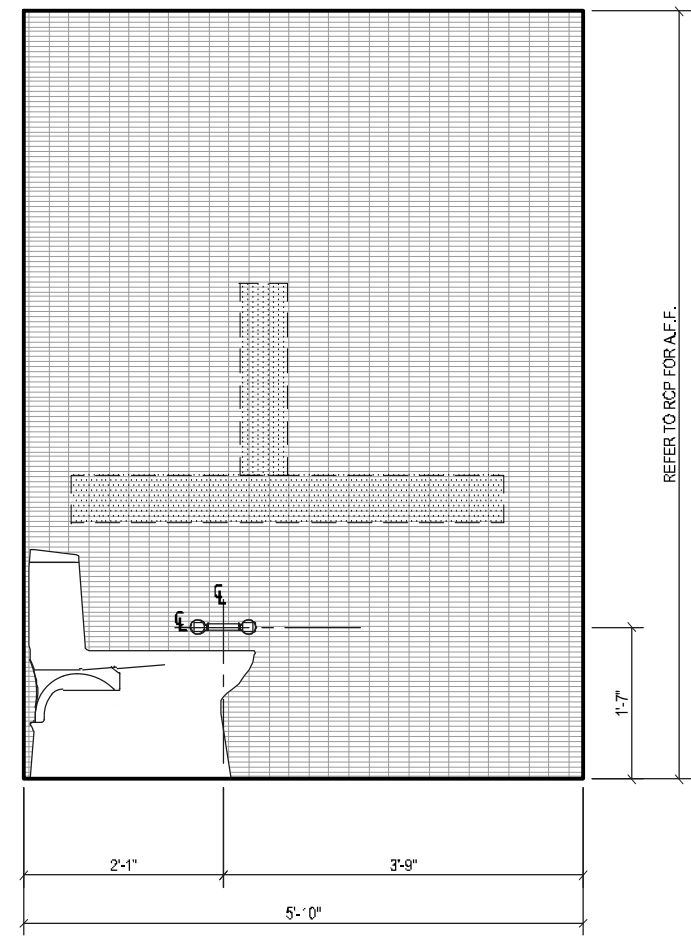
DWG TITLE:  
**MASTER BATHROOM PLANS AND ELEVATIONS**

SEAL & SIGNATURE: PROJECT # 15412 SCALE: AS NOTED DWG NO. A-603.00 DATE: 10/06/2017

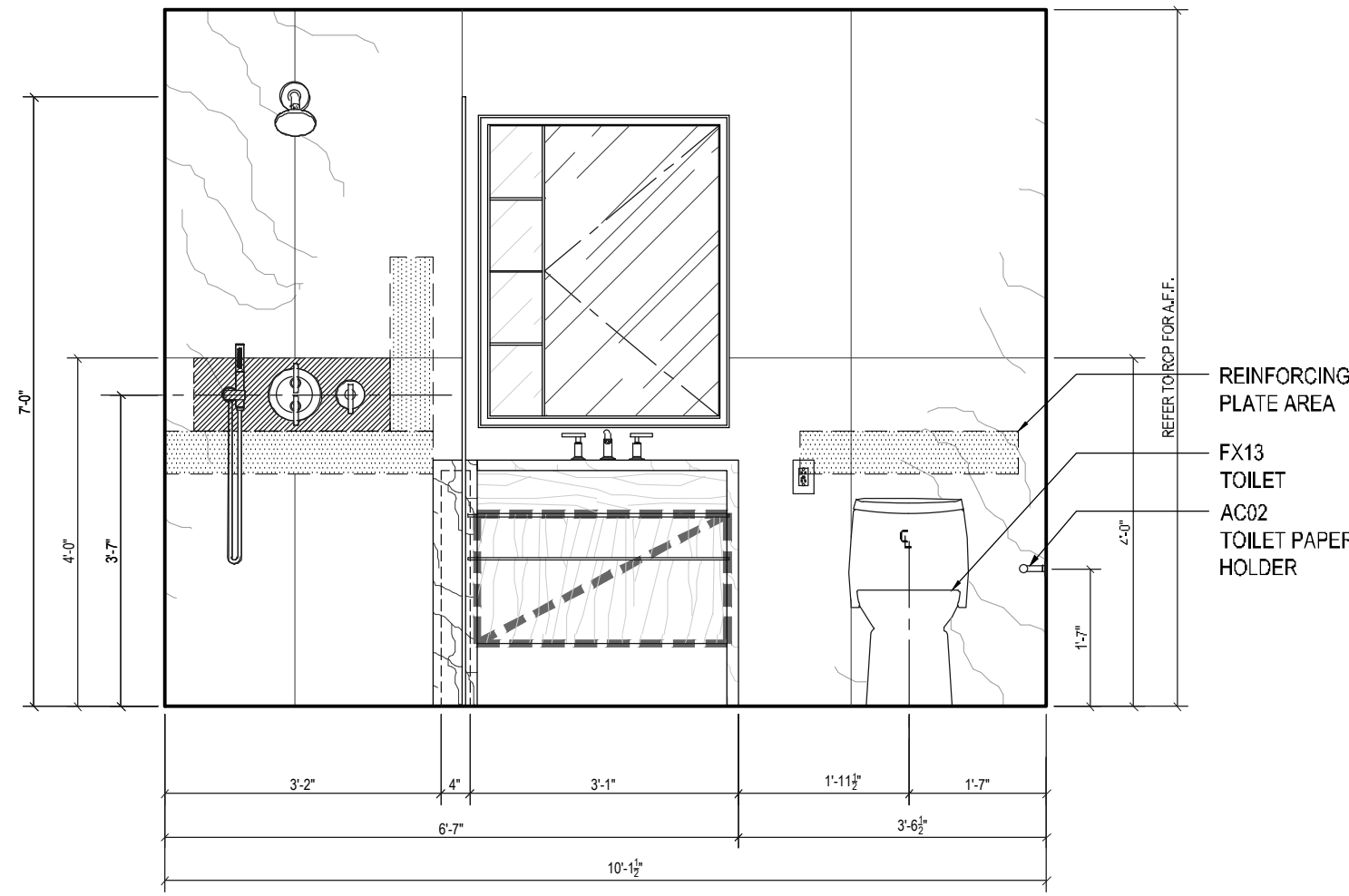




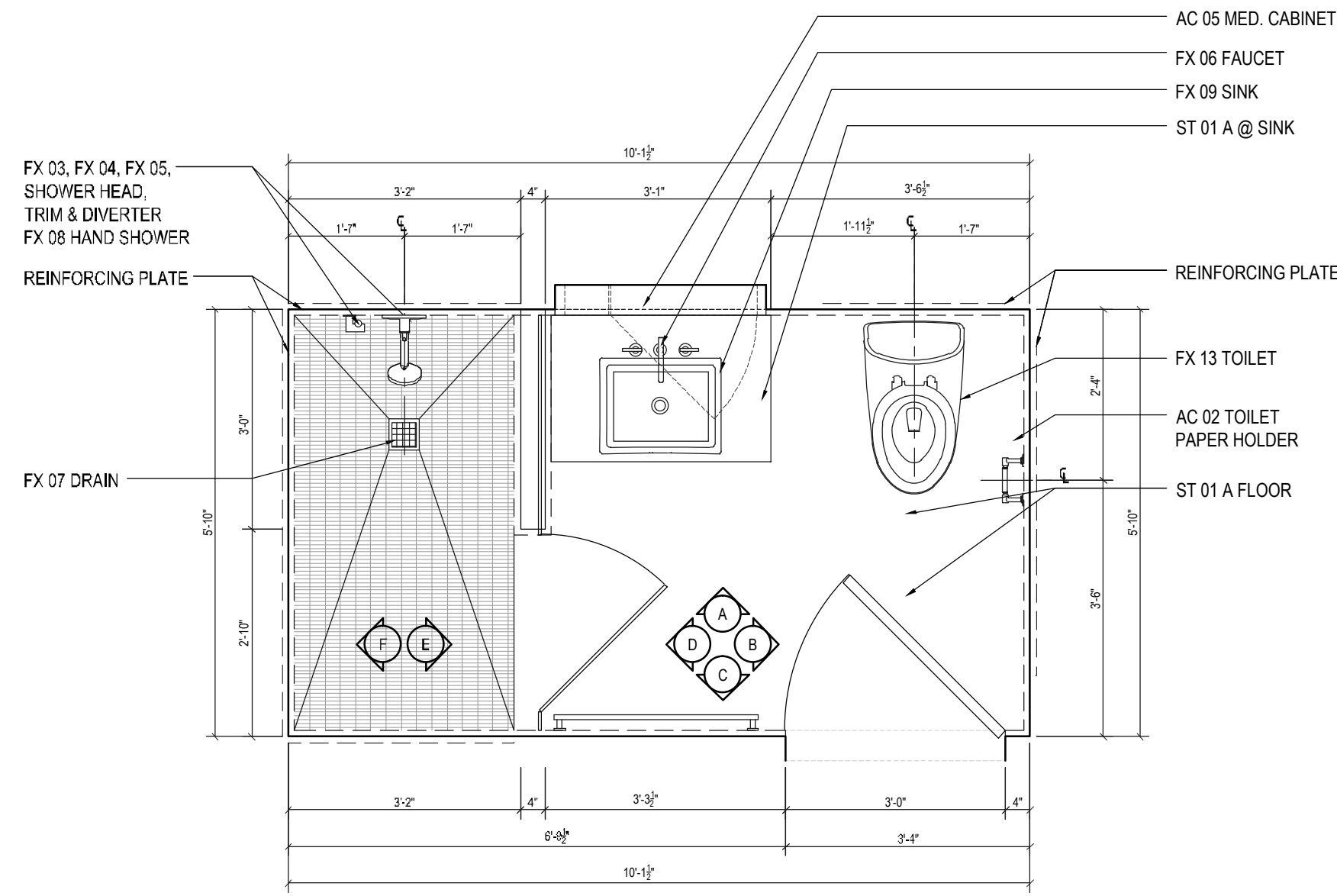
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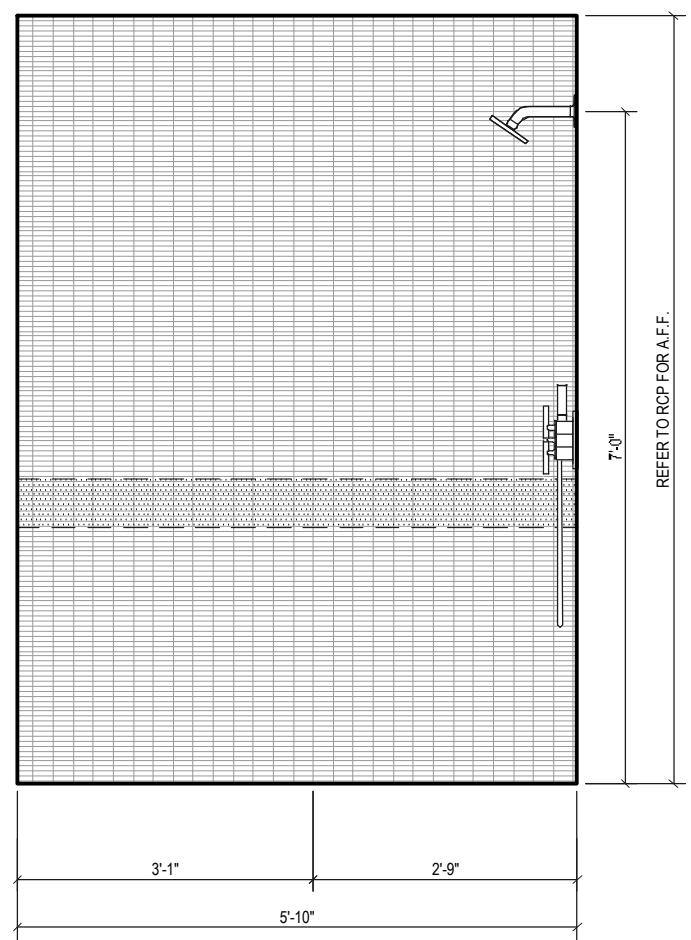
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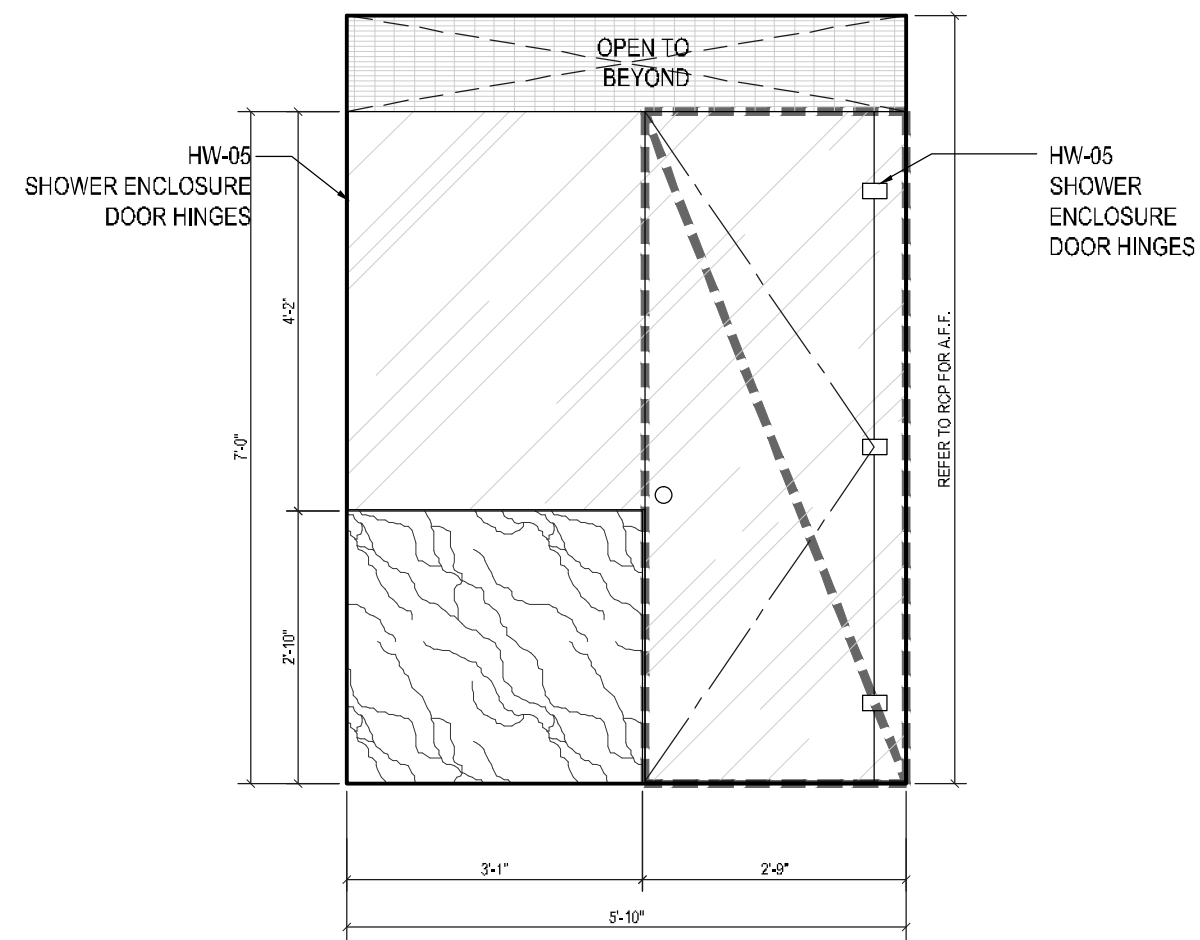
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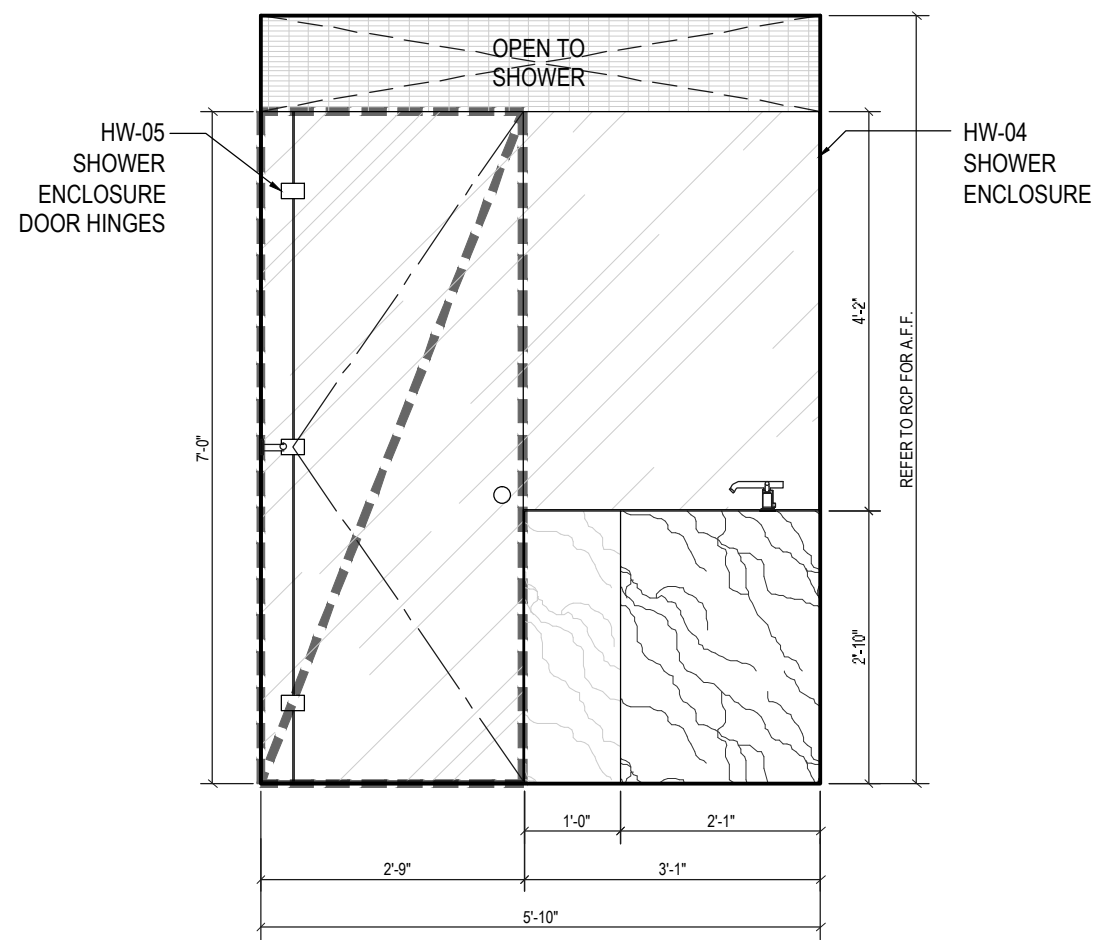
**1** PLAN OF THE MASTER BATHROOM  
Scale: 1/2"=1'



**E** ELEVATION E  
Scale: 1/2"=1'

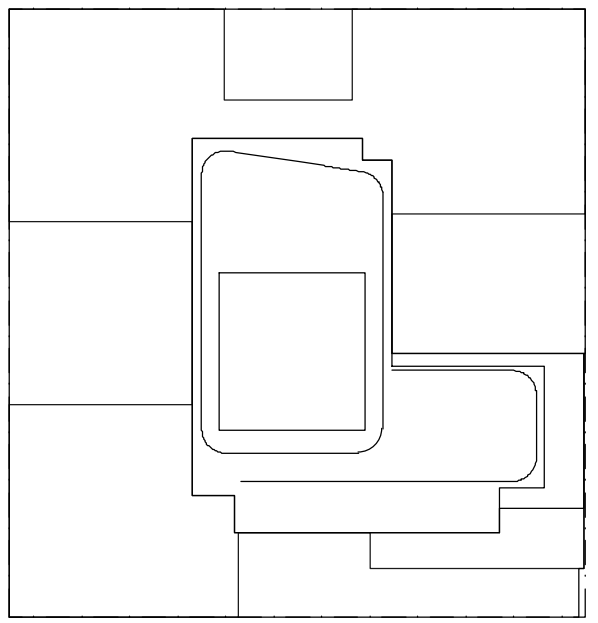


**F** ELEVATION F  
Scale: 1/2"=1'



**G** ELEVATION G  
Scale: 1/2"=1'

APPENDIX P: BATHROOM		DIMENSIONS ARE TO FINISH GYPSUM BOARD, TYP.	
FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
8TH-19TH	11	ID TYPE-MA (SEE ID DRAWINGS)	A-108



**NOTES:**  
1. SUBMIT SHOP DRAWINGS AND MOCK-UPS FOR INTERIOR DESIGNER & OWNER APPROVAL PRIOR TO FABRICATION.

NOT FOR CONSTRUCTION

10/08/2017	ISSUED FOR DOB
09/10/2017	90% CD SET, ADD #3
08/02/2017	60% CD SET
07/04/2017	50% CD SET
03/30/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FACE PLUMB SET
11/01/2016	100% CD FOR WASHROOM SET
10/12/2016	ISSUED FOR DOB
02/03/2016	DOB PLUMB SET

Number:	Date:	Revision:
---------	-------	-----------

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

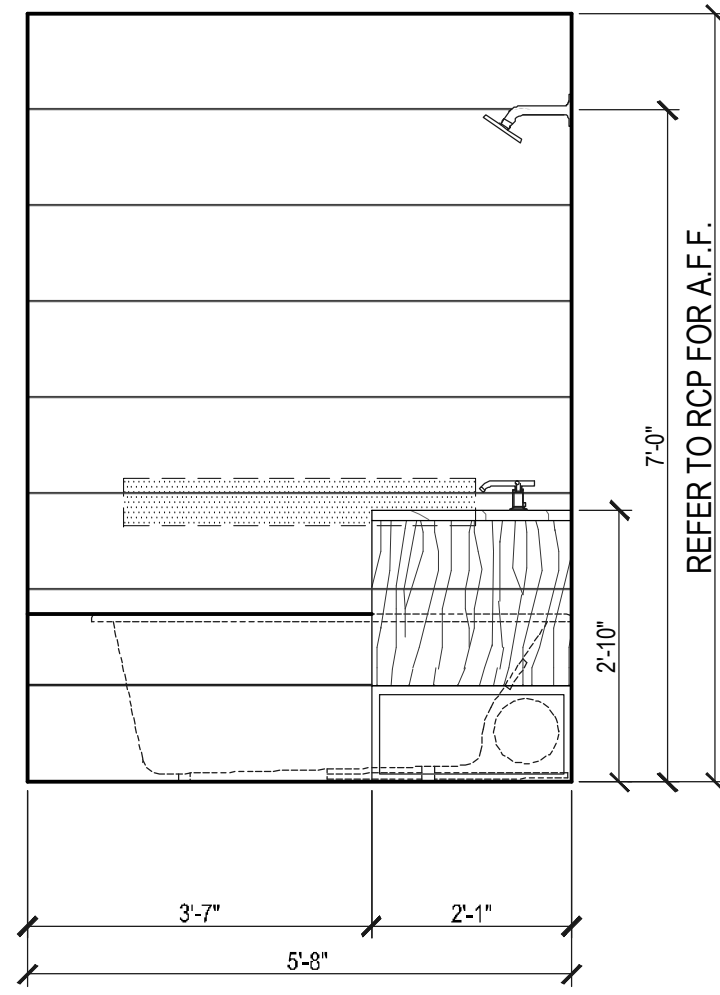
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

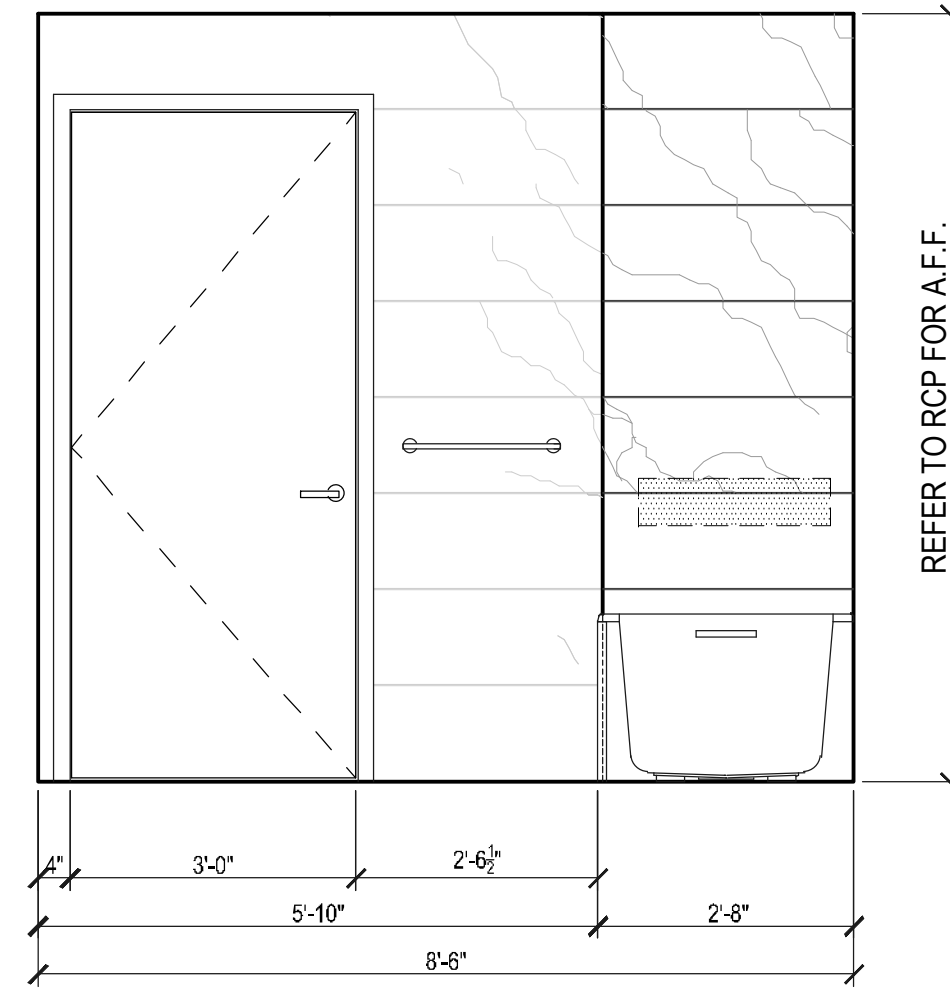
DWG TITLE:  
**MASTER BATHROOMS  
PLANS AND ELEVATIONS**

SEAL & SIGNATURE: 	DATE: 10/08/2017
PROJECT #: 15412	SCALE: AS NOTED
DWG NO. A-604.00	

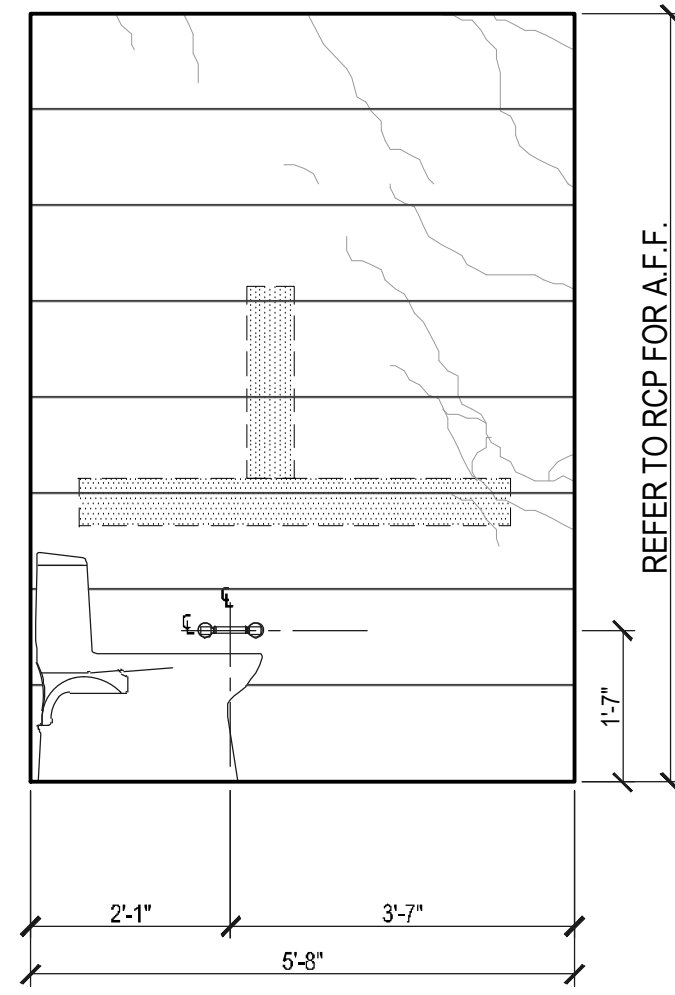




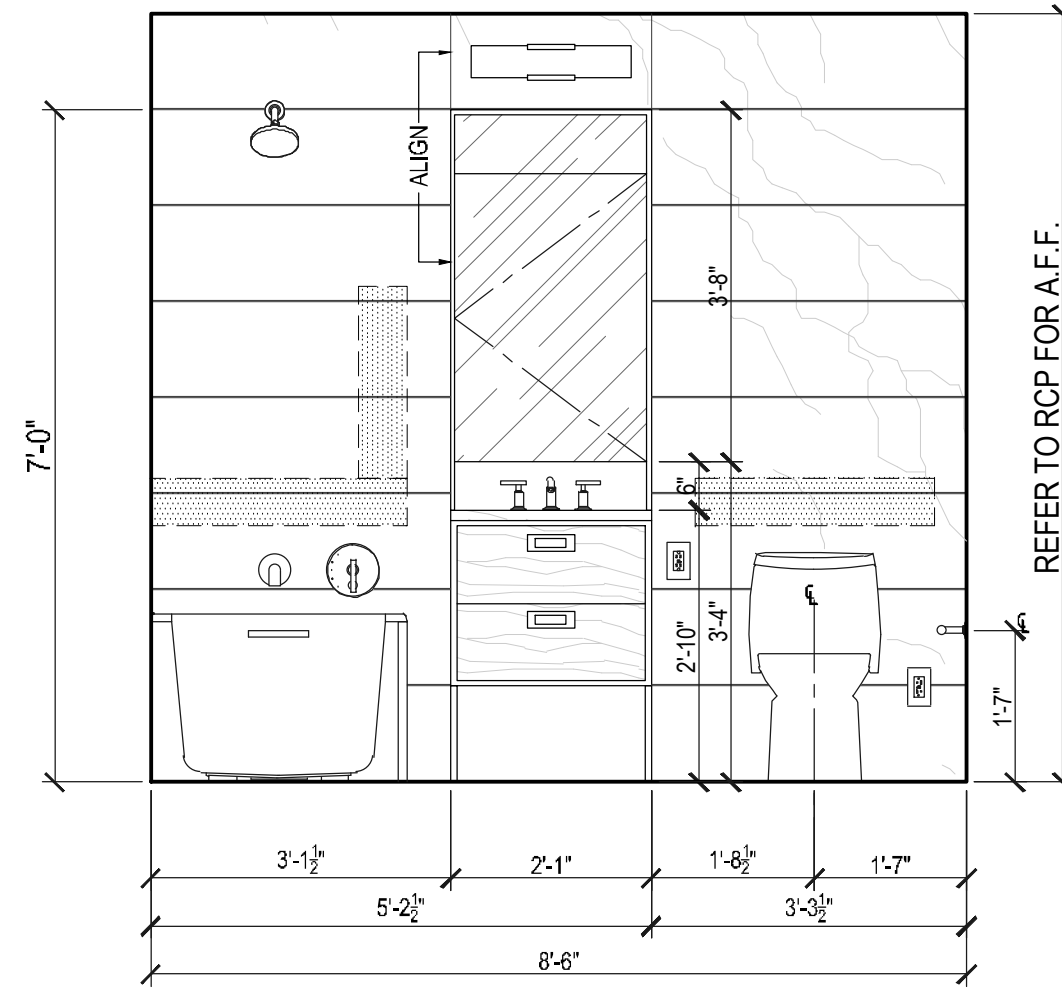
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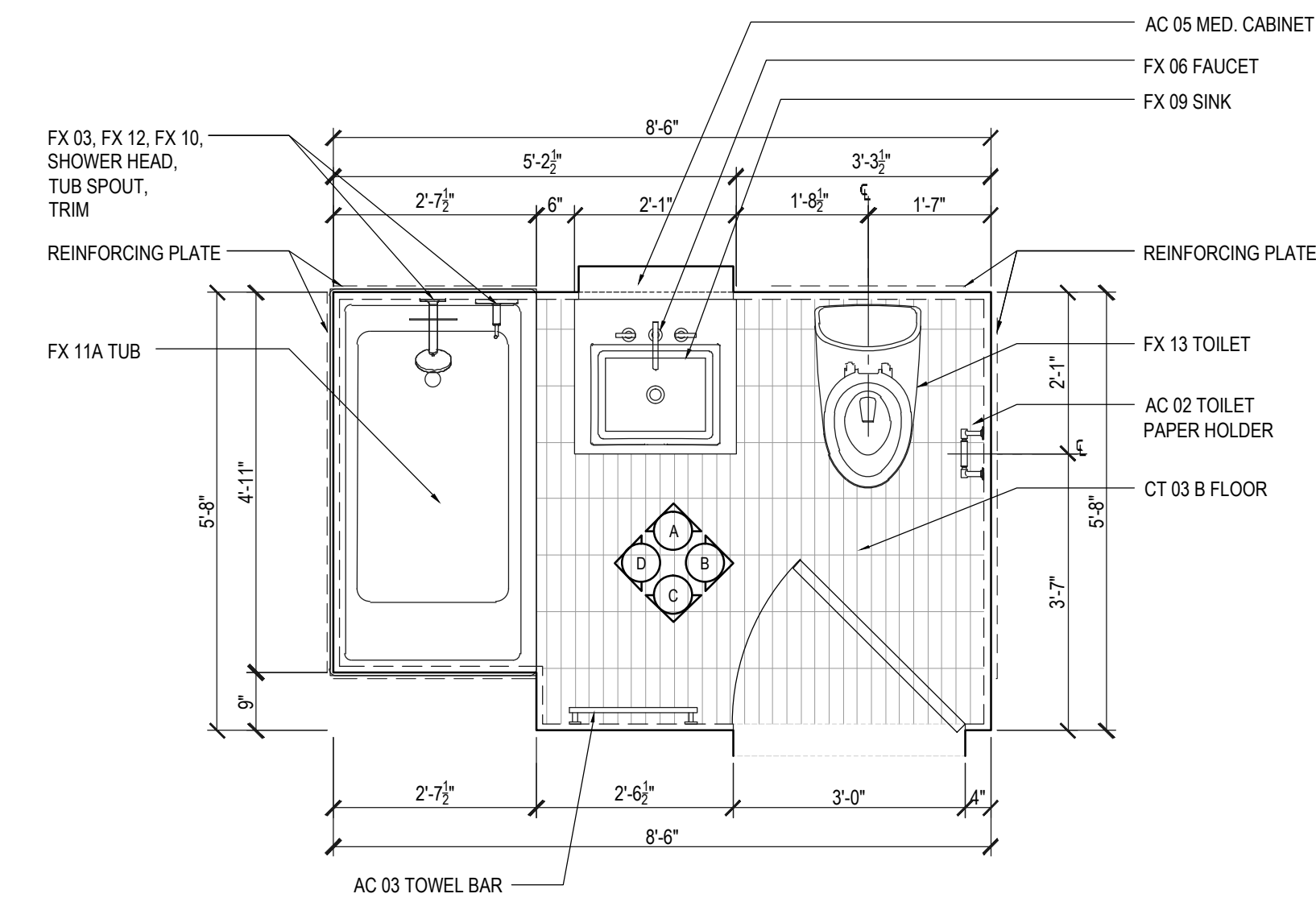
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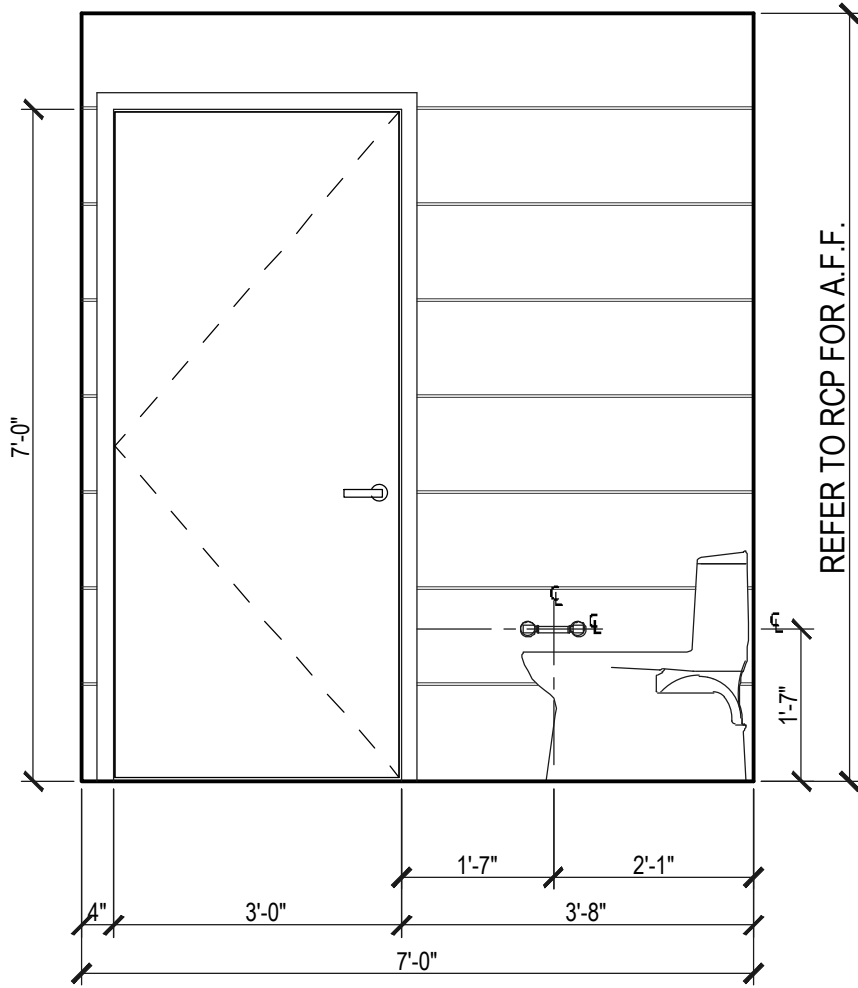
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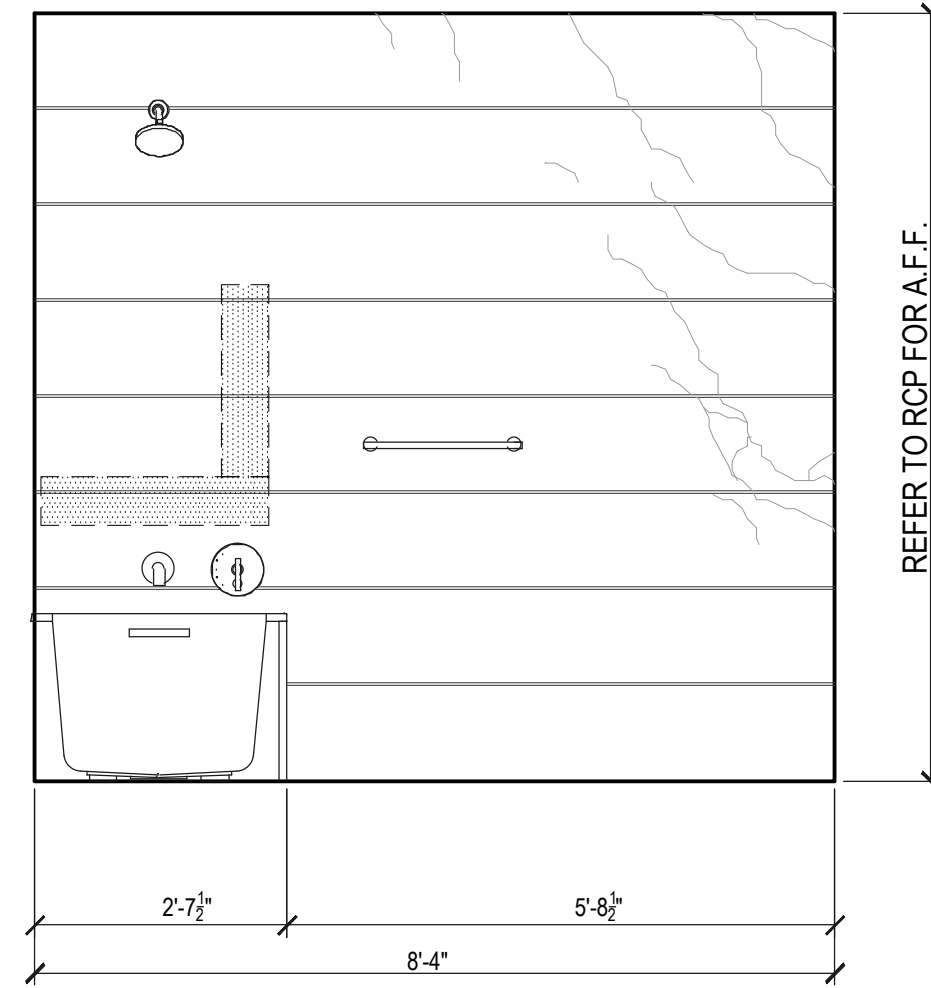
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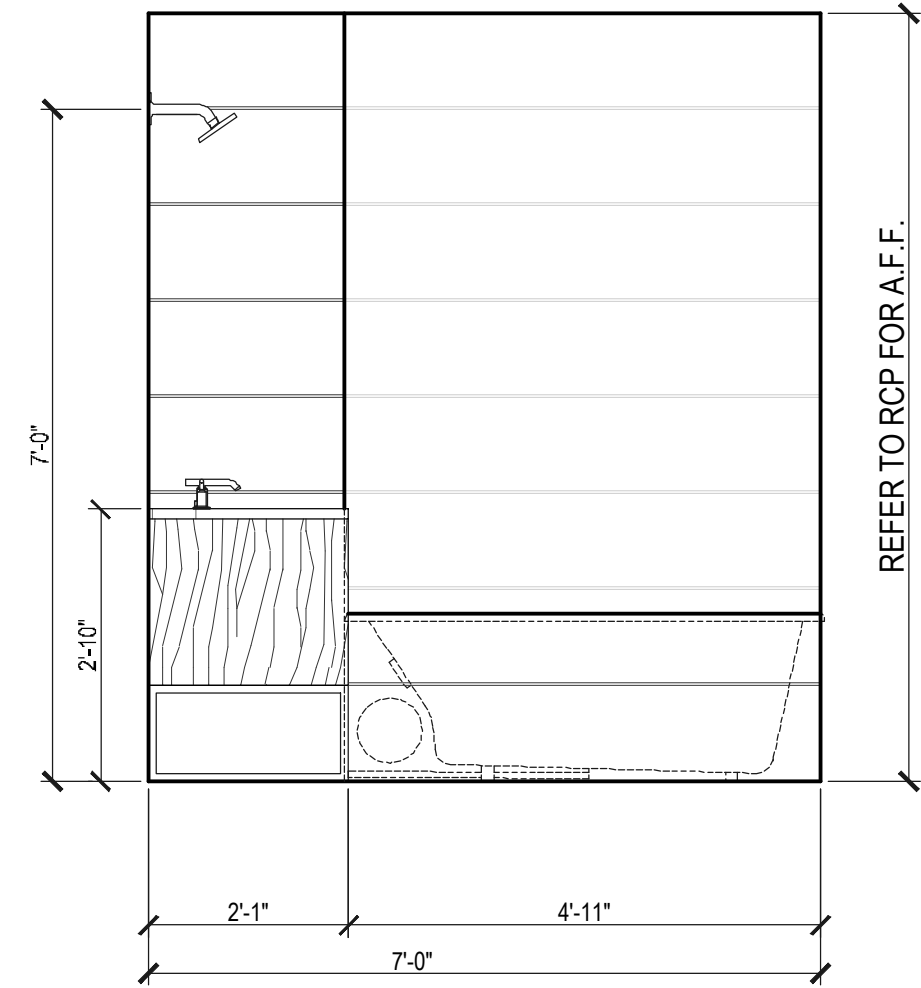
PLAN T001 S001  
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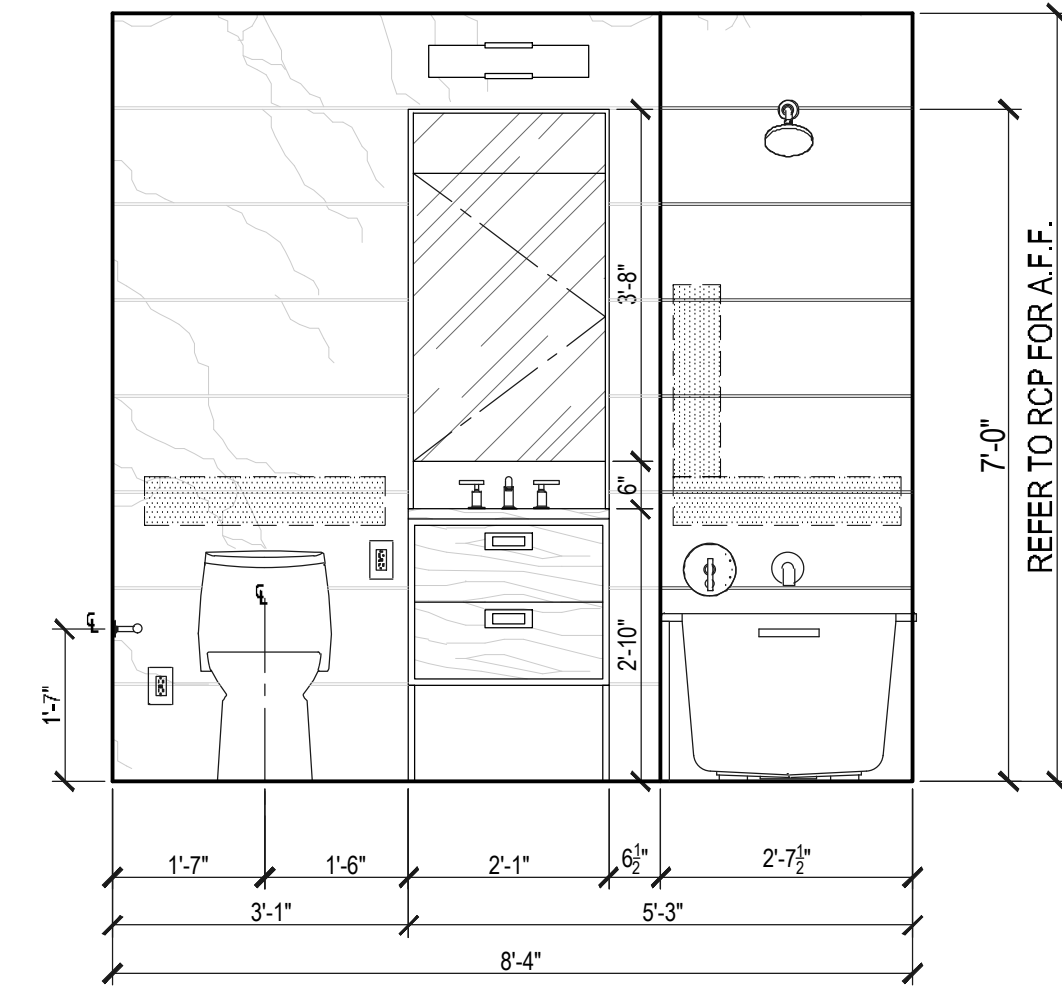
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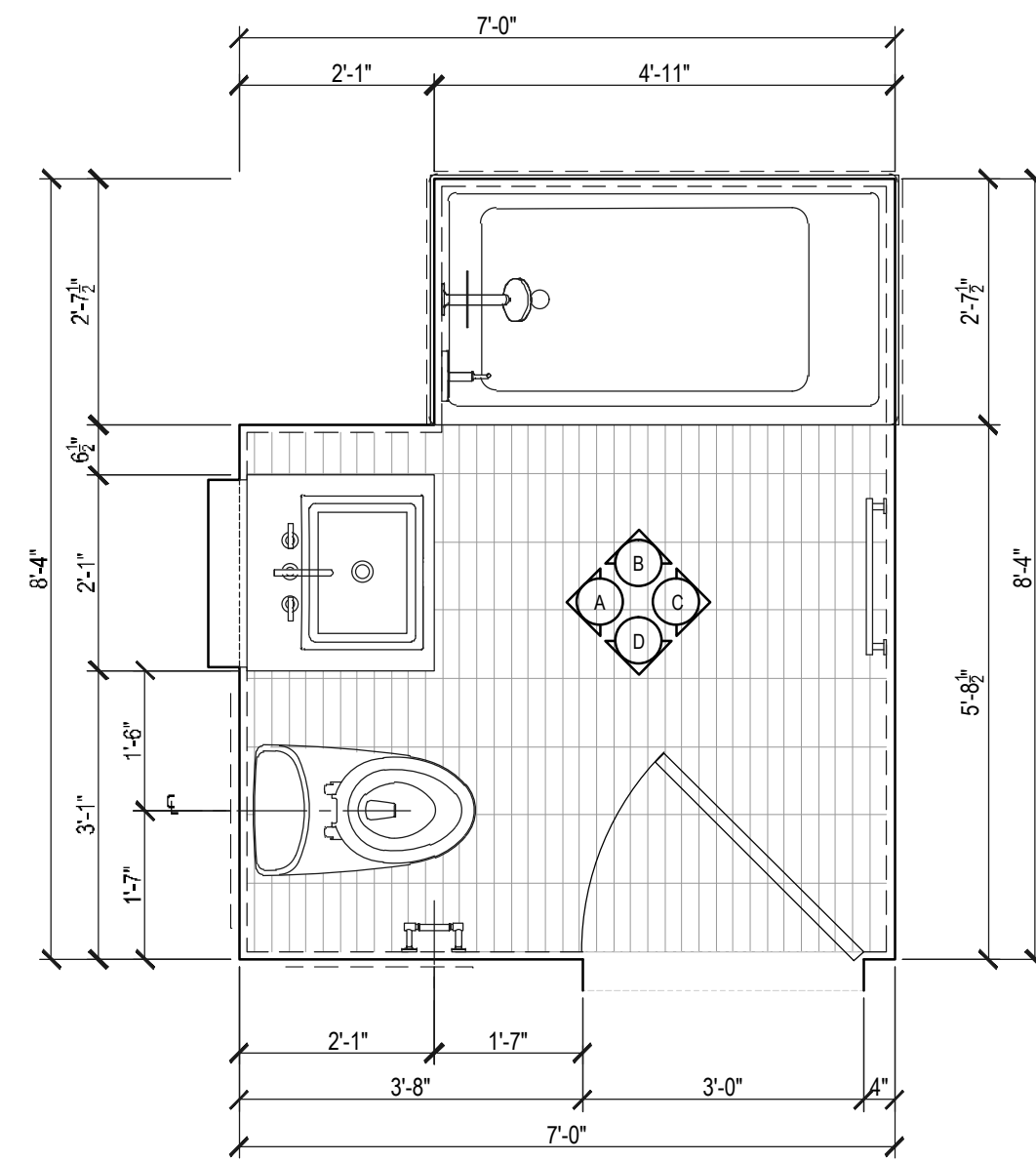
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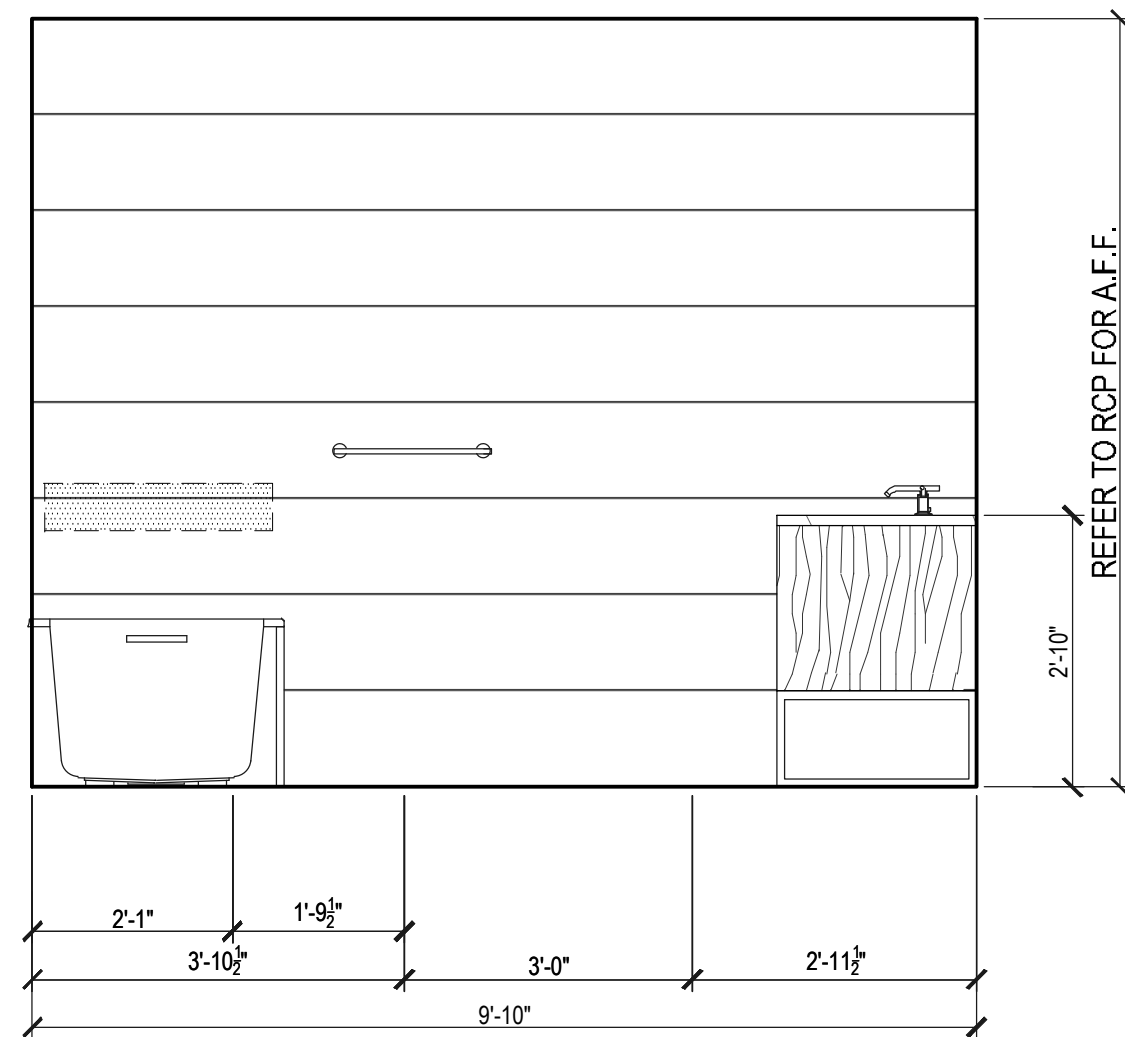
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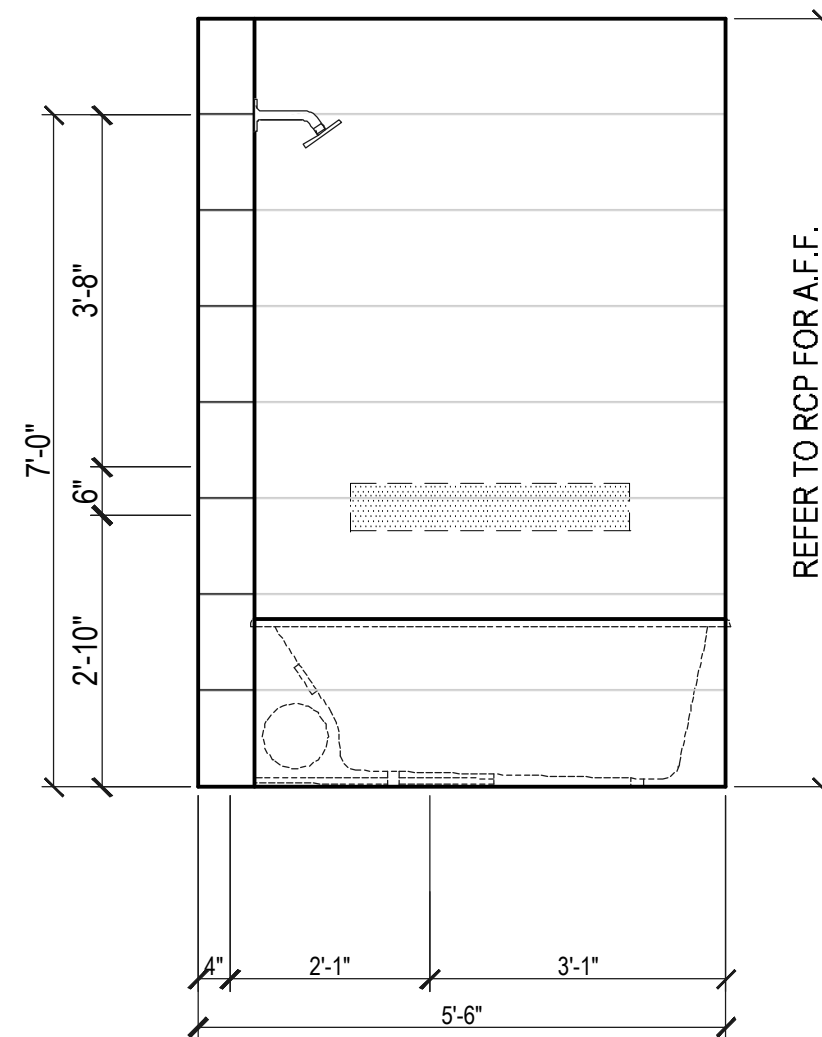
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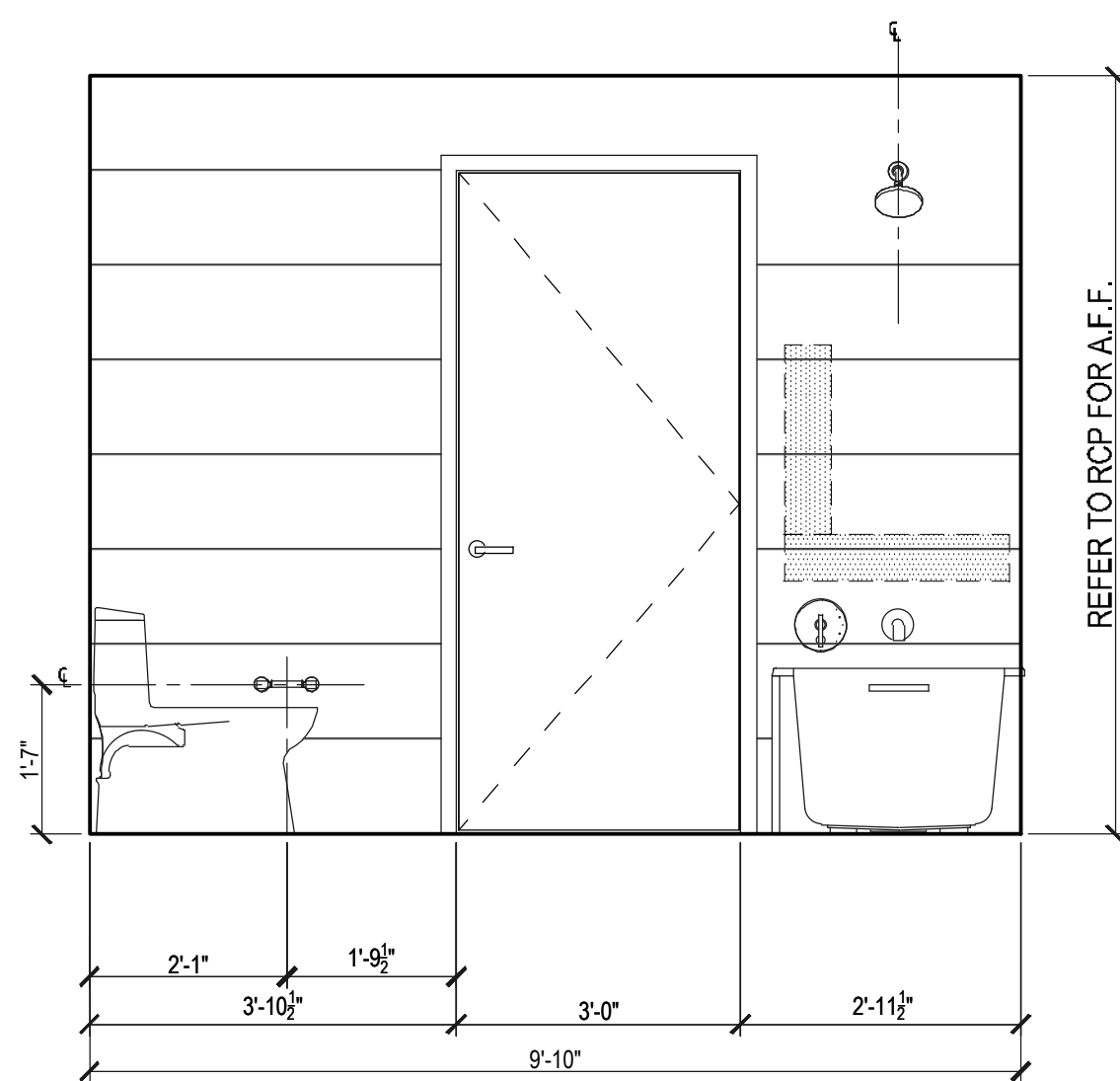
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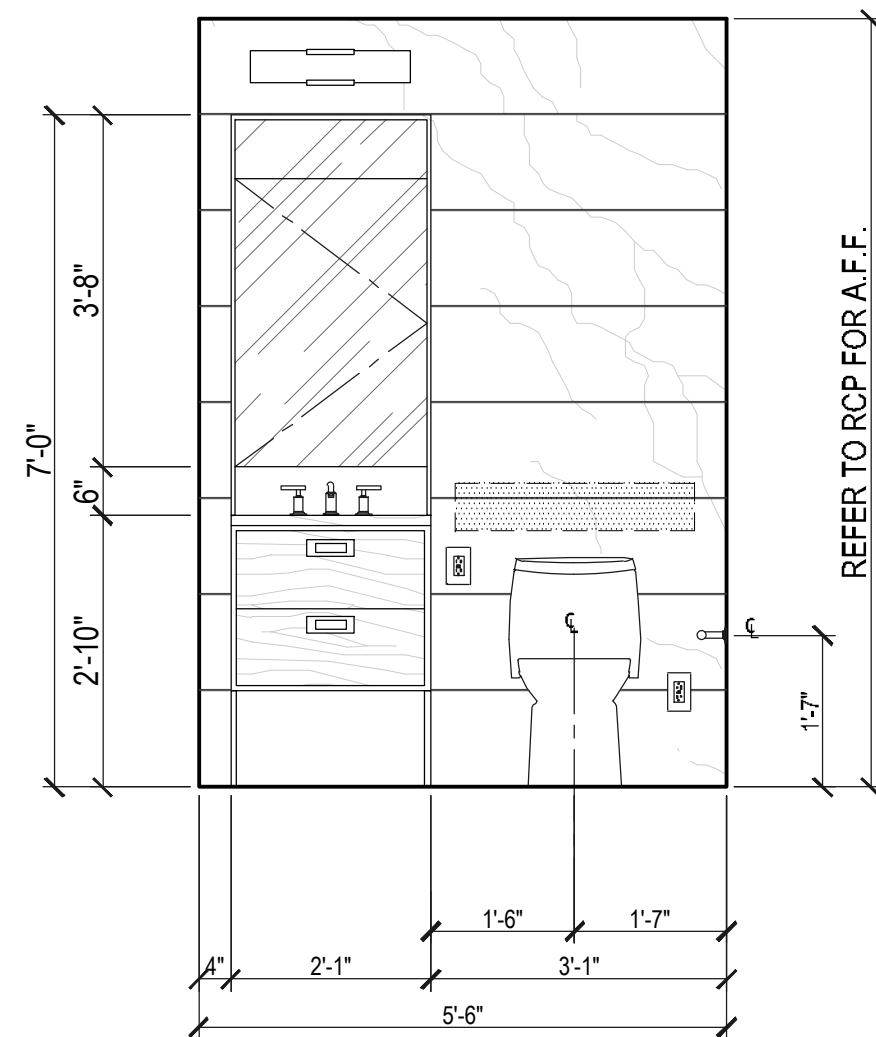
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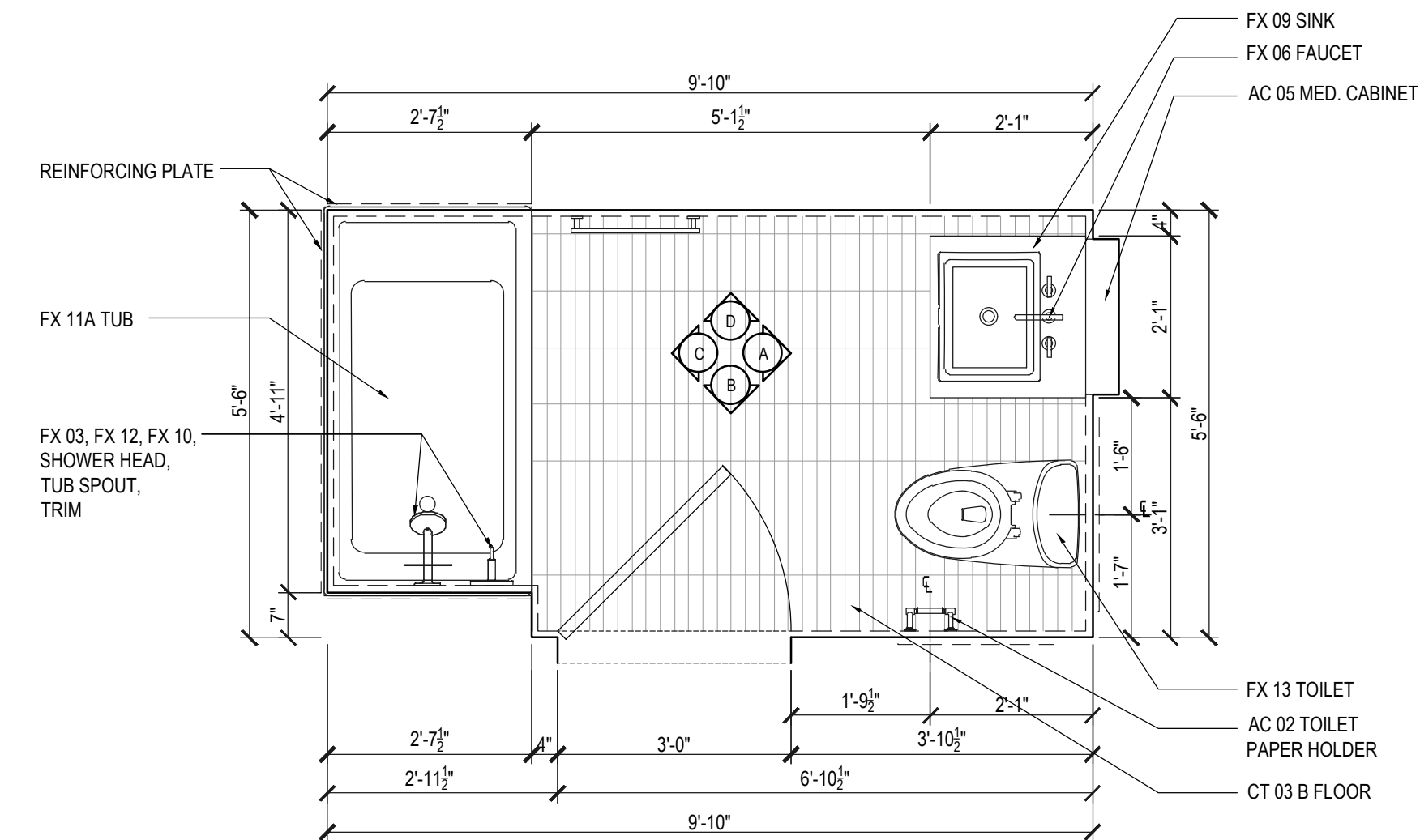
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ELEVATION A  
Scale: 1/2"=1'



ELEVATION A  
Scale: 1/2"=1'



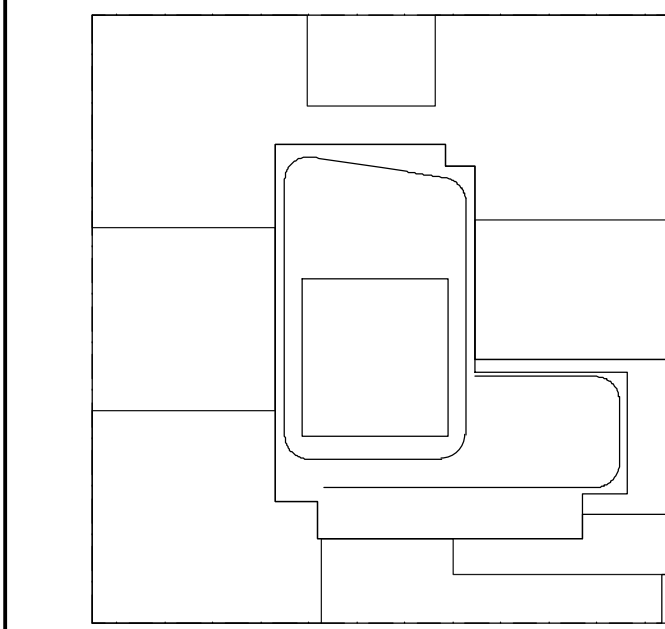
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FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
3RD	02.03.04.05.06.07.08.10.12.13.14.15.16.17.18	ID TYPE-SA (SEE ID DRAWINGS)	A-103
4TH	02.03.04.05.06.07.08.10.12.13.14.15.16.17.18	ID TYPE-SA (SEE ID DRAWINGS)	A-104
5TH	03.04.05.06.07.08.11.15.16.17.18.19.20.22.23.24.25.26.27.30.31.32.33.34	ID TYPE-SA (SEE ID DRAWINGS)	A-105
6TH	03.04.05.06.07.08.11.15.16.17.18.19.20.22.23.24.25.26.27.30.31.32.33.34	ID TYPE-SA (SEE ID DRAWINGS)	A-106
7TH	02.03.05.06.07.08.09.10.11	ID TYPE-SA (SEE ID DRAWINGS)	A-107
8TH-19TH	02.03.05.06.07.08.09.10.11	ID TYPE-SA (SEE ID DRAWINGS)	A-108

FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
20TH-35TH	02.03.05.06.07.08.09.10.11	ID TYPE-SA (SEE ID DRAWINGS)	A-110
37TH	01.02.03.05.07.08.09.10.12	ID TYPE-SA (SEE ID DRAWINGS)	A-111
38TH-50TH	01.02.03.05.07.08.09.10.12	ID TYPE-SA (SEE ID DRAWINGS)	A-112
51ST-61ST	01.02.03.05.07.08.09.10.12	ID TYPE-SA (SEE ID DRAWINGS)	A-113
62ND	01.02.03.07.08.09.10.12	ID TYPE-SA (SEE ID DRAWINGS)	A-114
63RD-66TH	01.02.03.09	ID TYPE-SA (SEE ID DRAWINGS)	A-115

FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
3RD	01.08.11	ID TYPE-SA (SEE ID DRAWINGS)	A-103
4TH	01.08.11	ID TYPE-SA (SEE ID DRAWINGS)	A-104
5TH	02.12.13.14.28.29	ID TYPE-SA (SEE ID DRAWINGS)	A-105
6TH	02.12.13.14.28.29	ID TYPE-SA (SEE ID DRAWINGS)	A-106
7TH	01.04	ID TYPE-SA (SEE ID DRAWINGS)	A-107
8TH-19TH	01.04.12	ID TYPE-SA (SEE ID DRAWINGS)	A-108

FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
20TH-35TH	01.04.12	ID TYPE-SA (SEE ID DRAWINGS)	A-110
37TH	04.05	ID TYPE-SA (SEE ID DRAWINGS)	A-111
38TH-50TH	04.05	ID TYPE-SA (SEE ID DRAWINGS)	A-112
51ST-61ST	04.05	ID TYPE-SA (SEE ID DRAWINGS)	A-113
62ND	04.05	ID TYPE-SA (SEE ID DRAWINGS)	A-114
63RD-66TH	04.05	ID TYPE-SA (SEE ID DRAWINGS)	A-115



NOTES:  
1. SUBMIT SHOP DRAWINGS AND MOCK-UPS FOR INTERIOR DESIGNER & OWNER APPROVAL PRIOR TO FABRICATION.

NOT FOR CONSTRUCTION

10/08/2017 ISSUED FOR DOB  
09/10/2017 90% CD SET  
04/02/2017 60% CD SET  
02/04/2017 50% CD SET  
03/10/2017 ISSUED FOR DOB  
02/14/2017 ISSUED FOR DOB  
01/07/2017 SUPERSTRUCTURE SET  
01/02/2017 ISSUED FOR DOB  
11/17/2016 FACILE PHASE SET  
11/11/2016 100% EDITIONARY DOB SET  
10/12/2016 ISSUED FOR DOB

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

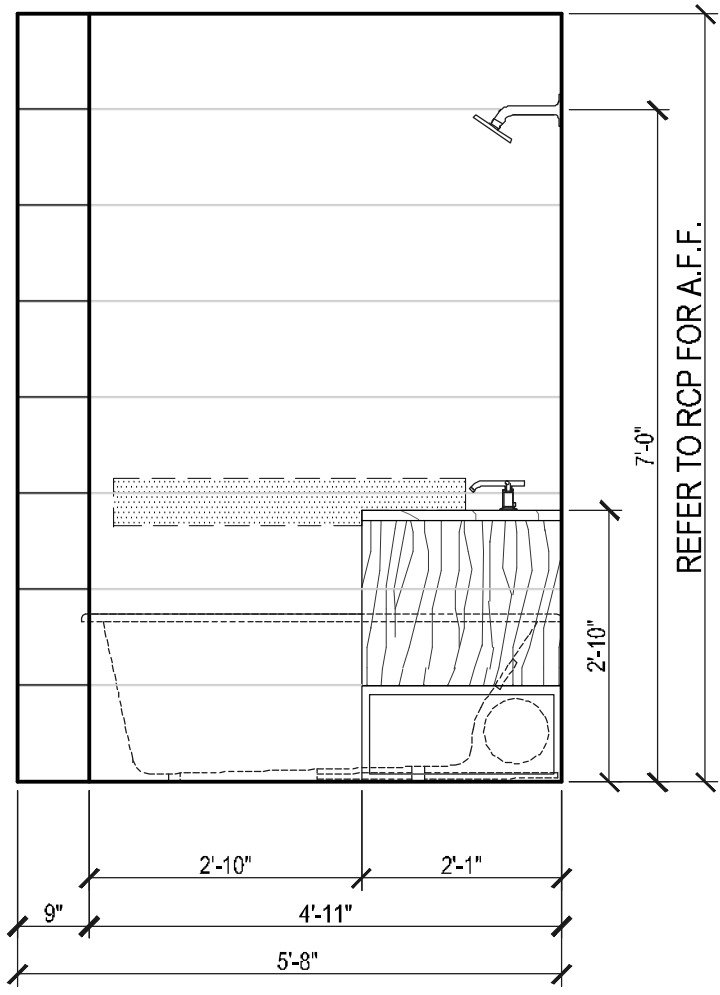
DOB STAMPS & SIGNATURES:

DWG TITLE:  
SECONDARY BATHROOM  
PLANS & ELEVATIONS

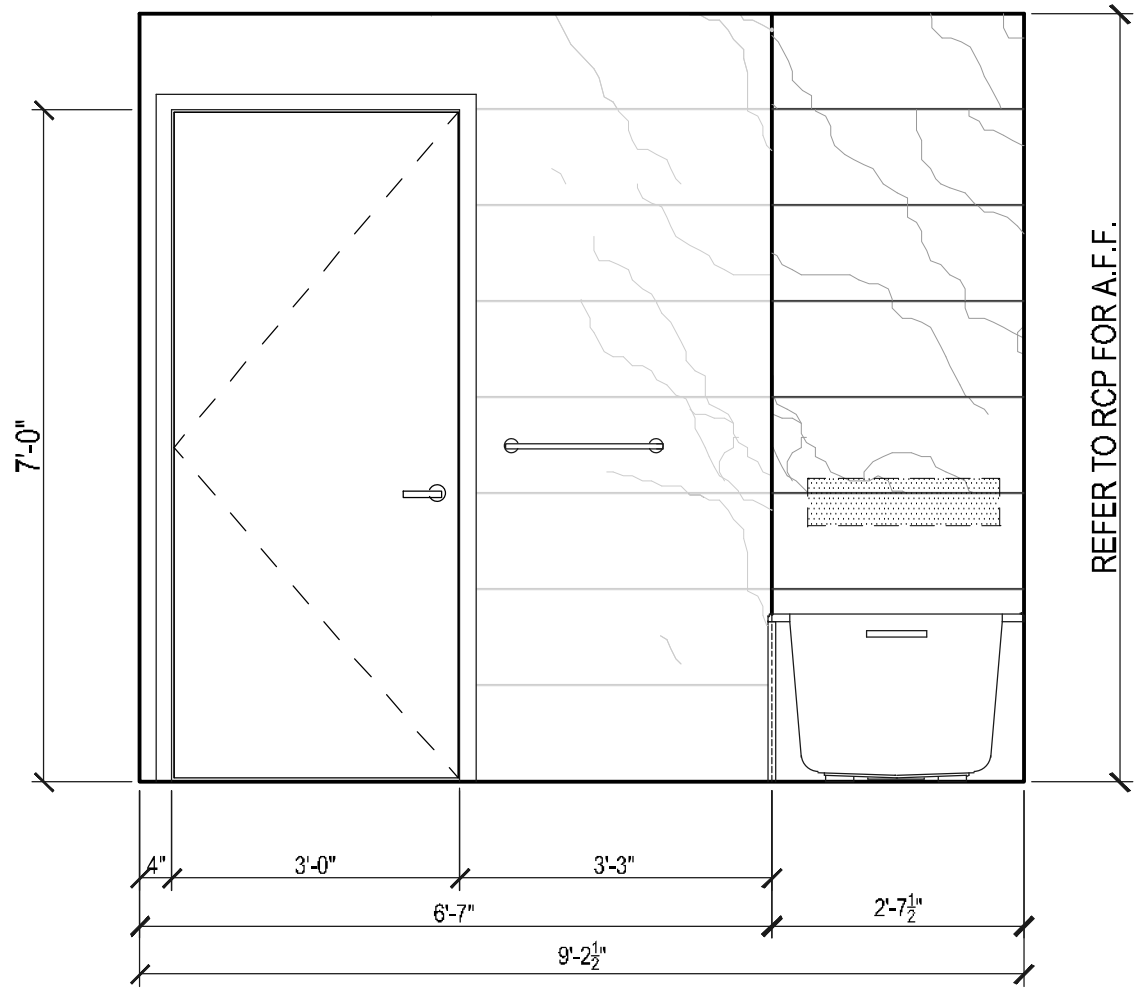
SEAL & SIGNATURE: PROJECTED ARCHITECT  
DATE: 10/08/2017  
PROJECT #: 15412  
SCALE: AS NOTED  
A-605.00  
DWG NO.

FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
63RD-66TH	06	ID TYPE-SB (SEE ID DRAWINGS)	A-115

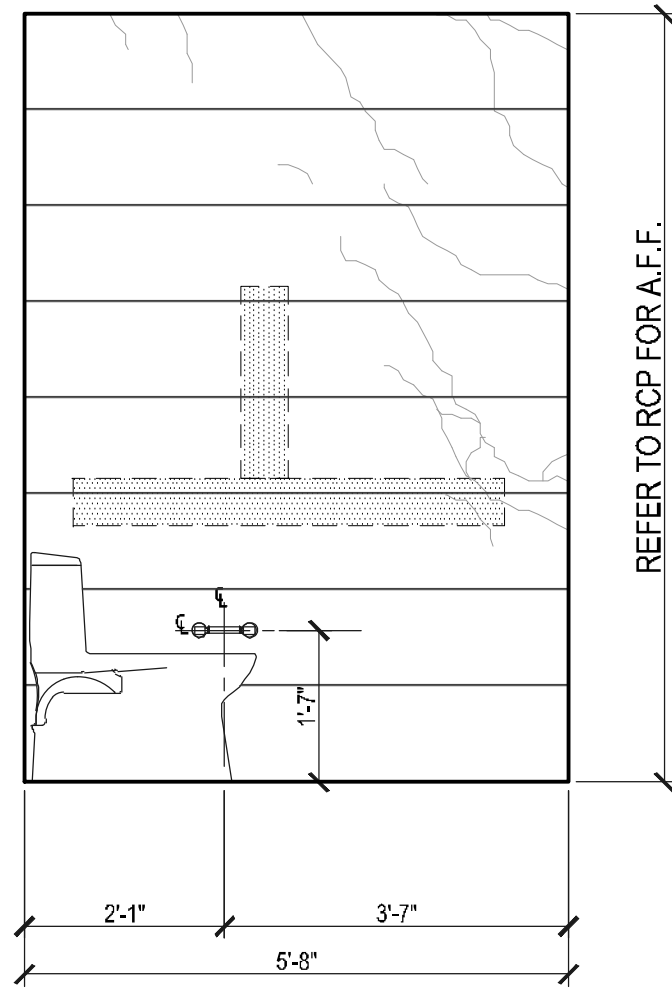




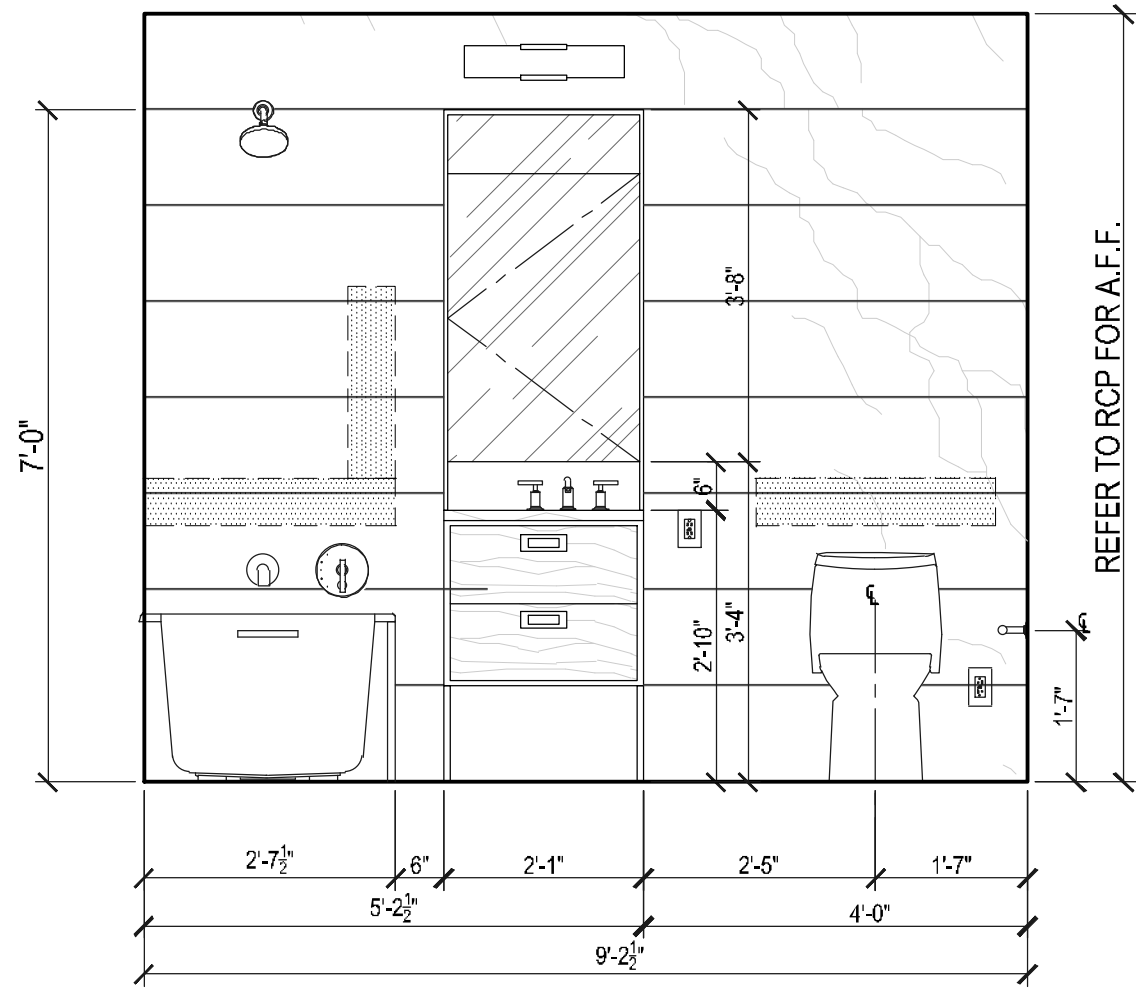
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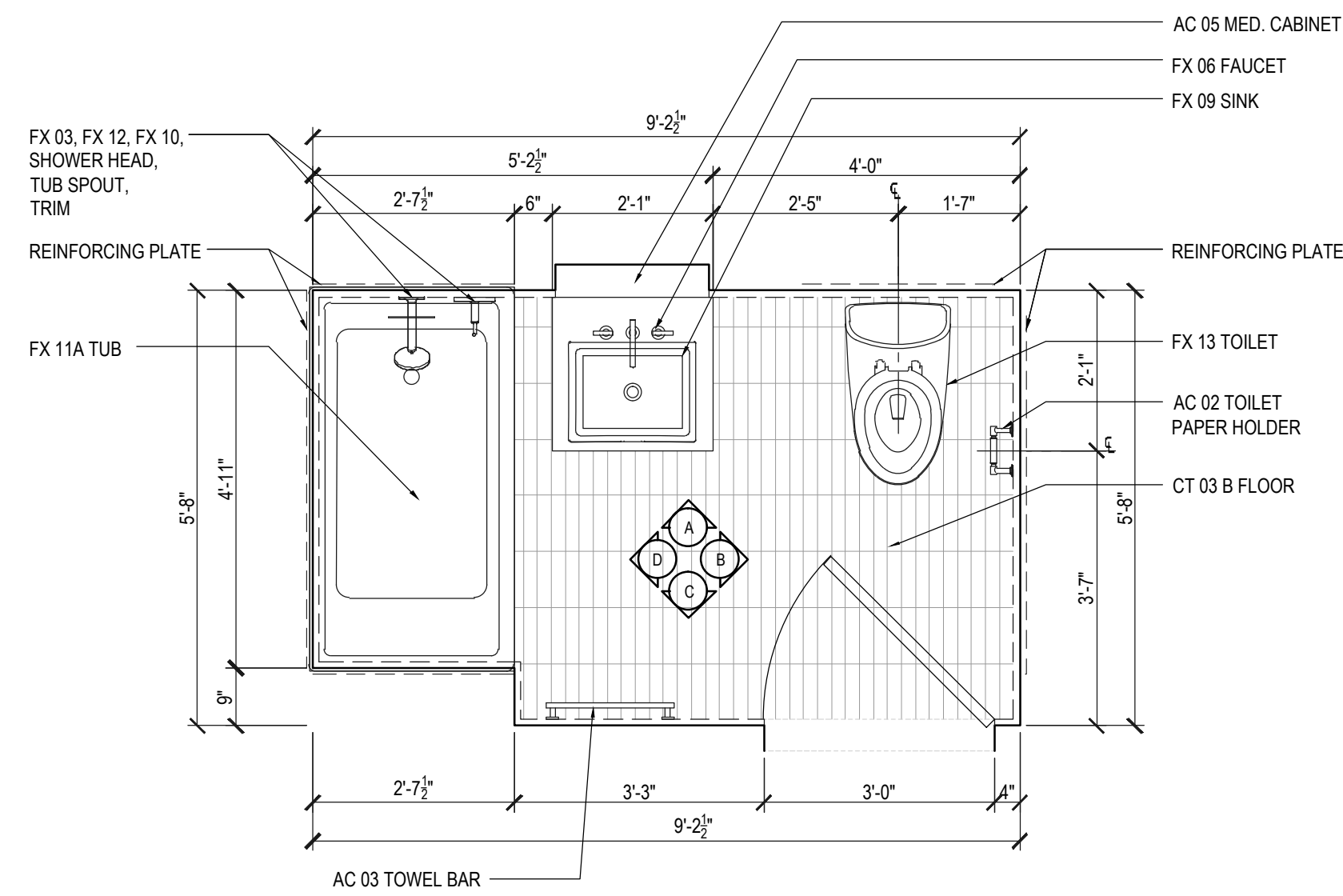
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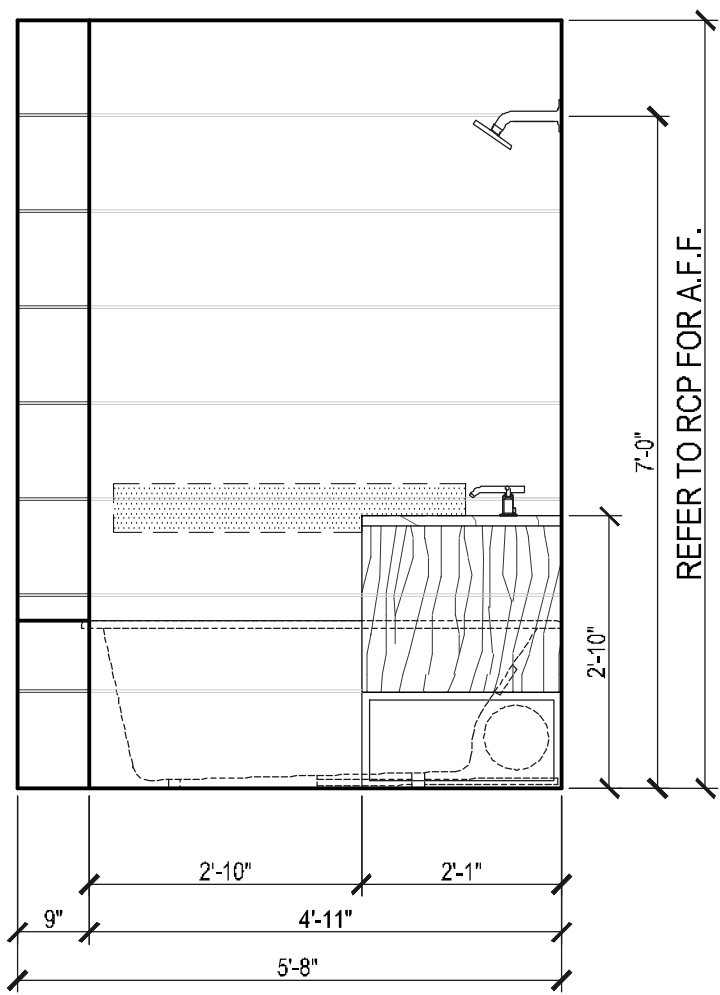
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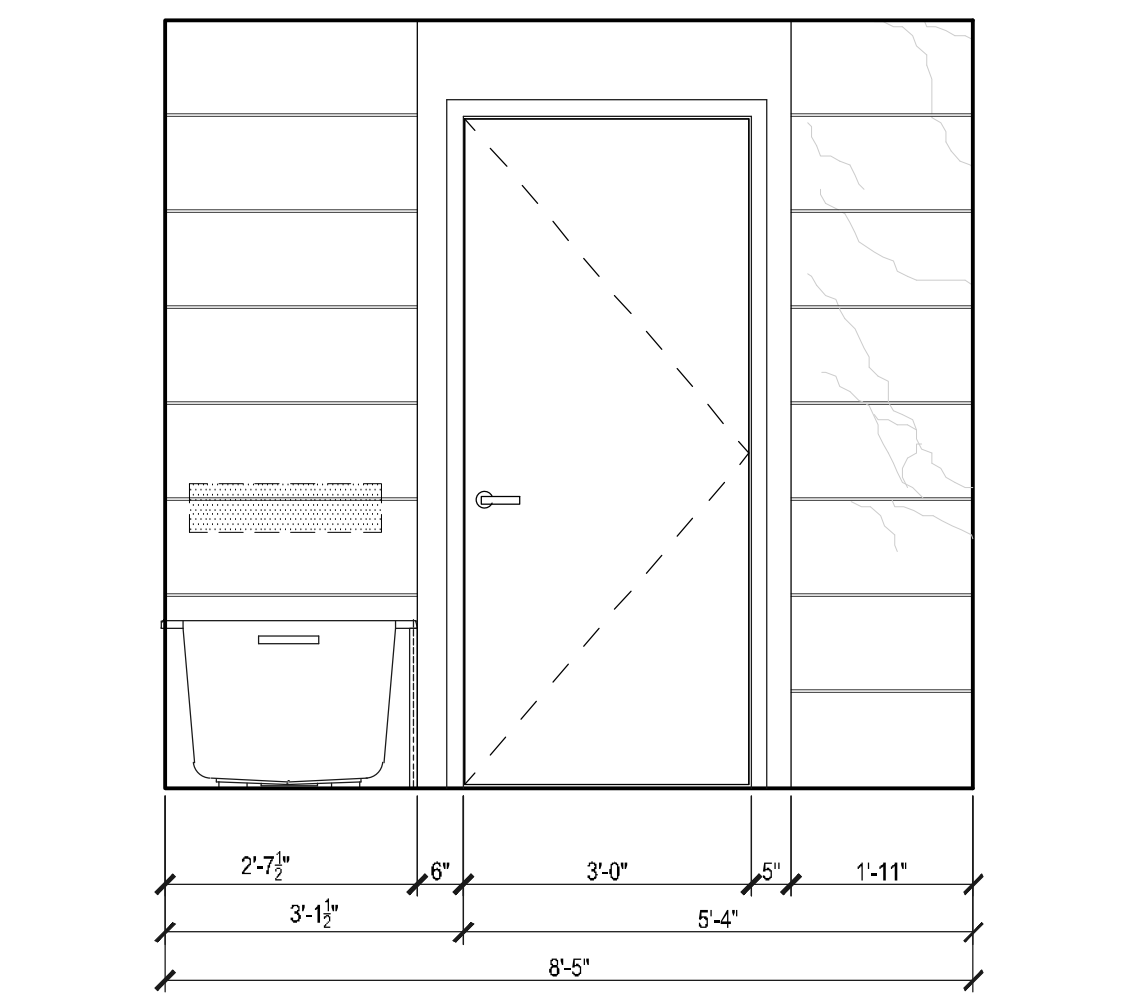
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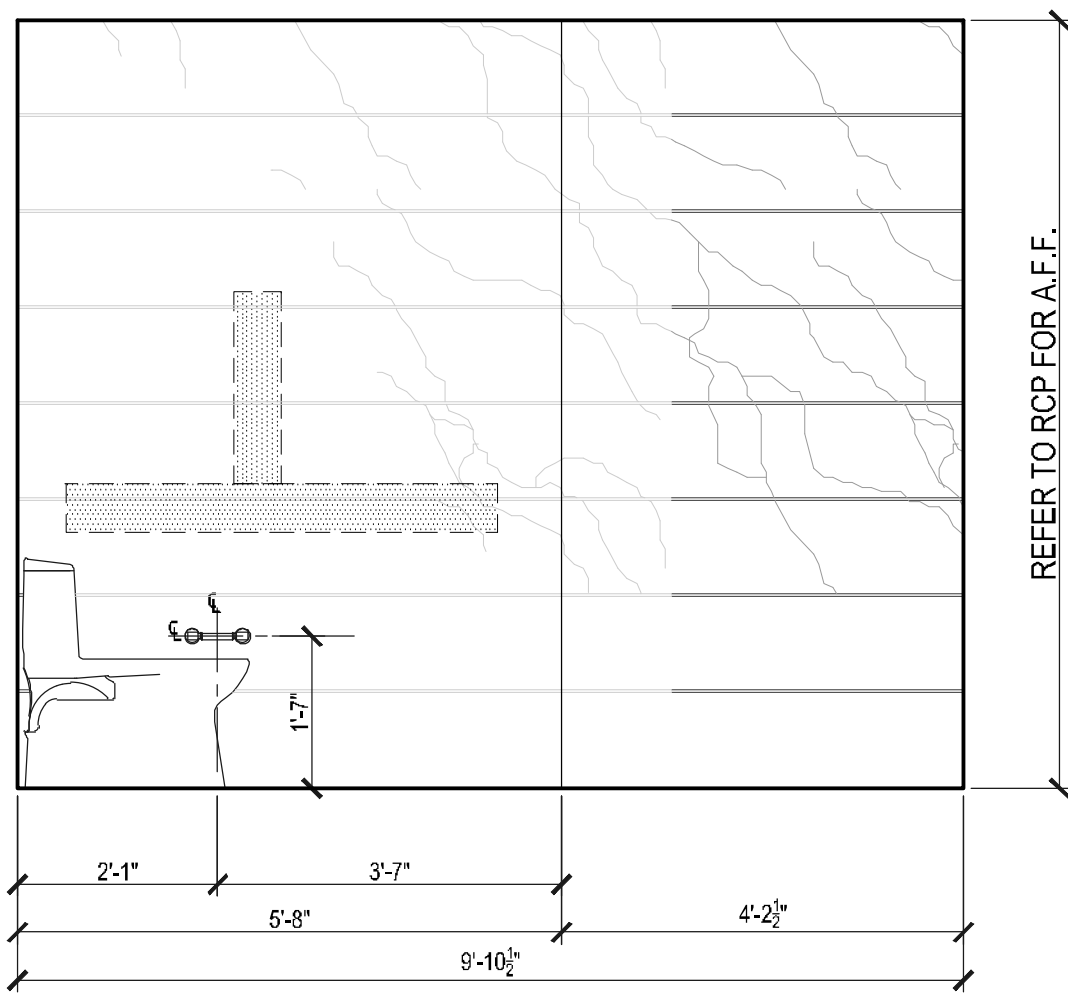
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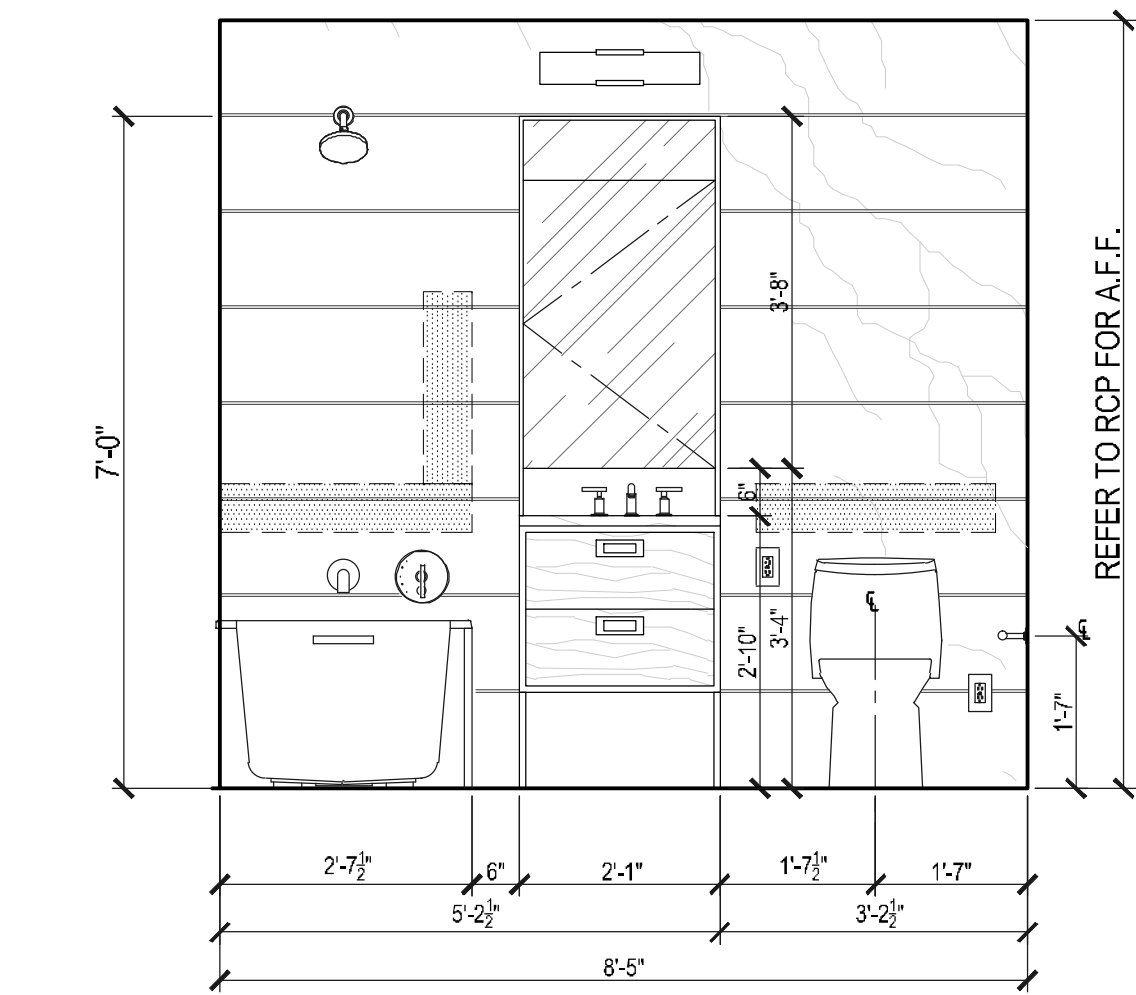
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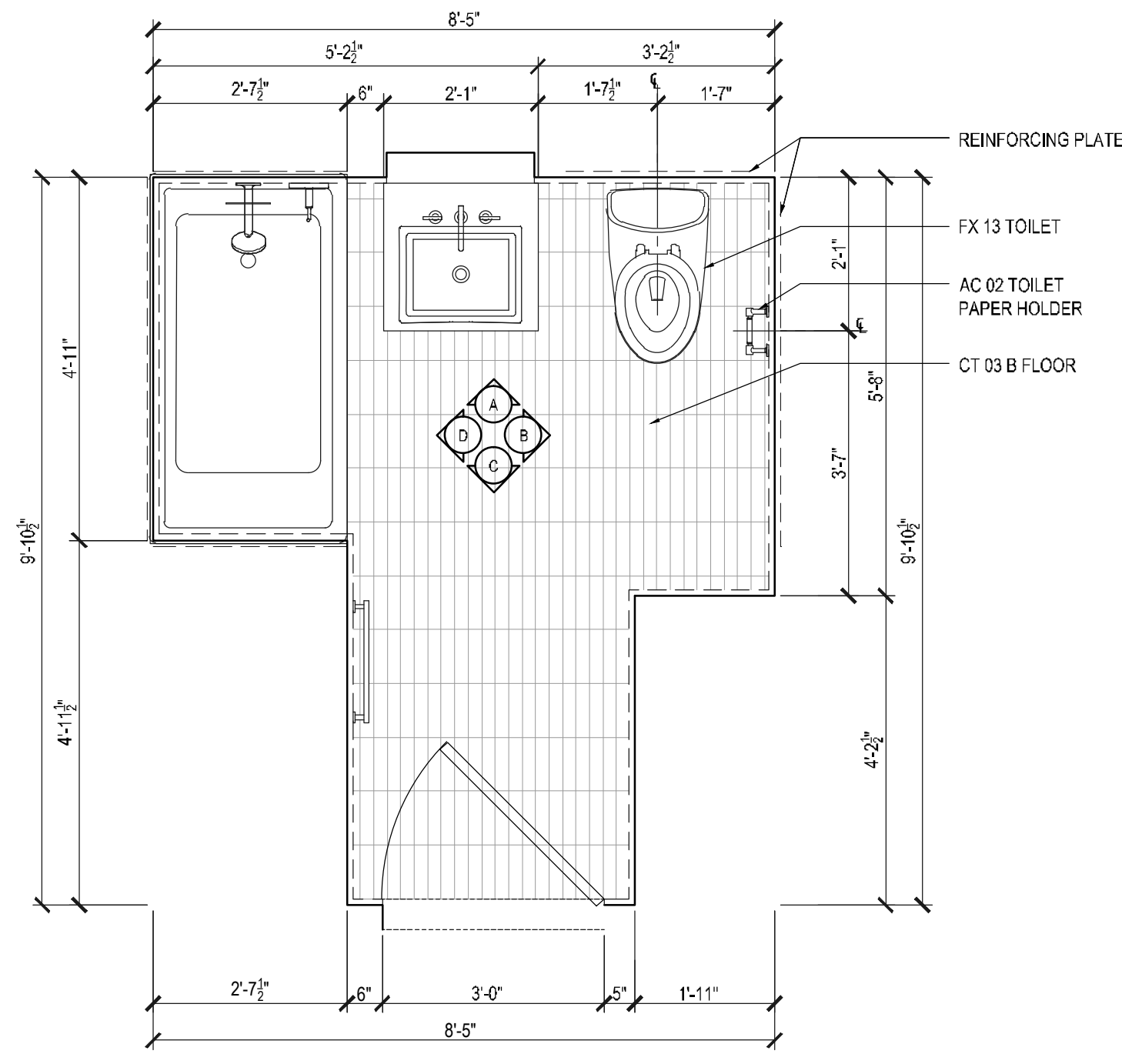
ELEVATION C  
Scale: 1/2"=1'



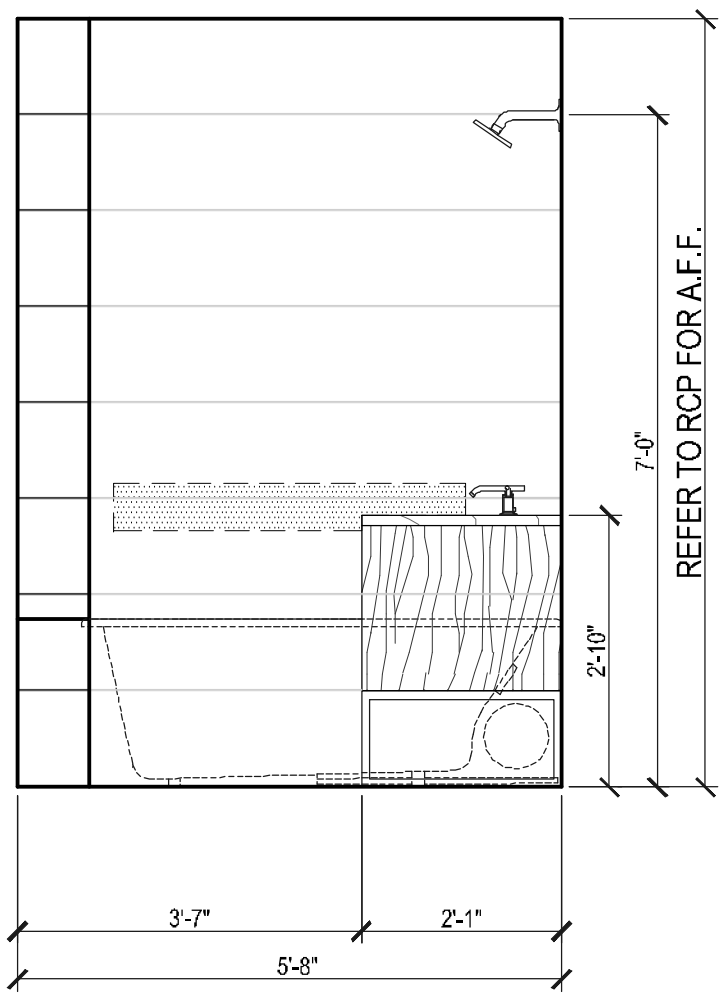
ELEVATION C  
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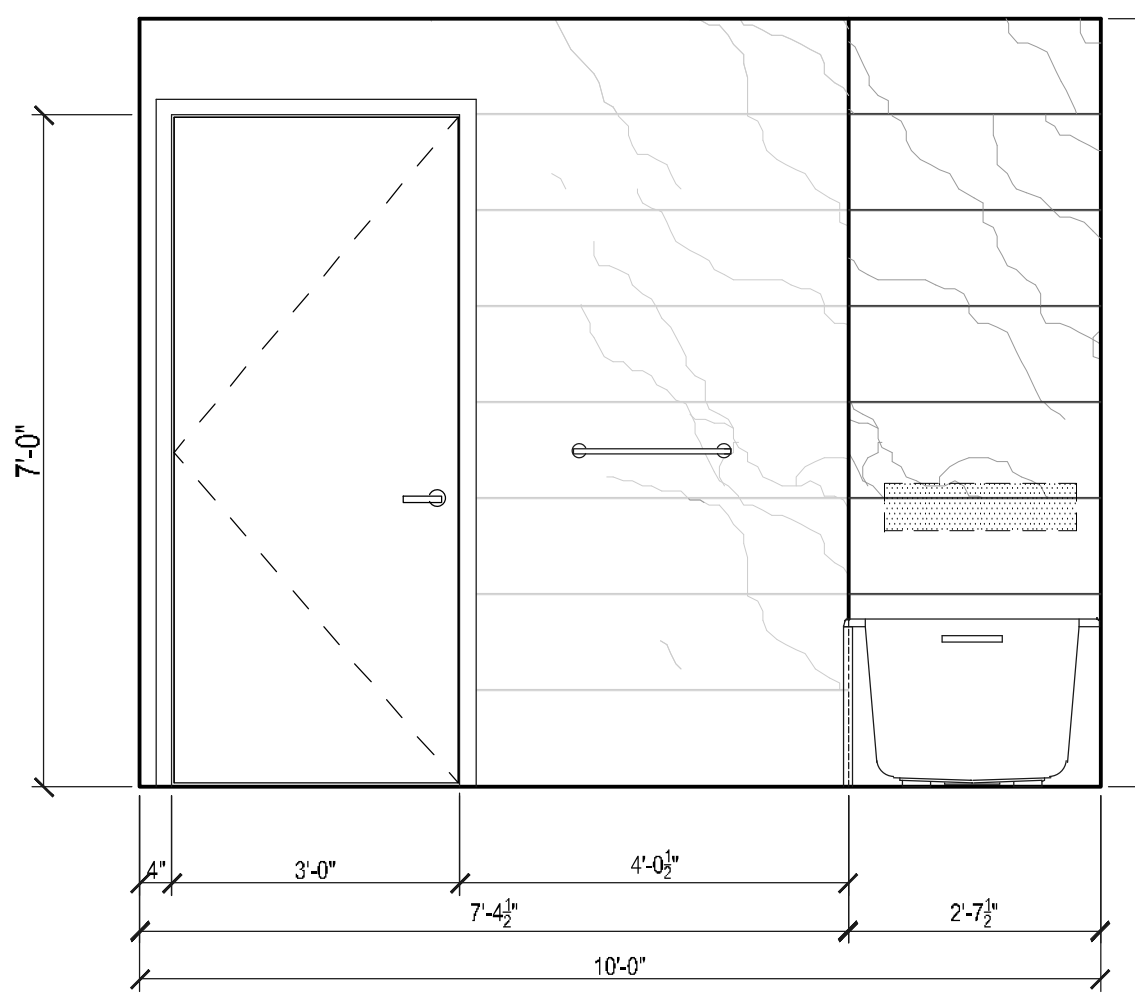
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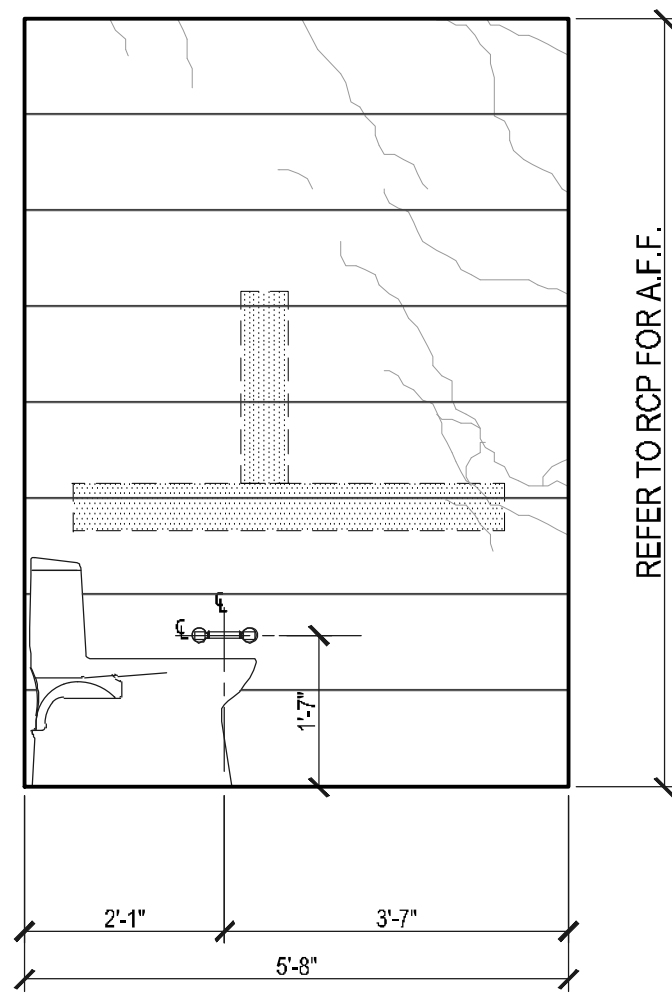
PLAN T001 S004  
Scale: 1/2"=1'



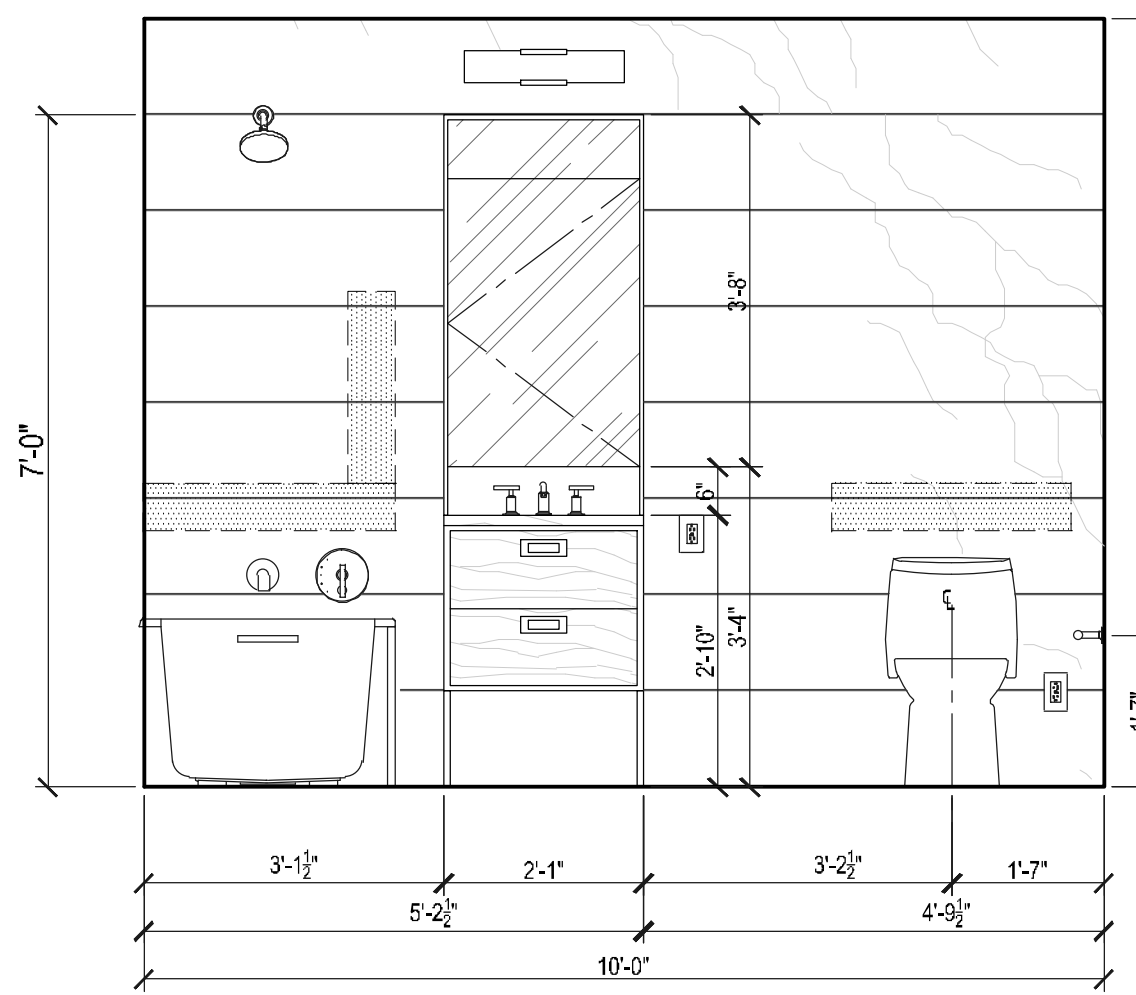
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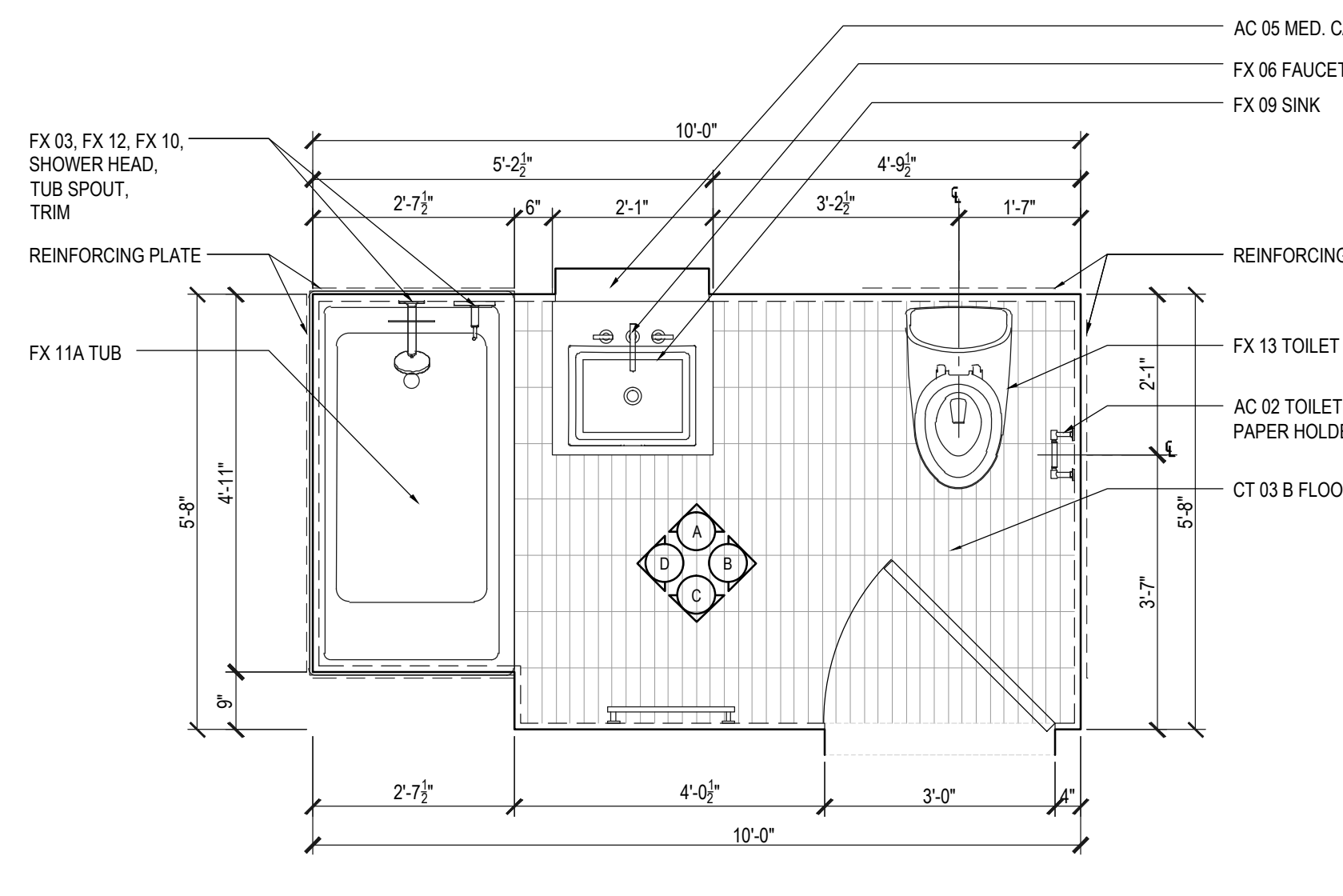
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Scale: 1/2"=1'



ELEVATION C  
Scale: 1/2"=1'



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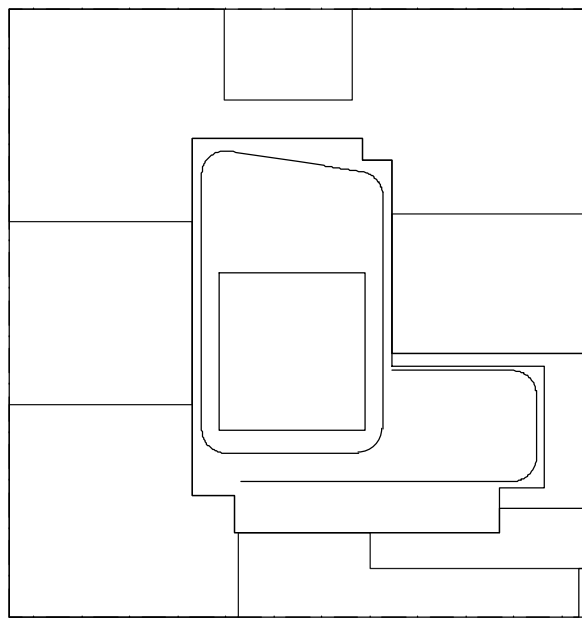


PLAN T001 S004  
Scale: 1/2"=1'

APPENDIX P BATHROOM		DIMENSIONS ARE TO FINISH GYPSUM BOARD, TYP.	
FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
37TH	11	ID TYPE-SA (SEE ID DRAWINGS)	A-111
38TH-60TH	11	ID TYPE-SA (SEE ID DRAWINGS)	A-112
51ST-61ST	11	ID TYPE-SA (SEE ID DRAWINGS)	A-113
62ND	11	ID TYPE-SA (SEE ID DRAWINGS)	A-114
63RD-66TH	08	ID TYPE-SA (SEE ID DRAWINGS)	A-115

APPENDIX P BATHROOM		DIMENSIONS ARE TO FINISH GYPSUM BOARD, TYP.	
FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
5TH	01	ID TYPE-SA (SEE ID DRAWINGS)	A-105

APPENDIX P BATHROOM		DIMENSIONS ARE TO FINISH GYPSUM BOARD, TYP.	
FLOOR	APARTMENT(S)	REMARKS (CHECK PLANS FOR ORIENTATION)	PLAN
20TH-35TH	07	ID TYPE-SA (SEE ID DRAWINGS)	A-109



NOTES:  
1. SUBMIT SHOP DRAWINGS AND MOCK-UPS FOR INTERIOR DESIGNER & OWNER APPROVAL PRIOR TO FABRICATION.

NOT FOR CONSTRUCTION

10/06/2017	ISSUED FOR DOB
09/10/2017	90% CD SET AND #3
08/02/2017	60% CD SET
02/04/2017	90% CD SET
03/07/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/02/2017	ISSUED FOR DOB
11/07/2016	FAUCET PHASE SET
11/01/2016	100% KITCHEN AND BATH SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB PLUMB SET

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

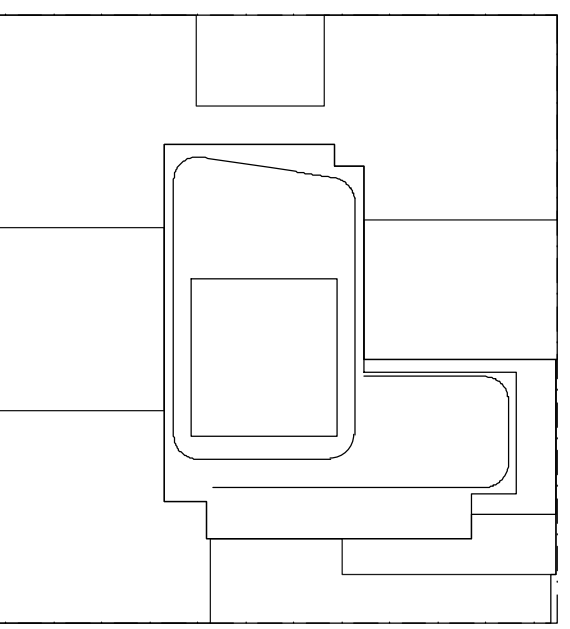
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:  
SECONDARY BATHROOM  
PLANS & ELEVATIONS

SEAL & SIGNATURE:  
REGISTERED ARCHITECT  
DATE: 10/06/2017  
PROJECT # 15412  
SCALE: AS NOTED  
A-606.00  
DWG NO. 066 OF 105





**NOTES:**

**NOTES:**  
SUBMIT SHOP DRAWINGS AND  
MOCK-UPS FOR INTERIOR  
DESIGNER & OWNER APPROVAL  
PRIOR TO FABRICATION.

NOT FOR CONSTRUCTION

1/06/2017	ISSUED FOR DOB
08/13/2017	90% CD SET /400 # 3
06/02/2017	60% CD SET
03/24/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FACILE PRINGING SET
11/11/2016	100% DO TO 100%470 END SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB PLING SET

Number:	Date:	Revision:
---------	-------	-----------

Project:

**City View Tower at  
Court Square**

23-15 44th Drive  
Long Island City, NY 11101

Client: **Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:

**HILL | WEST**  
**ARCHITECTS**  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:

**DESIMONE  
CONSULTING ENGINEERS**  
40 Broadway 25th Floor  
New York, NY, 10005  
212) 532-2211


**Cosentini Associates**  
w/ Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
212) 615-3600

**Whitehall**  
1 Broadway, 17th Floor  
New York, NY 10004  
212) 908-4940

STAMPS &amp; SIGNATURES:

# KITCHEN DETAILS 1

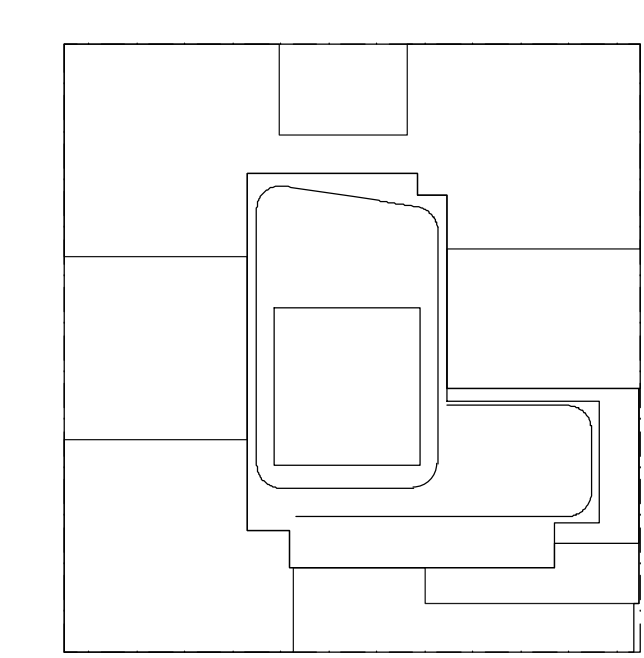
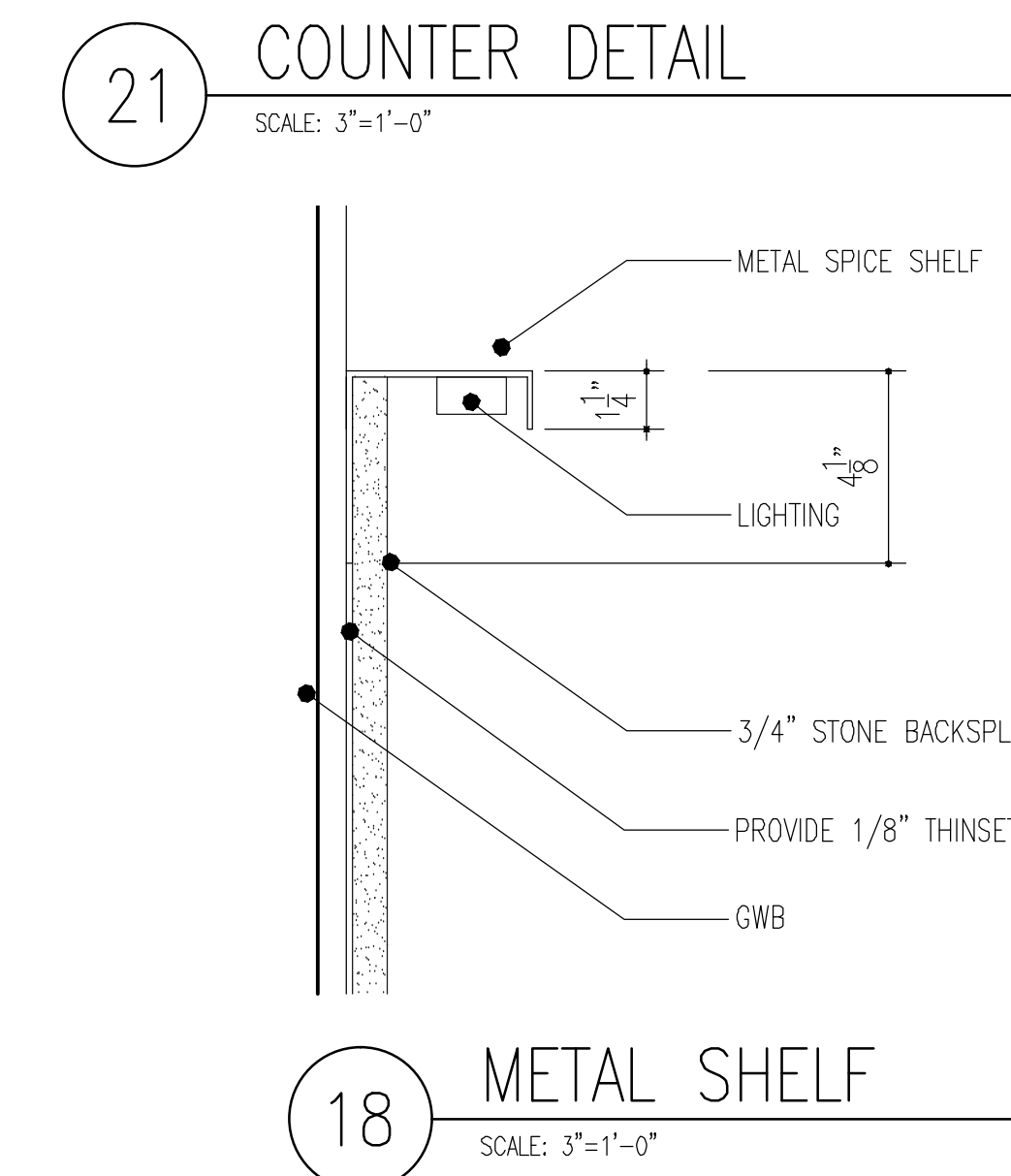
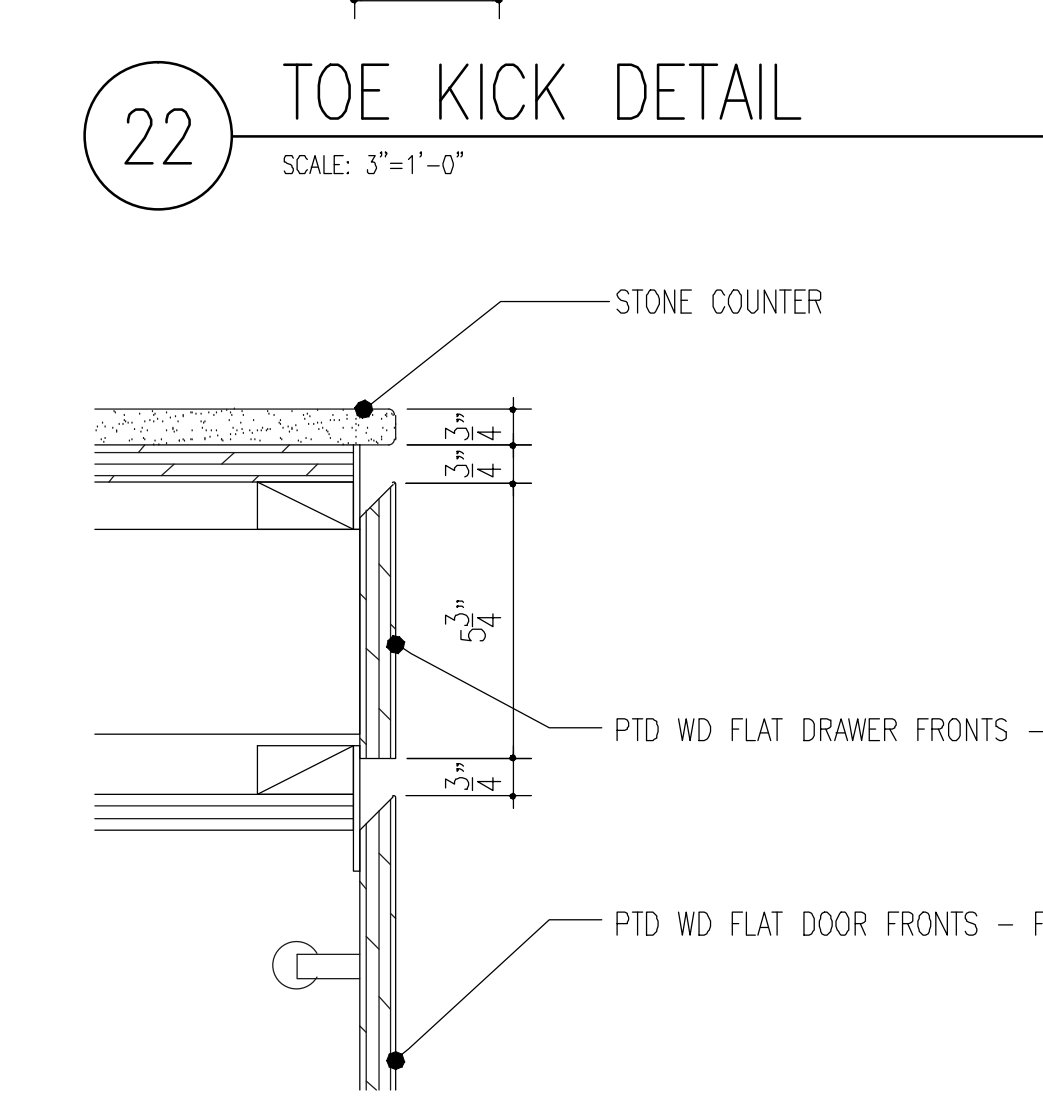
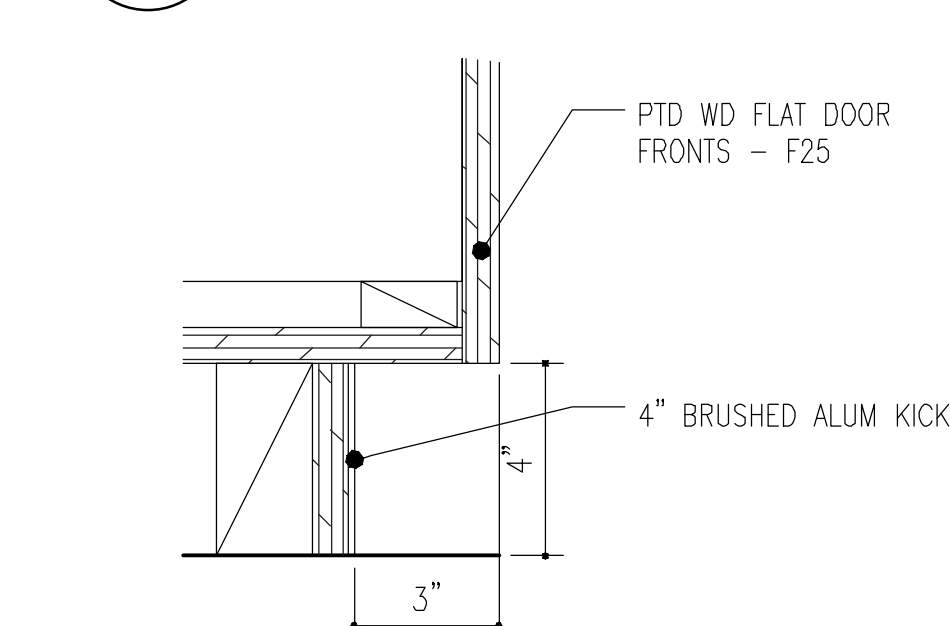
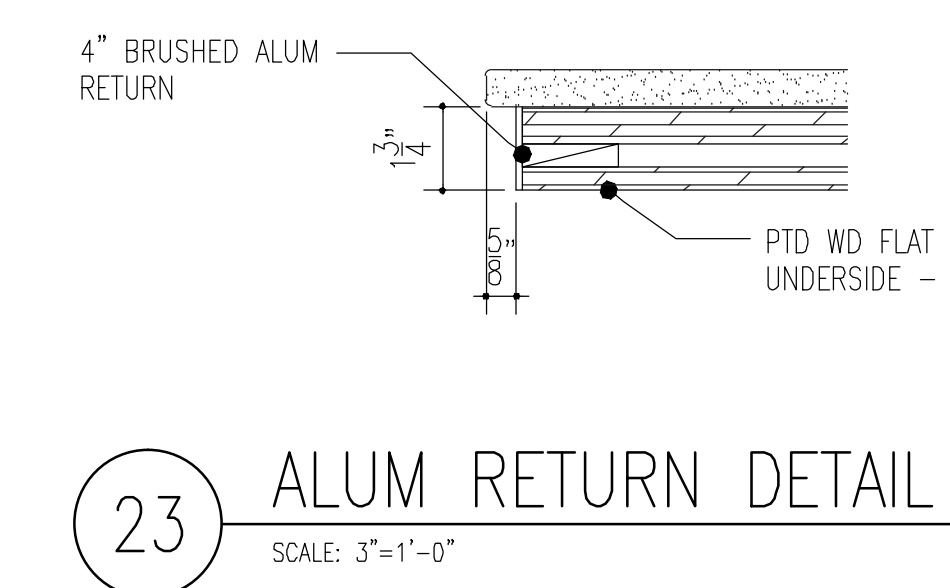
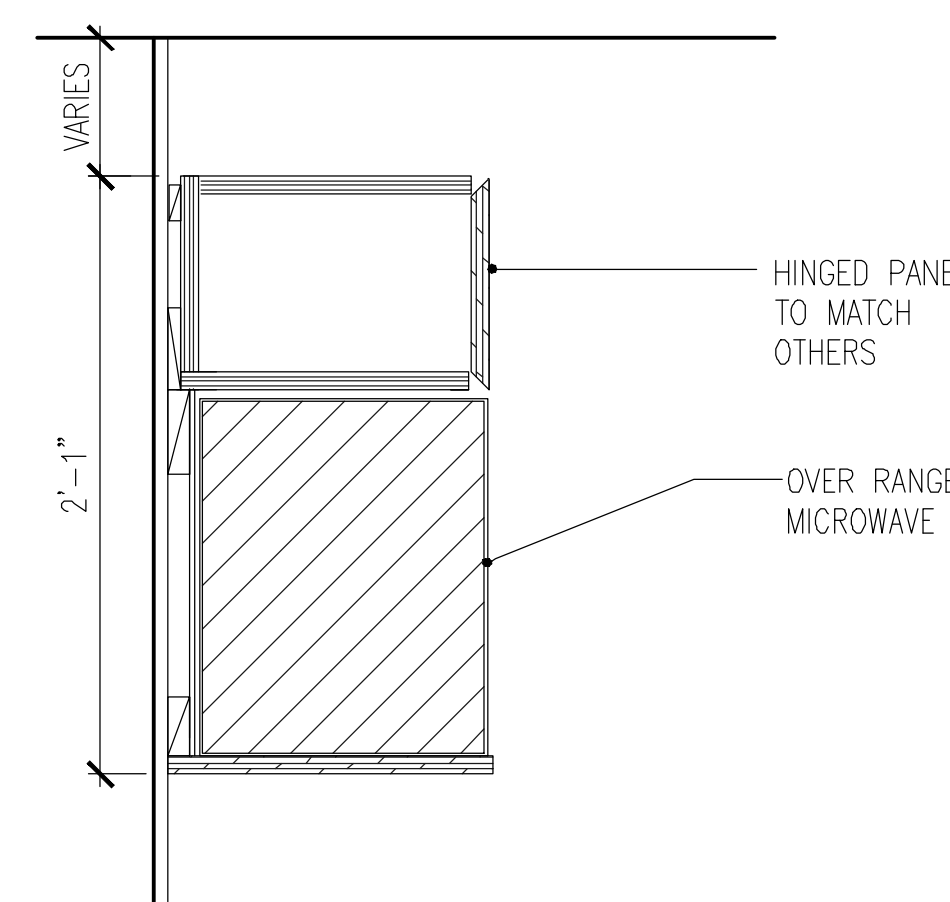
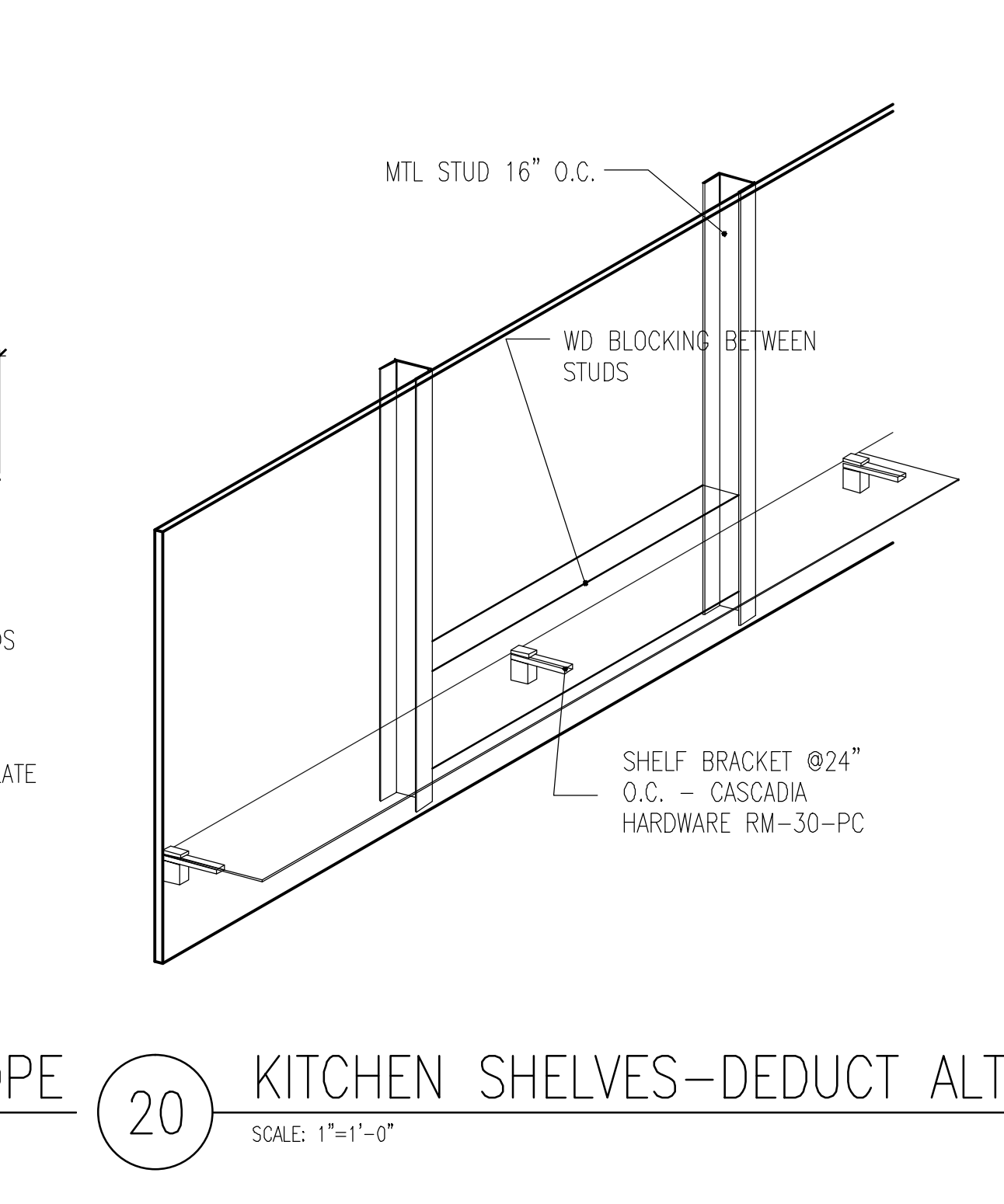
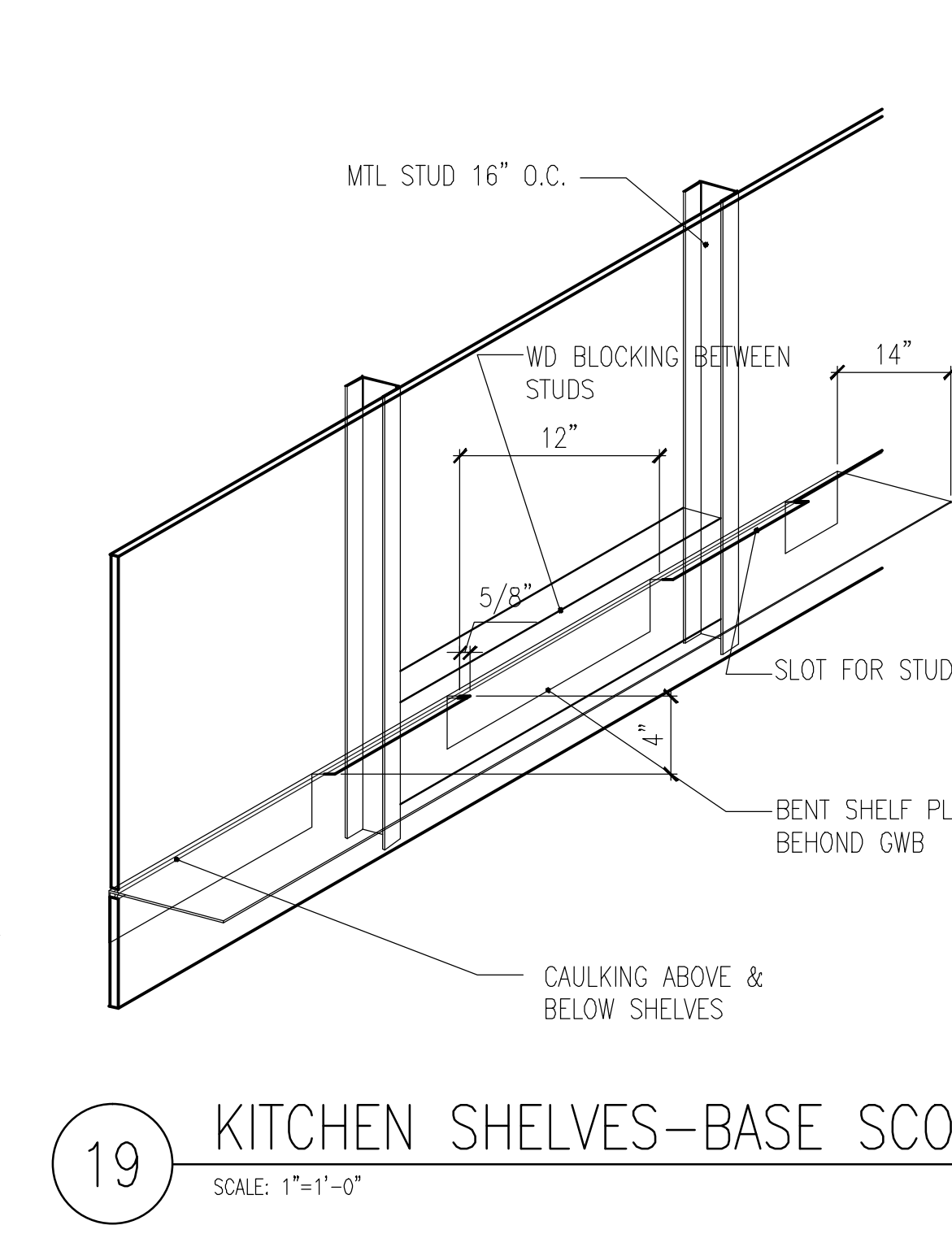
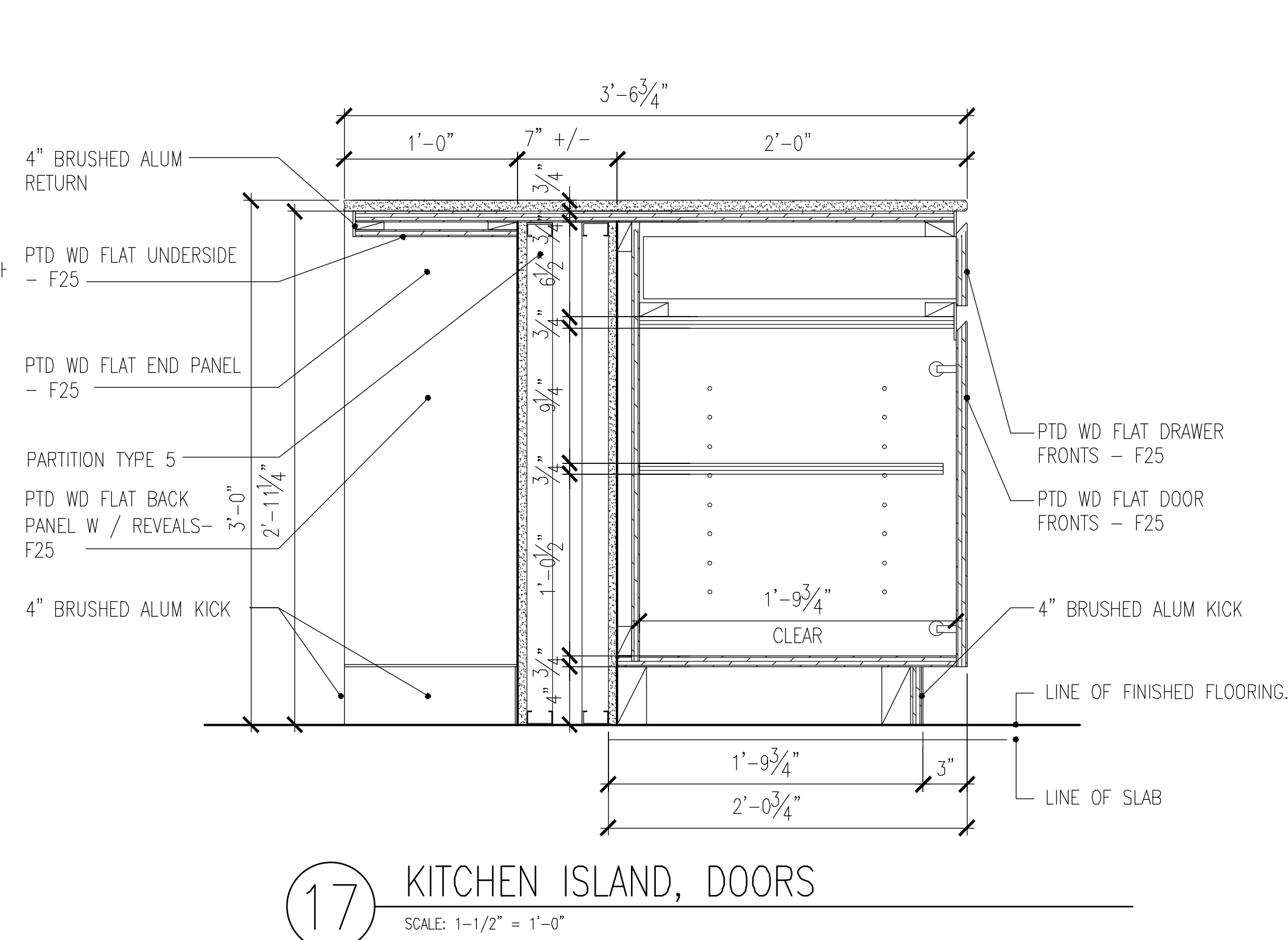
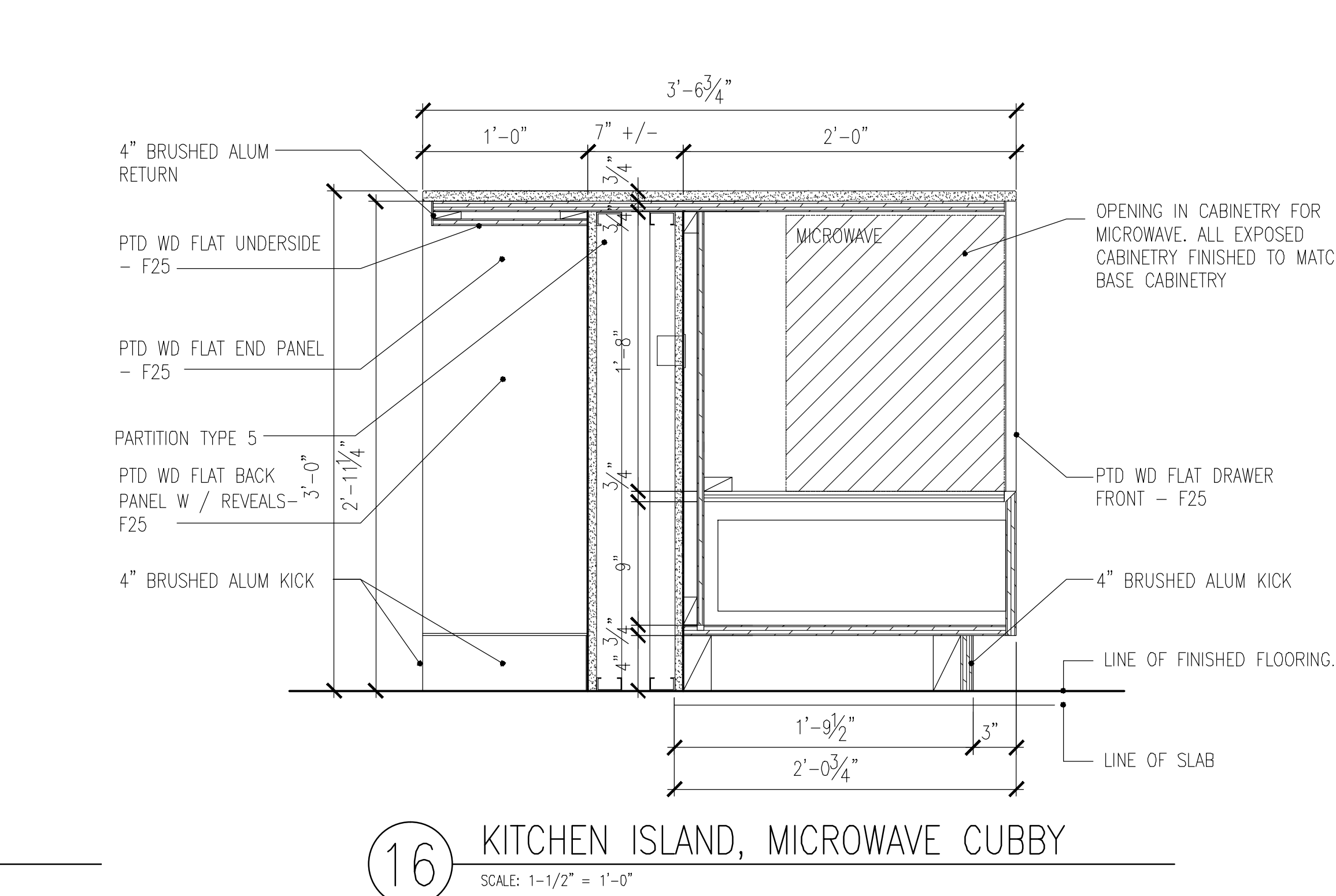
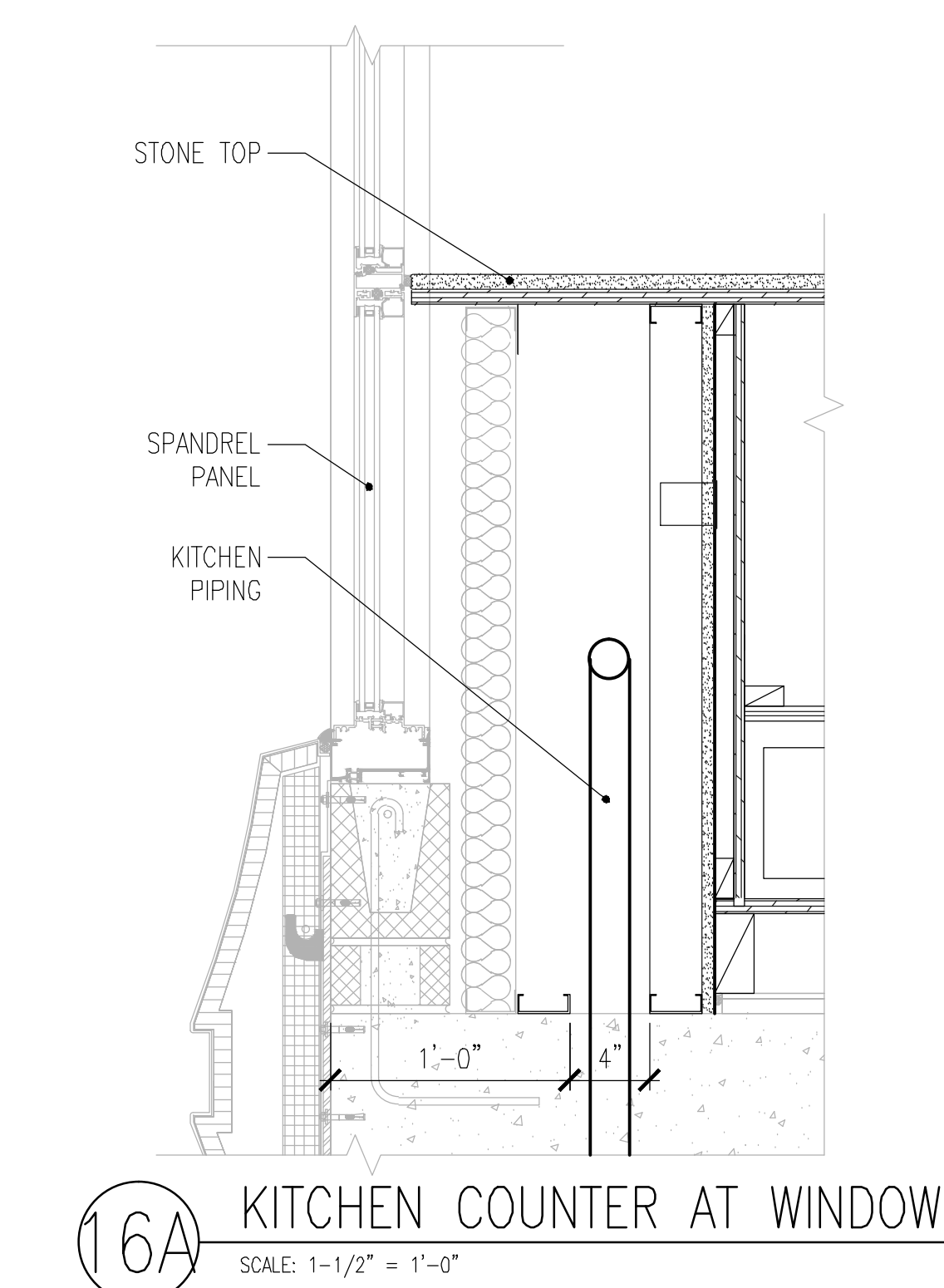
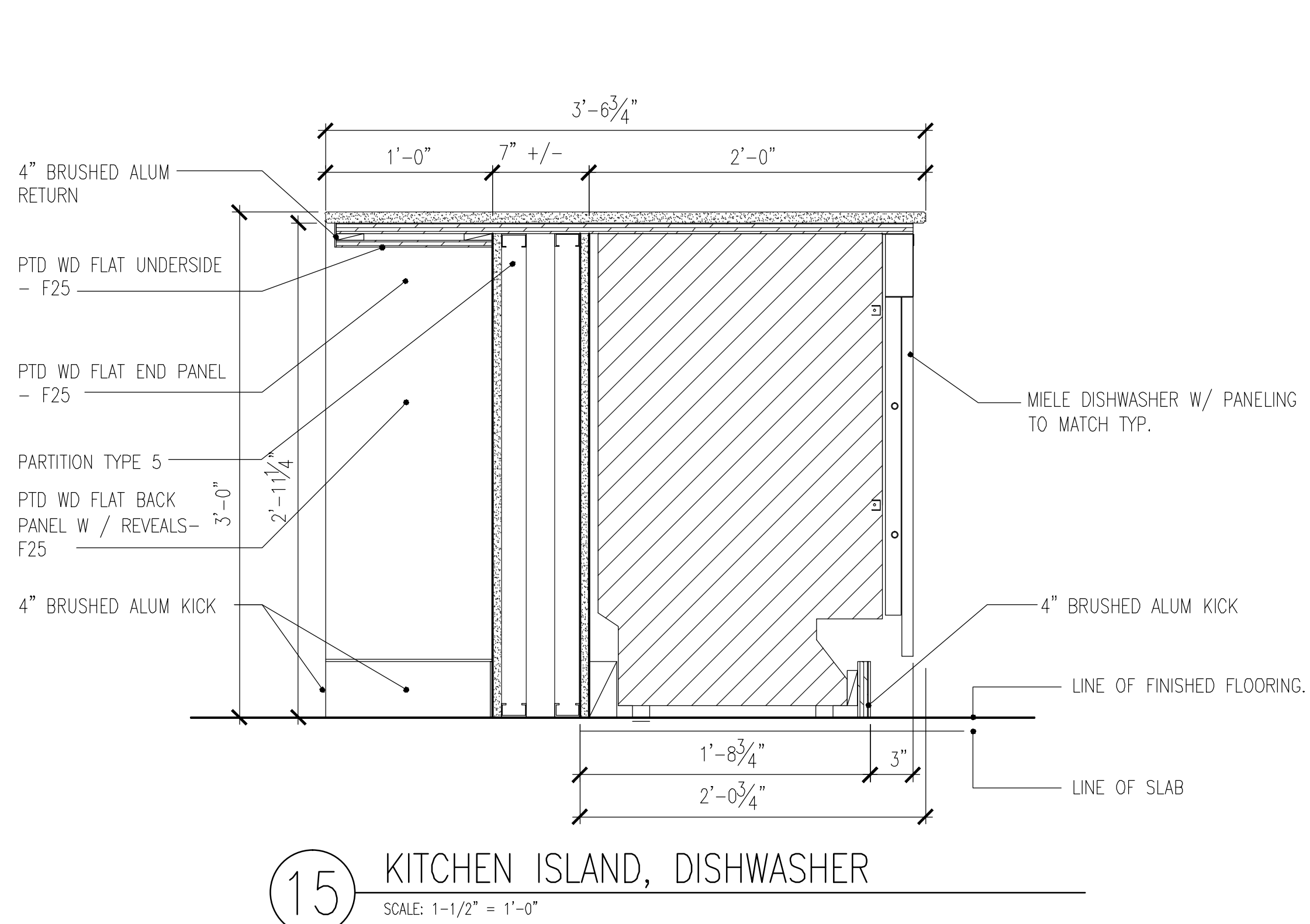
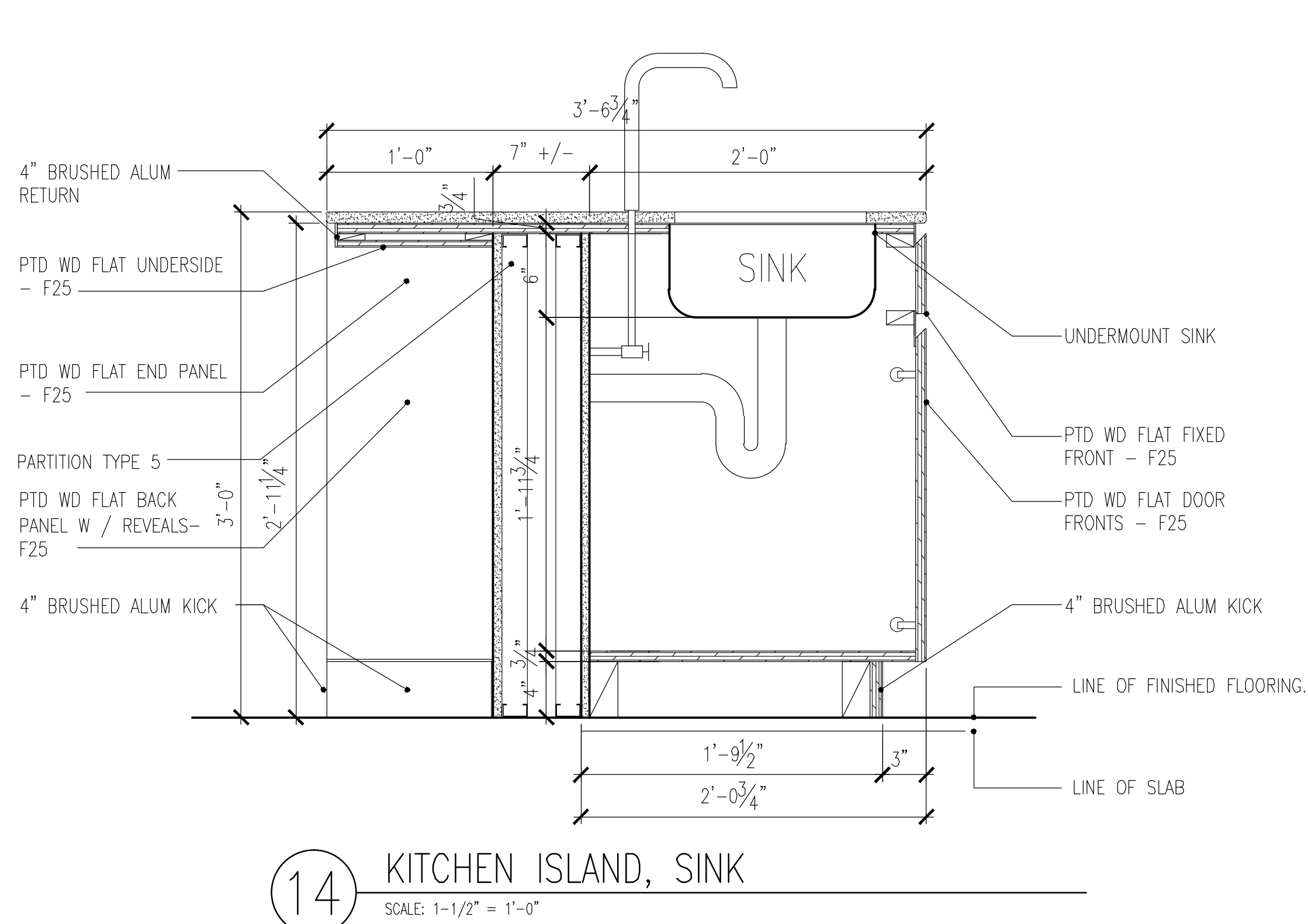
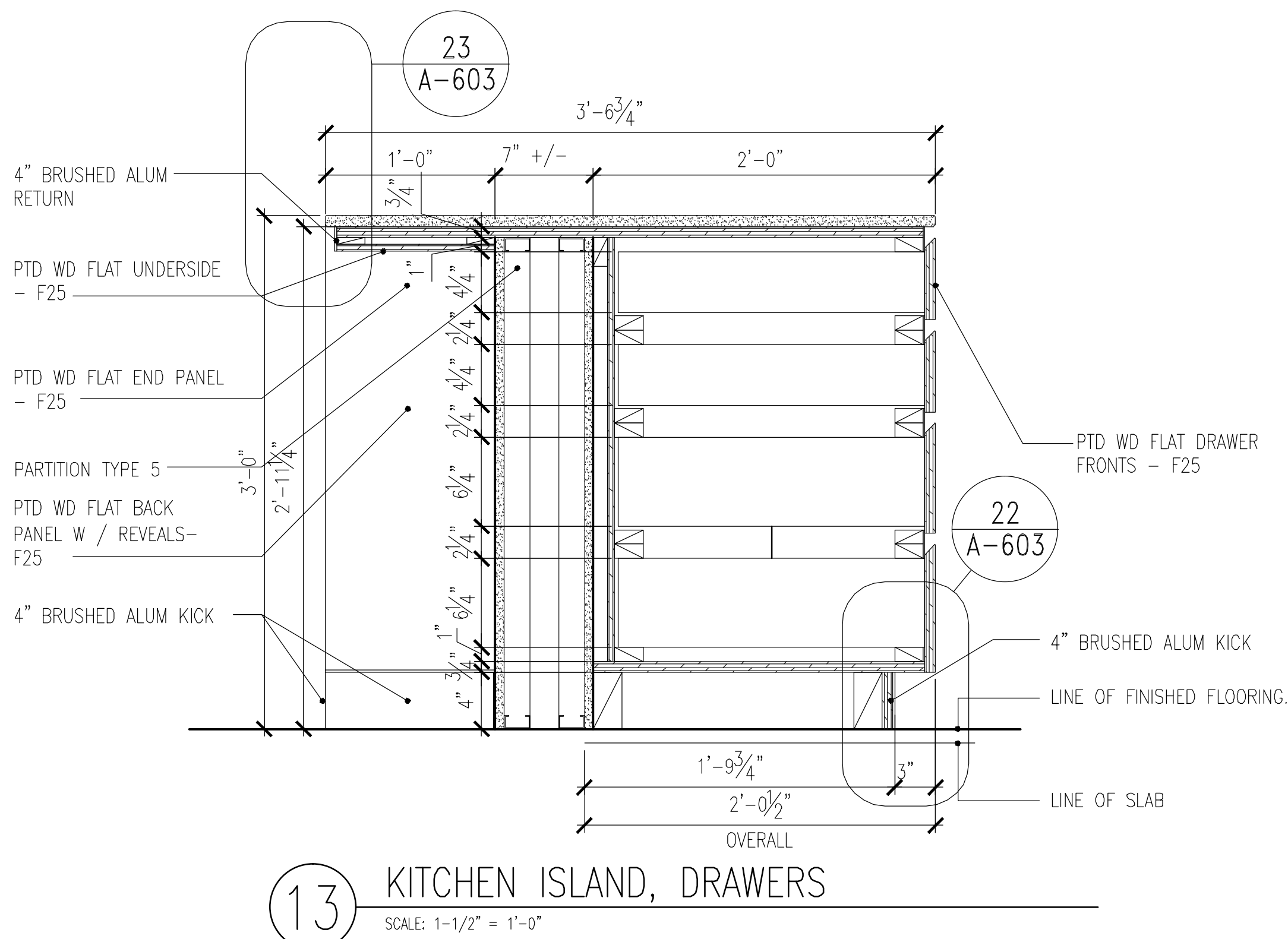
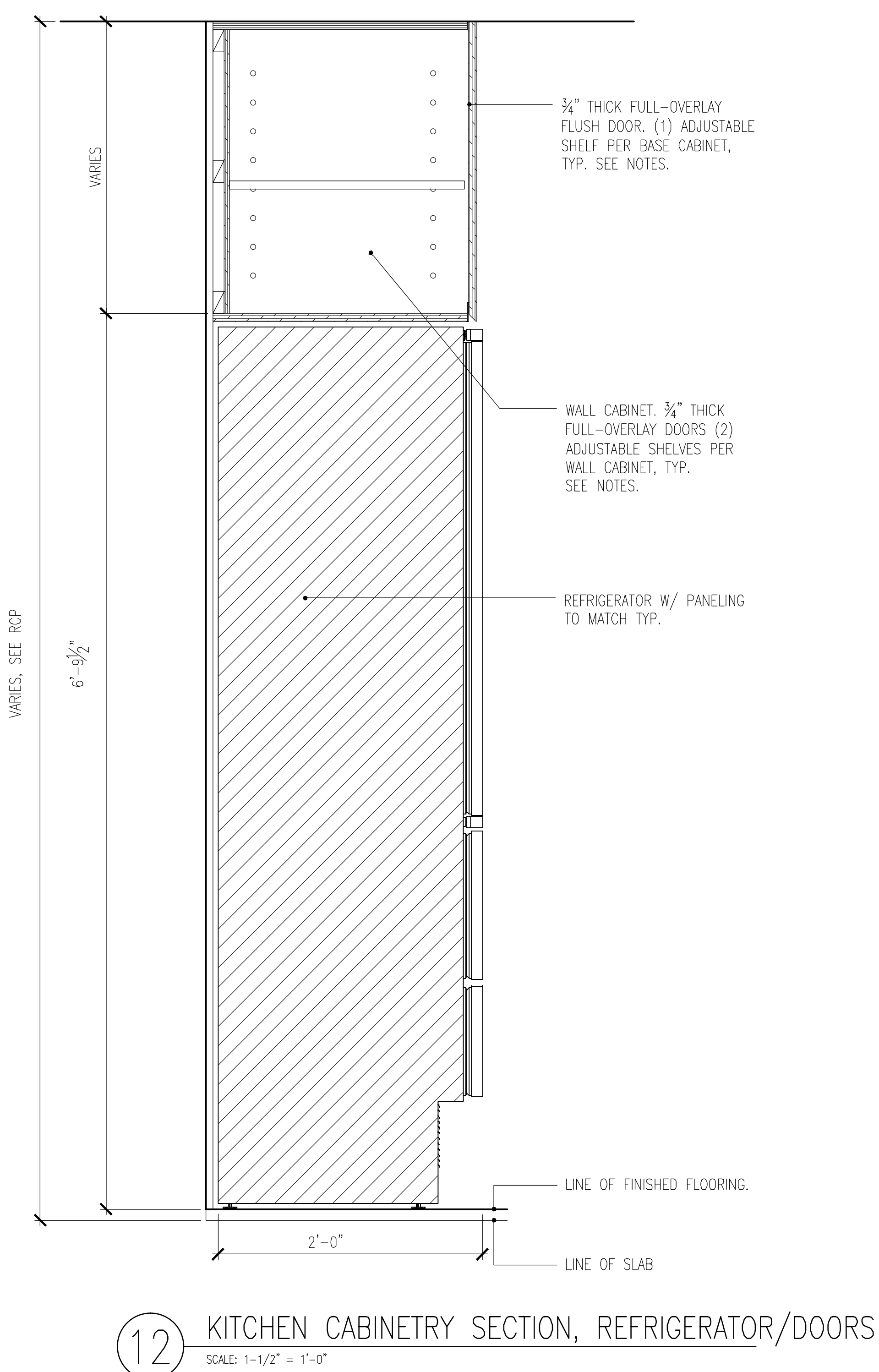
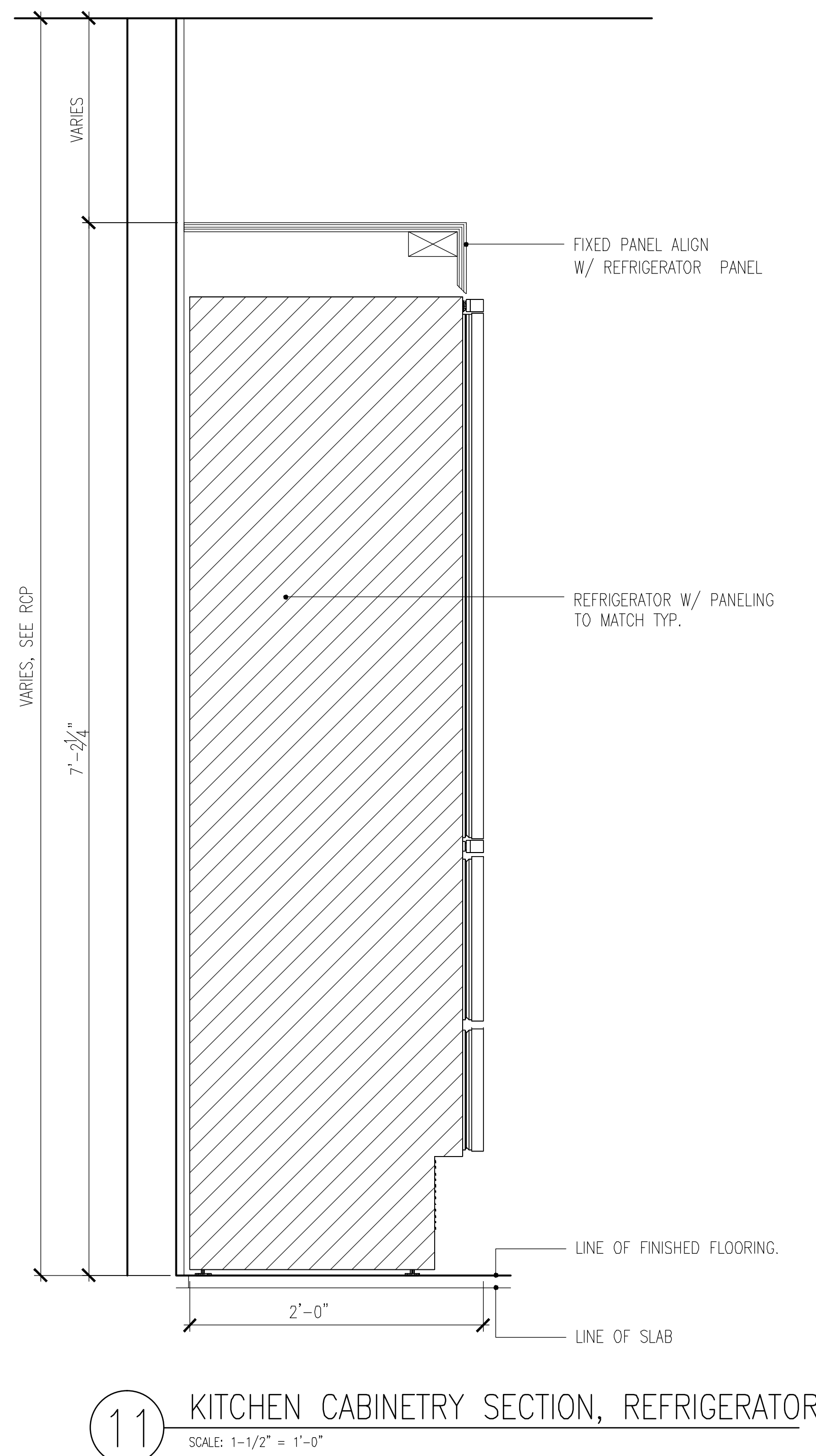
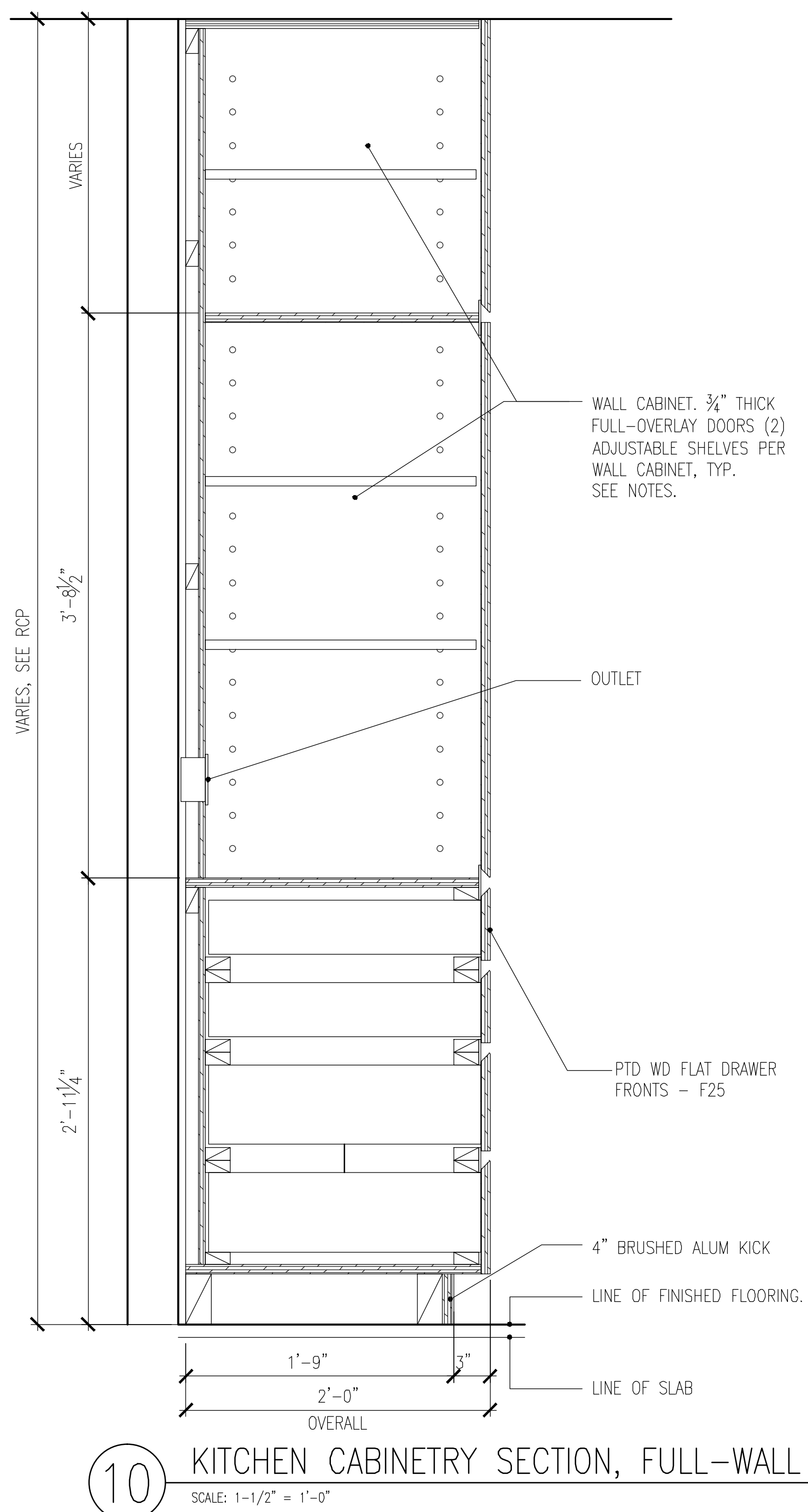
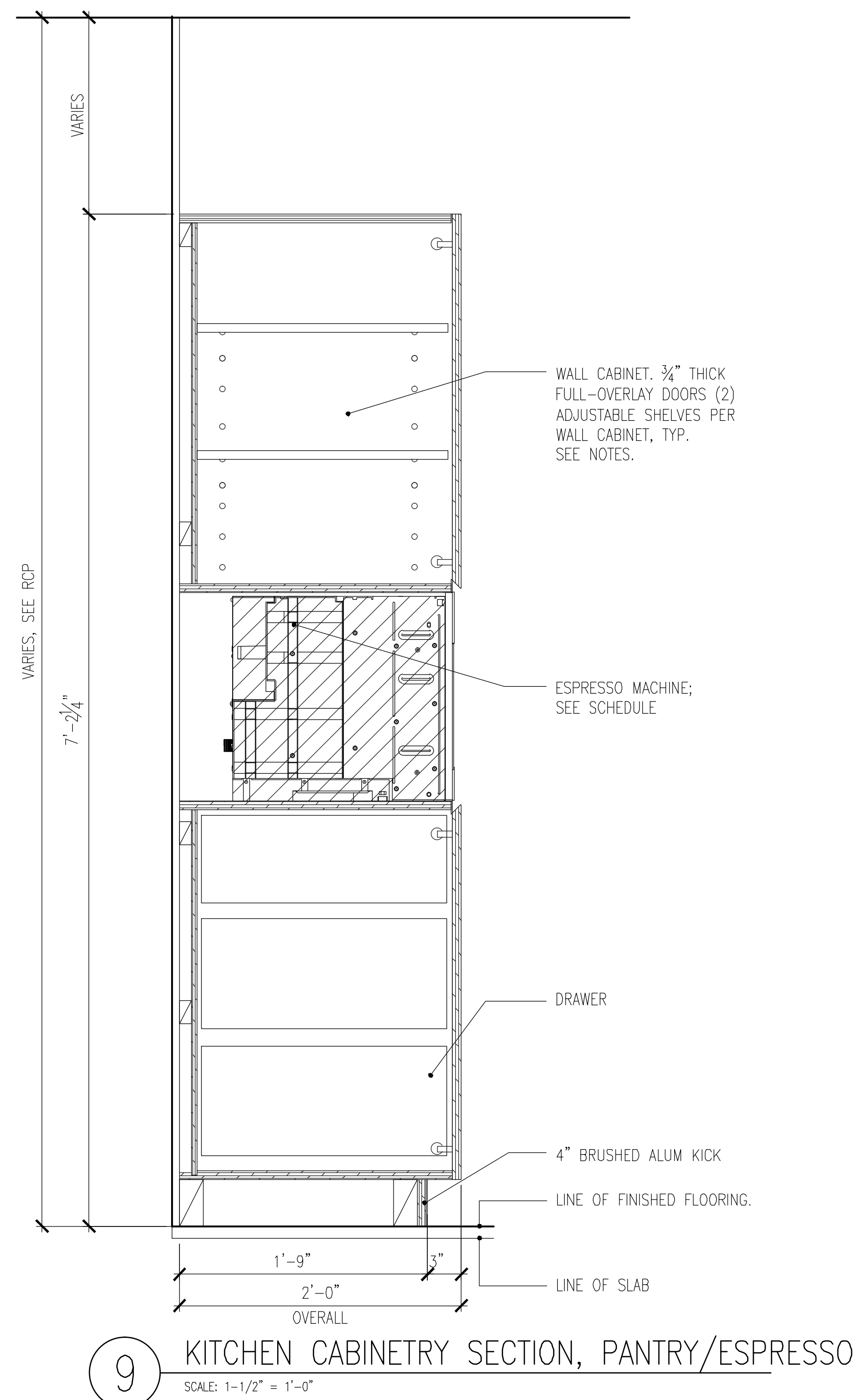
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	PROJECT #:	15
	SCALE:	AS NOTED



A-650.0  
DWG NO.





**NOTES:**

1. SUBMIT SHOP DRAWINGS AND MOCK-UPS FOR INTERIOR DESIGNER & OWNER APPROVAL PRIOR TO FABRICATION.

**NOT FOR CONSTRUCTION**

10/06/2017	ISSUED FOR DOB
09/10/2017	90A D3-3PT.ADO #3
08/02/2017	60A D3-SET
07/20/2017	90A D3-SET
03/30/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTARY SET
01/02/2017	ISSUED FOR DOB
11/17/2016	FACILE PHING SET
11/11/2016	100% KIDTUMBAH D3-SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number:	Date:	Revision:
---------	-------	-----------

**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

**Client:**  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

**Architect:**  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

**Consultant:**  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DATE:	10/06/2017
PROJECT #:	15412
SCALE:	AS NOTED
DWG NO:	A-651.00



**NOTES:**  
SUBMIT SHOP DRAWINGS AND  
MOCK-UPS FOR INTERIOR  
DESIGNER & OWNER APPROVAL  
PRIOR TO FABRICATION.

11/06/2017	ISSUED FOR DOB
09/15/2017	90% CD SET, AND # 3
06/02/2017	85% CD SET
03/24/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FACADE FINISH SET
11/11/2016	100% DEVELOPMENT BID SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Project:

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

HILL | WEST  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:


**DESIMONE  
CONSULTING ENGINEERS**  
100 Broadway 25th Floor  
New York, NY 10005  
(212) 532-2211

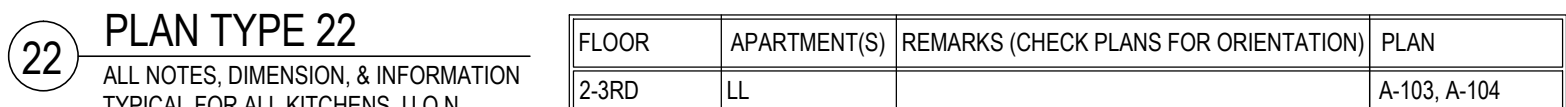
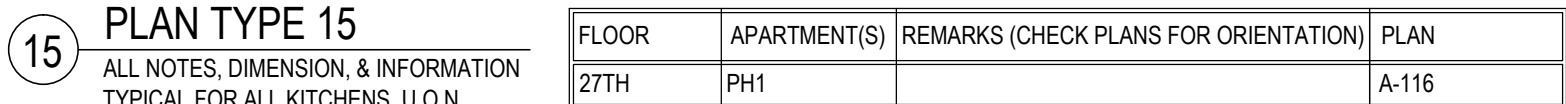
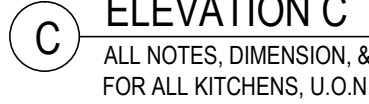
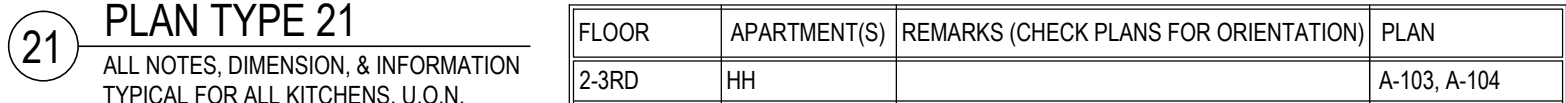
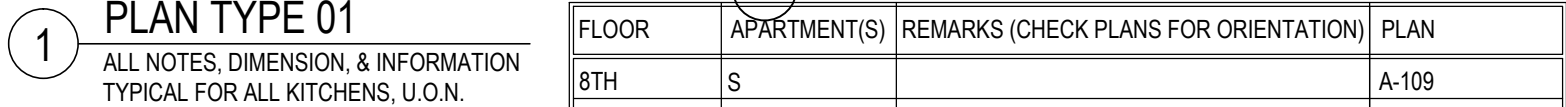
**Costantini Associates**  
Two Pennsylvania Plaza, 3rd FL.,  
New York, NY 10121  
(212) 615-3600

**Whitehall**  
100 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

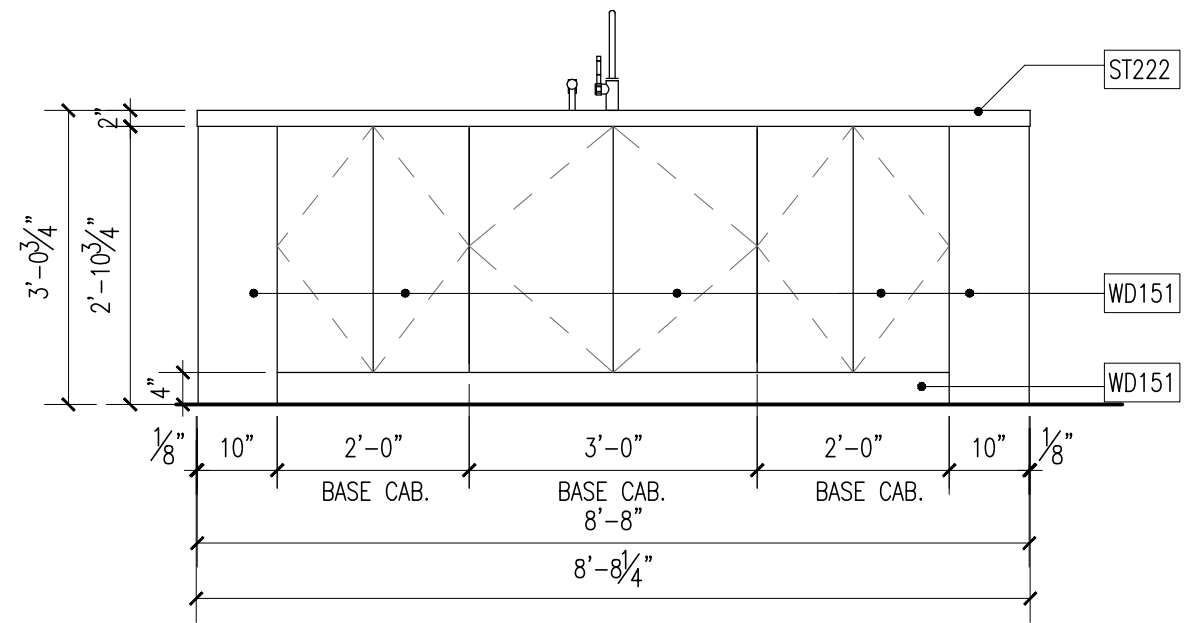
STAMPS &amp; SIGNATURES:

TITLE:  
KITCHEN PLANS AND ELEVATIONS 1

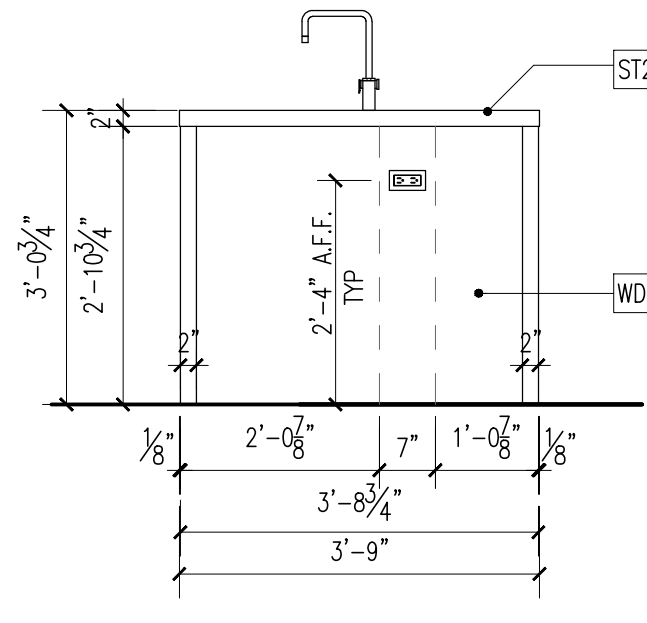
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	PROJECT #:	15A12
	SCALE:	AS NOTED
	<div style="font-size: 2em; font-weight: bold;">A-652.00</div>	
DWG NO.		



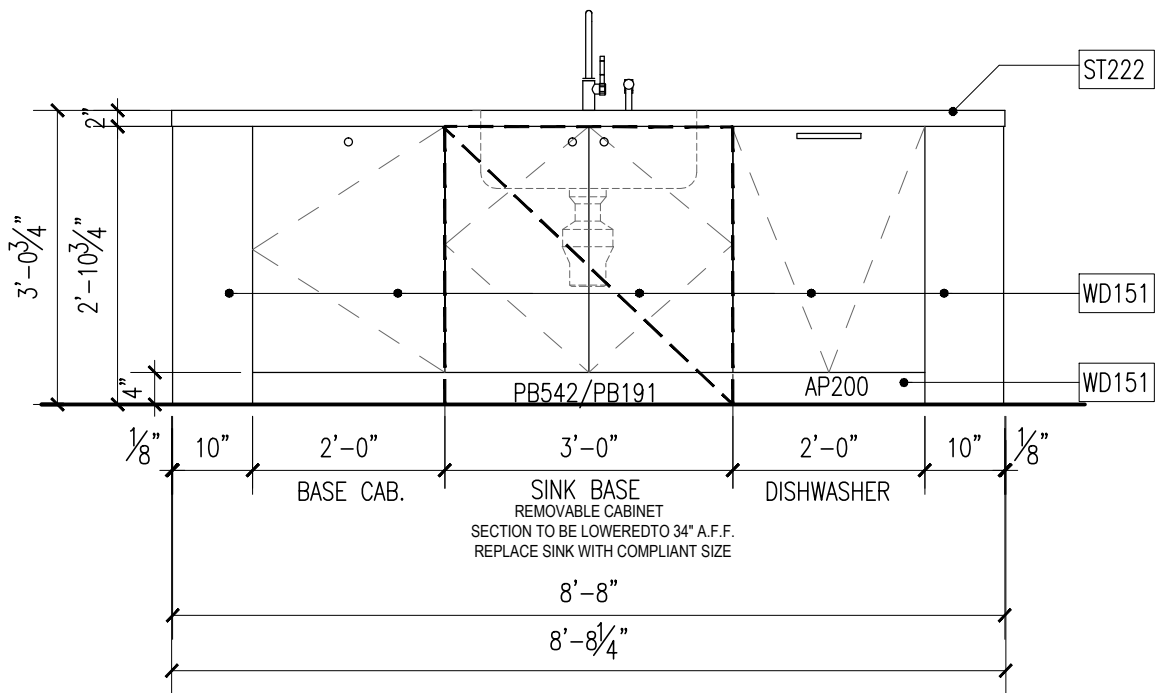




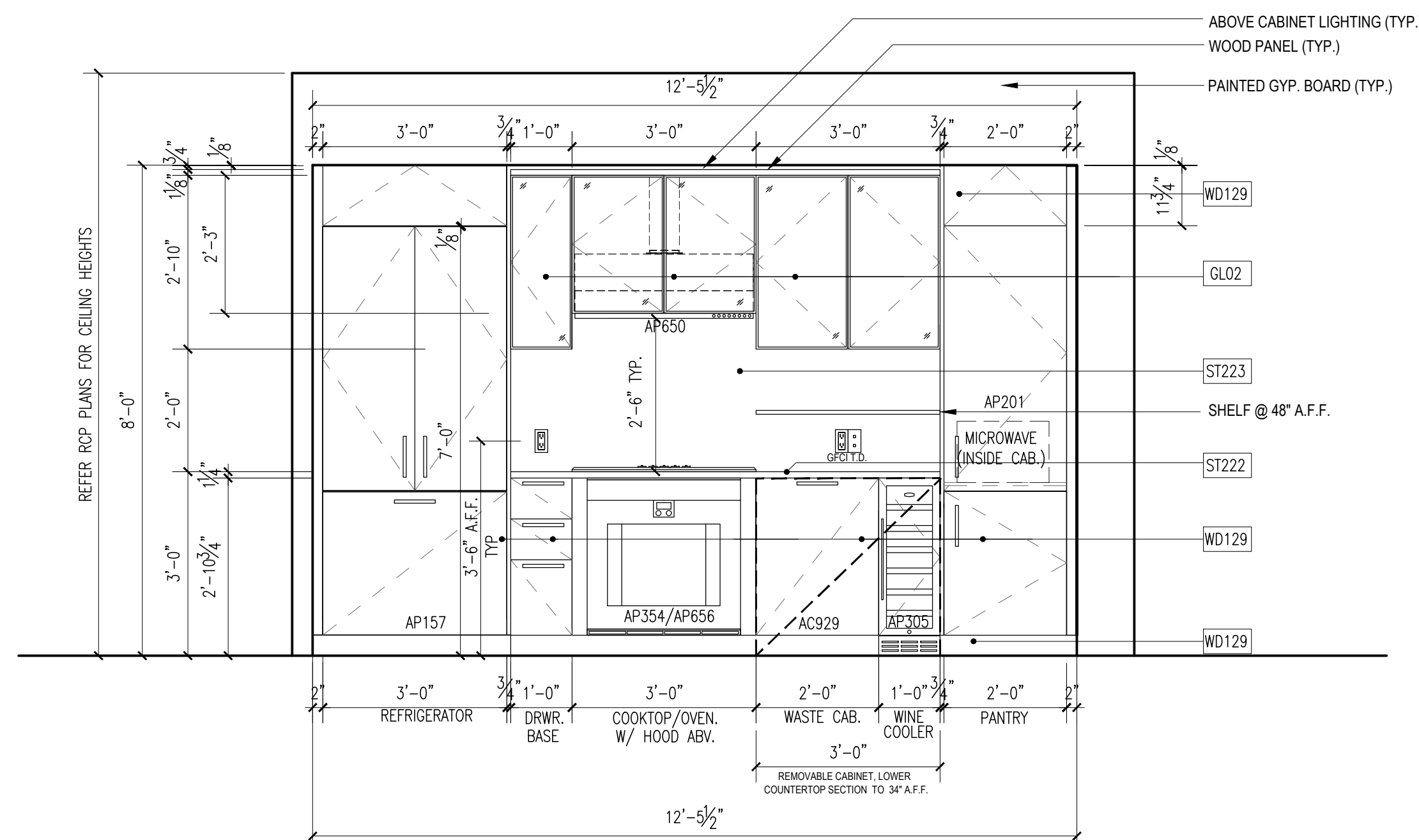
**D ELEVATION D**  
ALL NOTES, DIMENSION & INFORMATION TYPICAL  
FOR ALL KITCHENS, U.O.N.



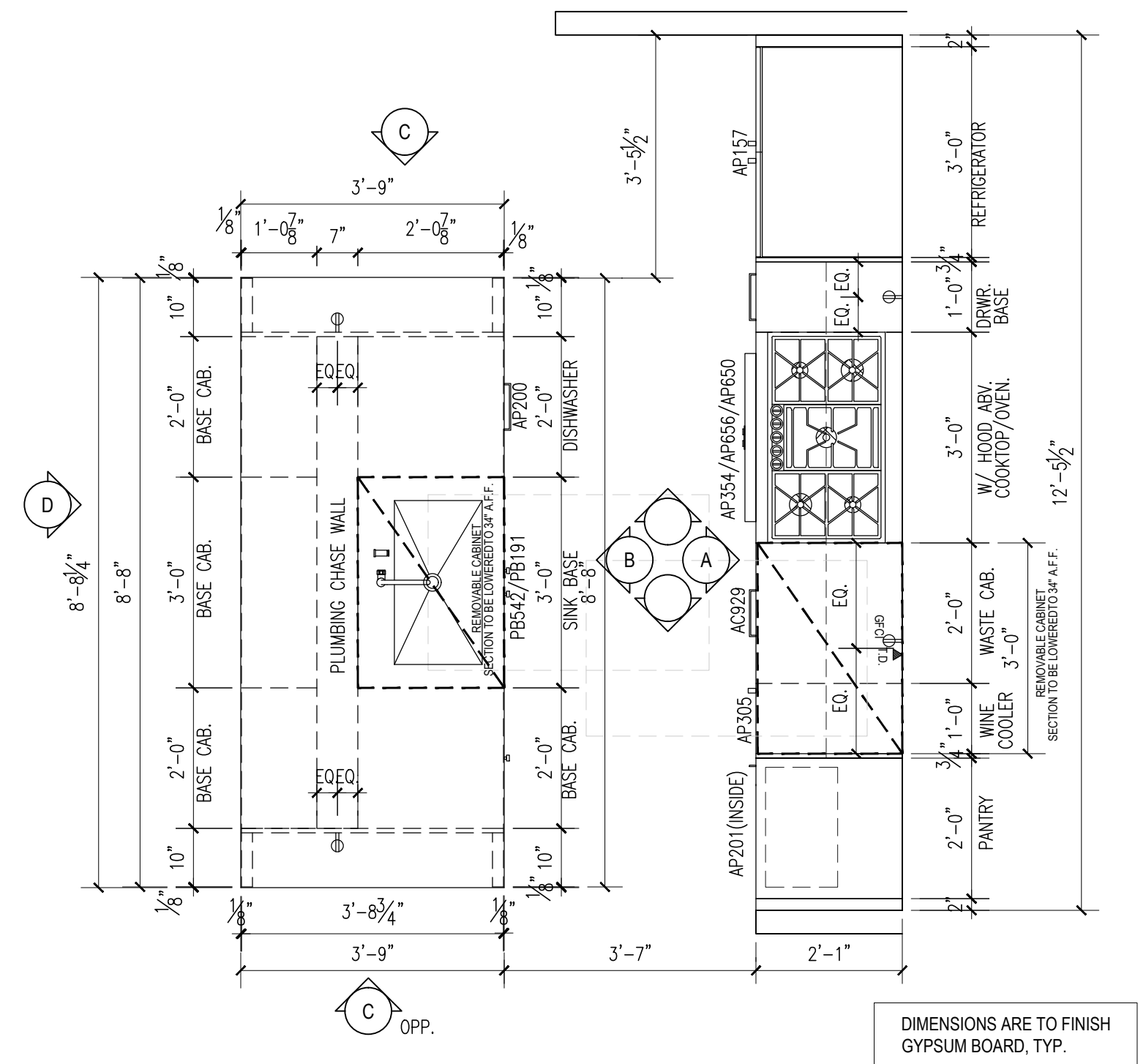
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FOR ALL KITCHENS, U.O.N.



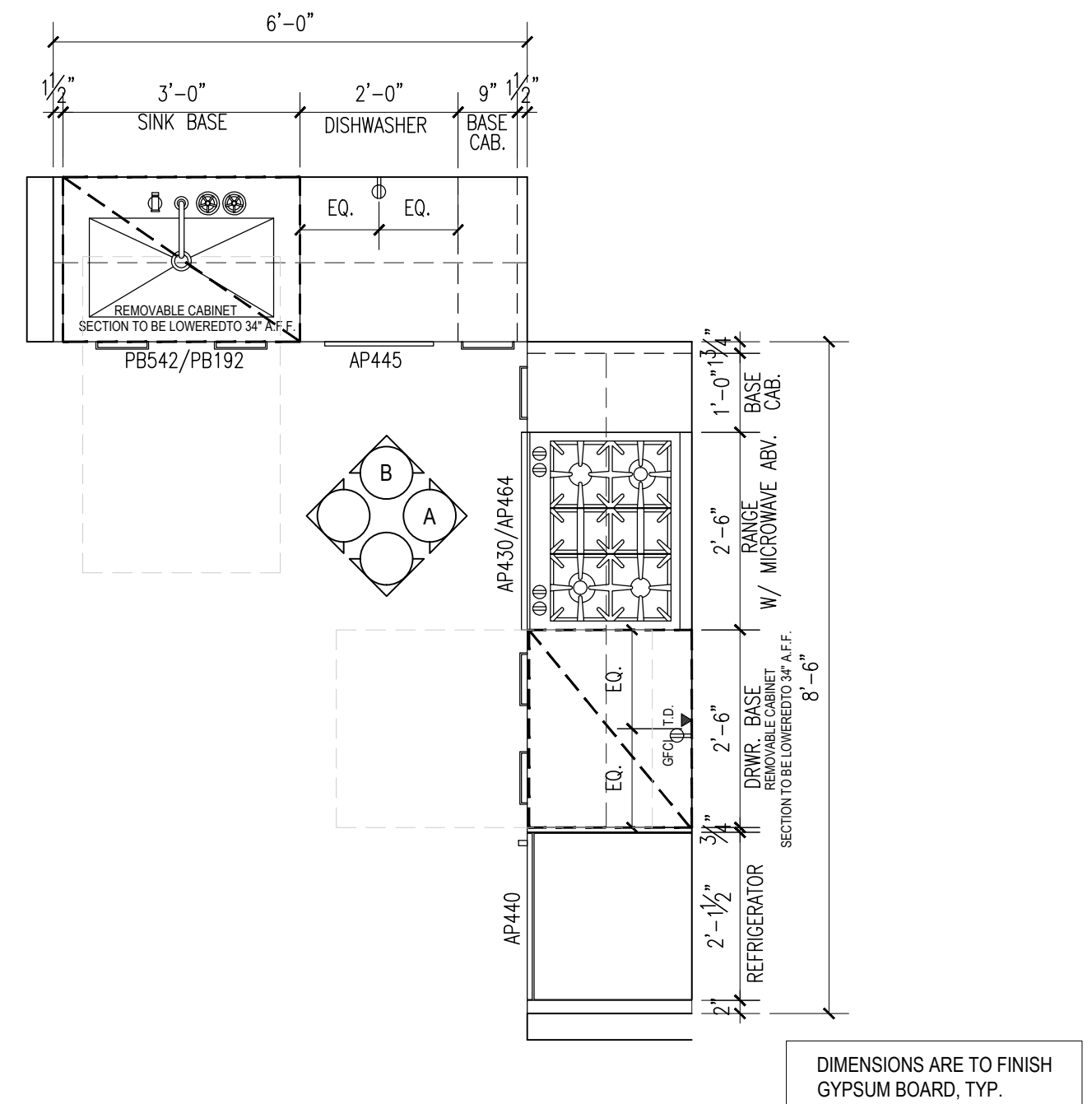
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FOR ALL KITCHENS, U.O.N.



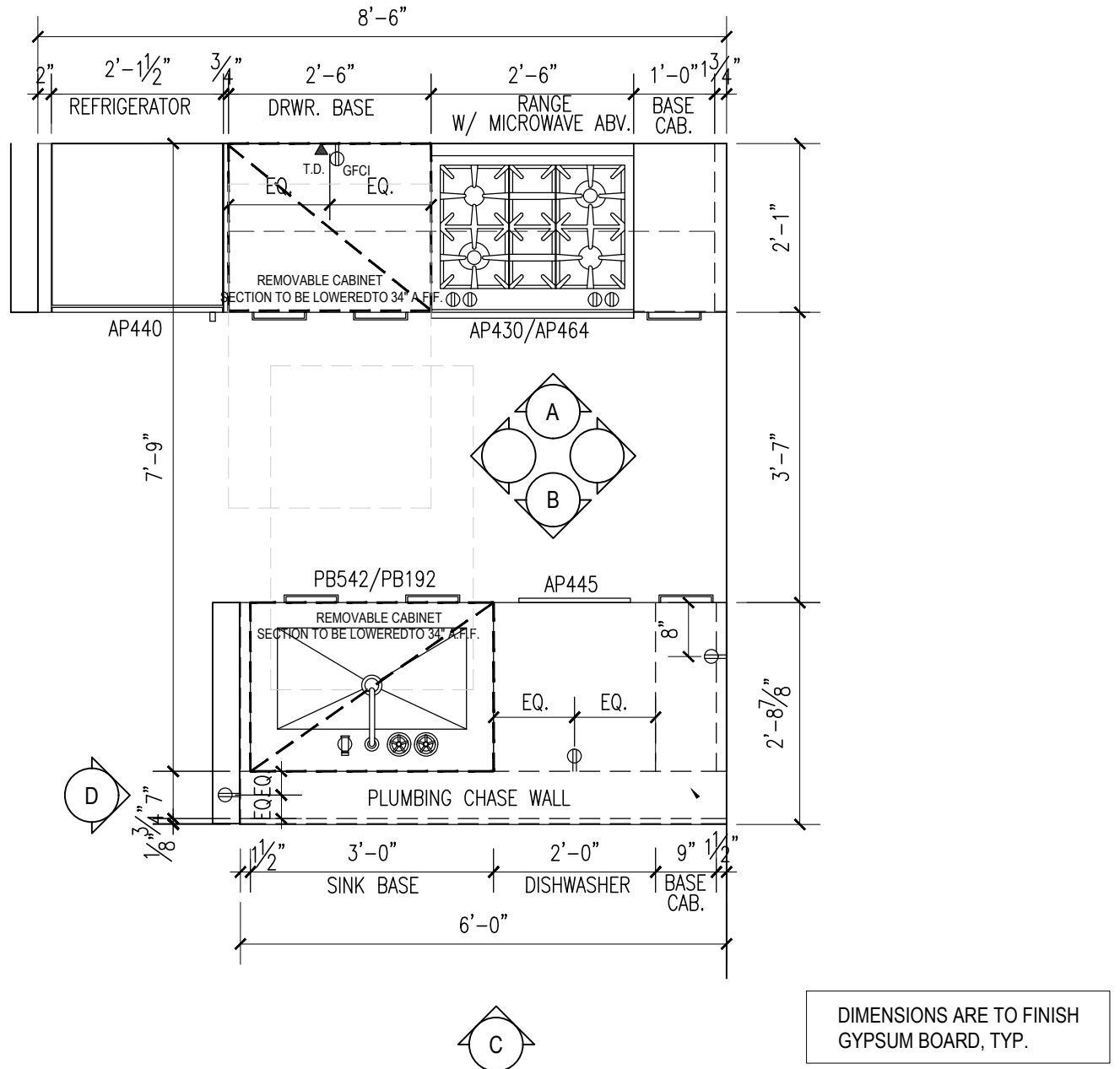
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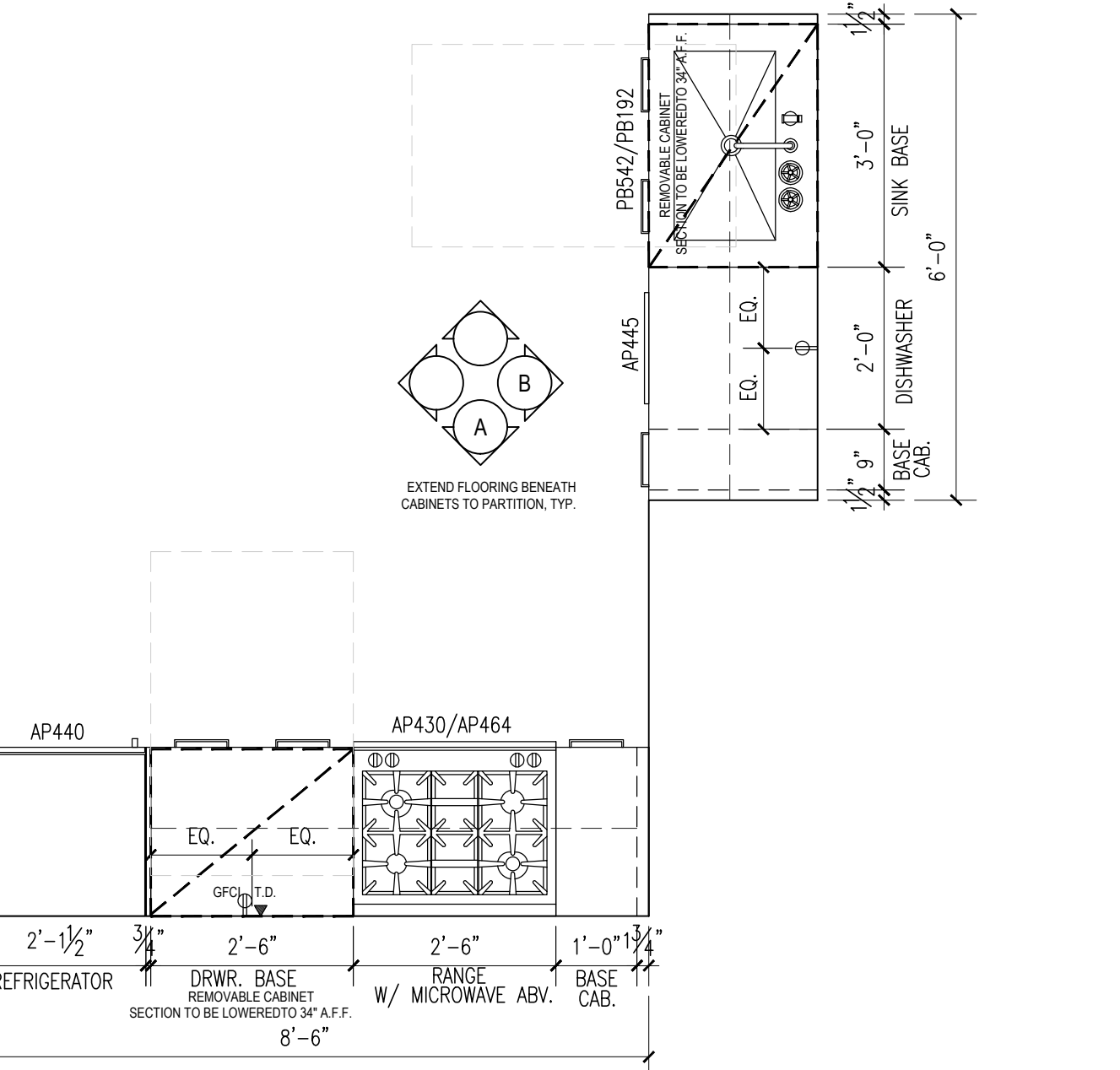
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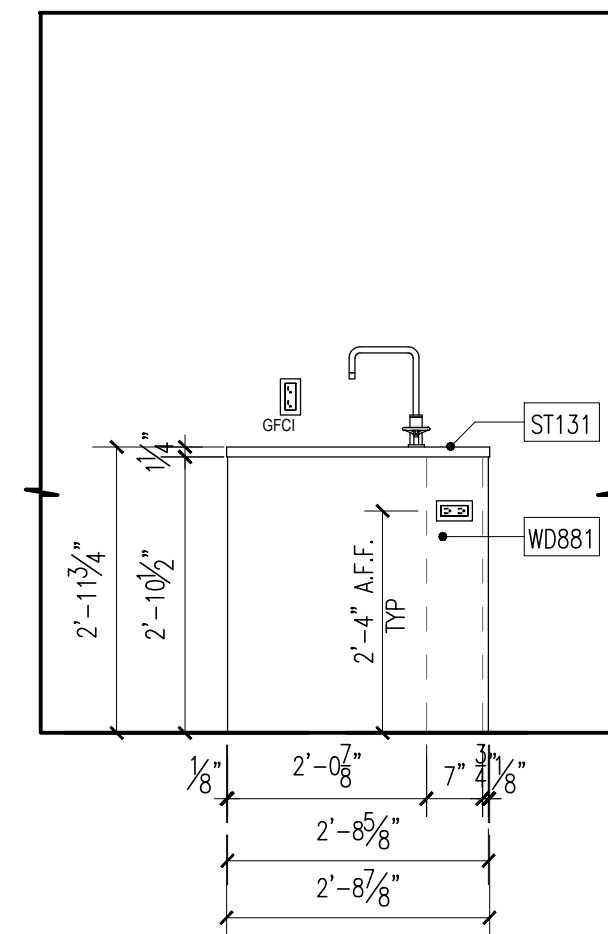
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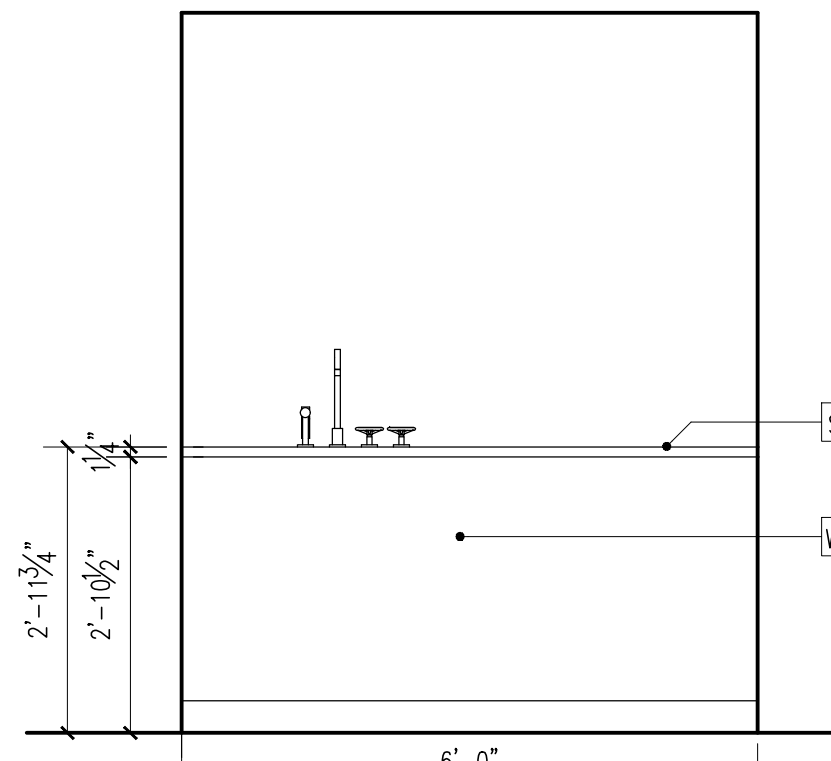
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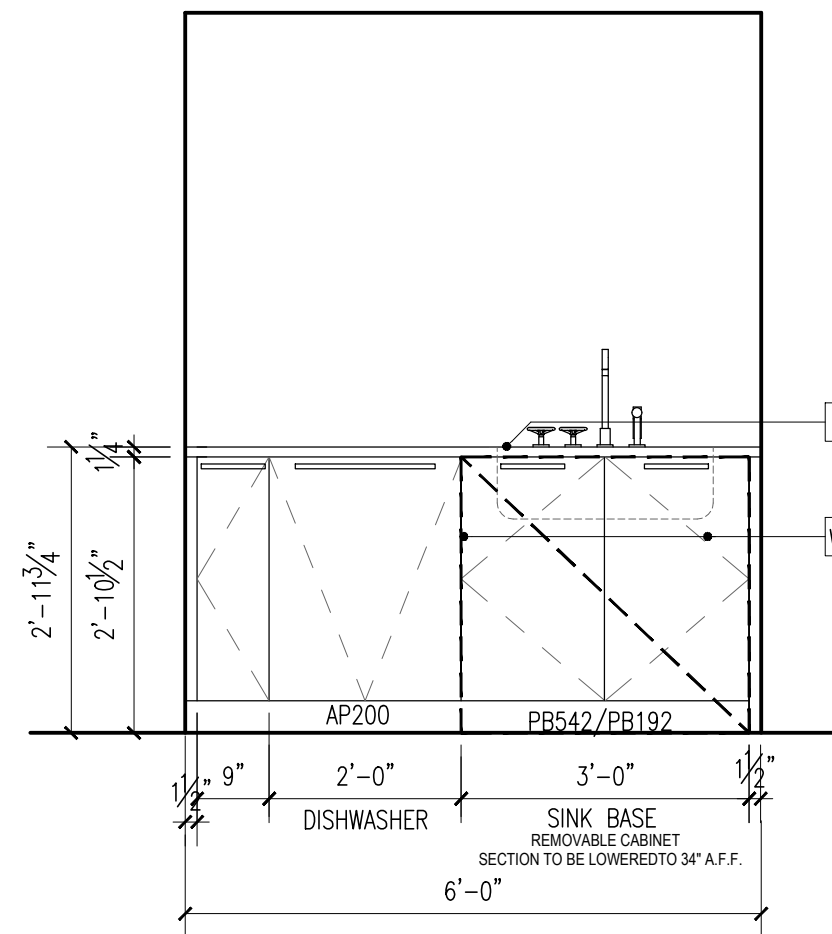
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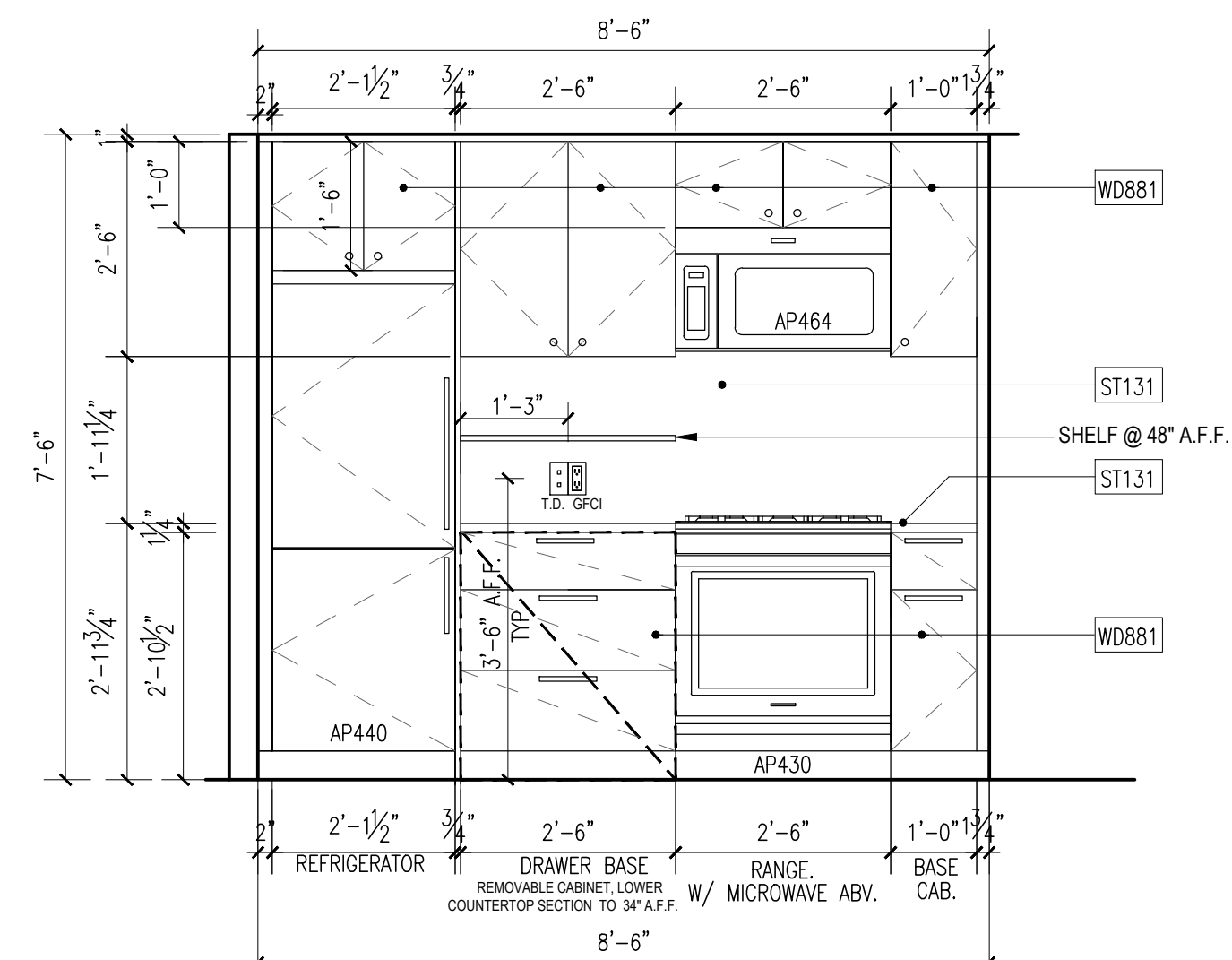
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FOR ALL KITCHENS, U.O.N.



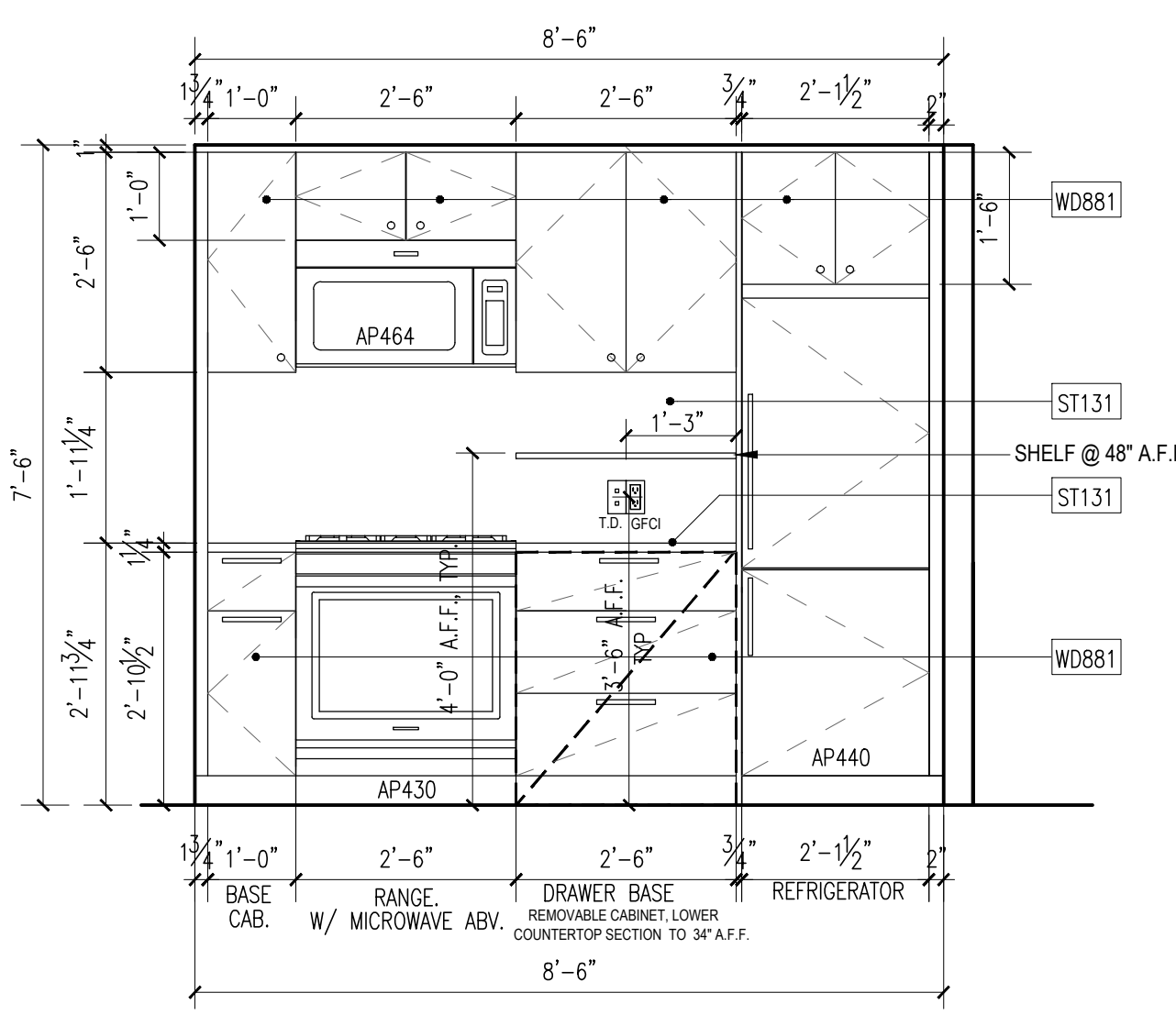
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FOR ALL KITCHENS, U.O.N.



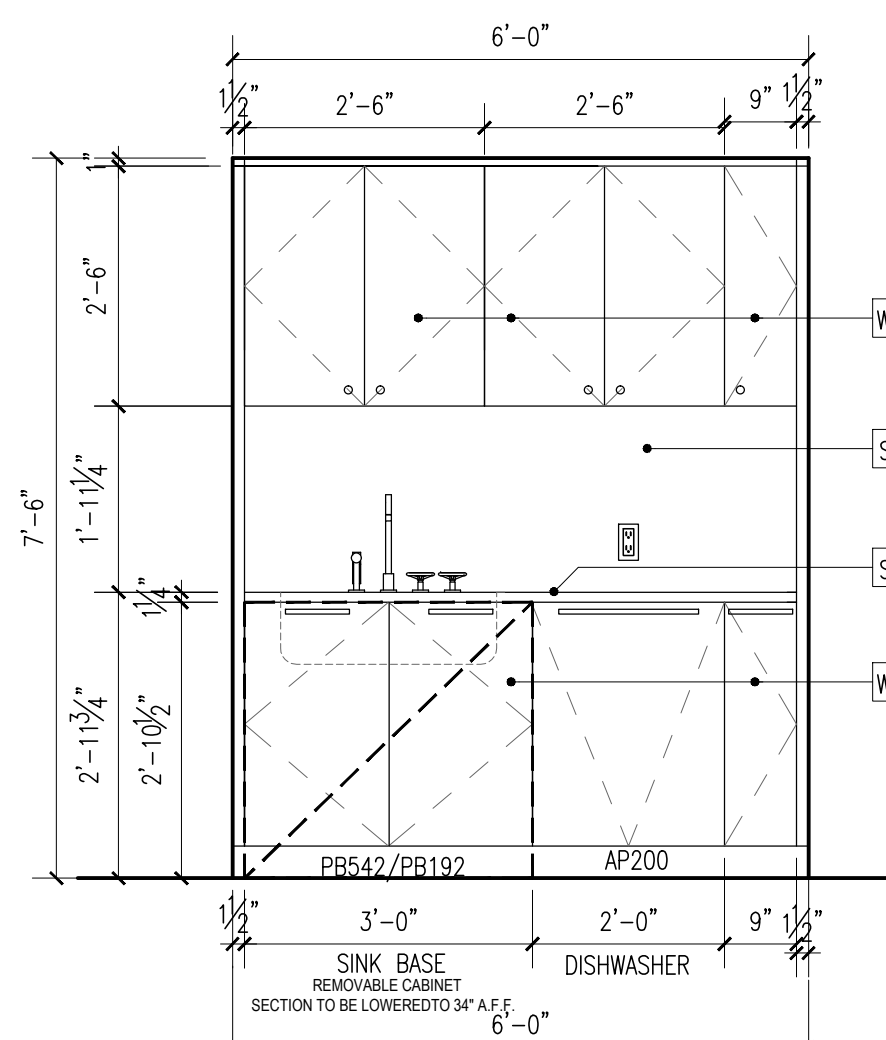
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FOR ALL KITCHENS, U.O.N.



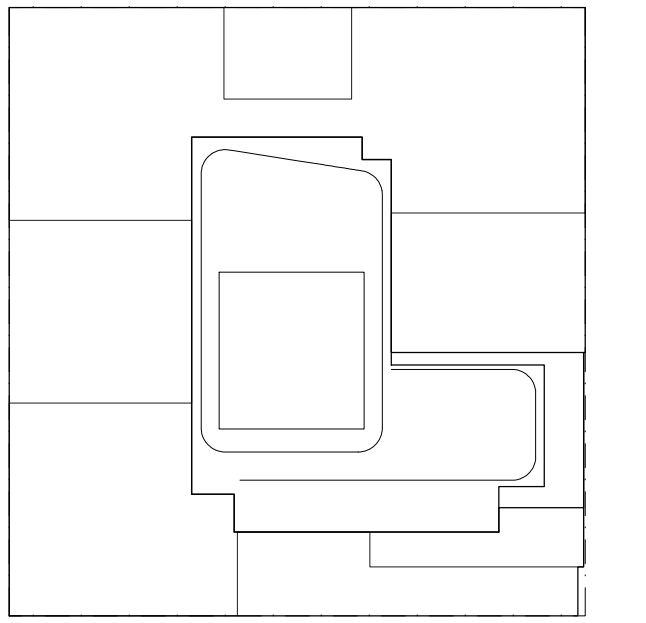
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ALL NOTES, DIMENSION & INFORMATION TYPICAL  
FOR ALL KITCHENS, U.O.N.



**A ELEVATION A**  
ALL NOTES, DIMENSION & INFORMATION TYPICAL  
FOR ALL KITCHENS, U.O.N.



**B ELEVATION B**  
ALL NOTES, DIMENSION & INFORMATION TYPICAL  
FOR ALL KITCHENS, U.O.N.



**NOTES:**  
1. SUBMIT SHOP DRAWINGS AND  
MOCK-UPS FOR INTERIOR  
DESIGNER & OWNER APPROVAL  
PRIOR TO FABRICATION.

**NOT FOR CONSTRUCTION**

10/06/2017	ISSUED FOR DOB
09/15/2017	99A (2) SET, ADD #3
06/02/2017	65A (2) SET
03/04/2017	59A (2) SET
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPERSTRUCTURE SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FAÇADE PAINTING SET
11/01/2016	100% DISFORMATION HOS SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number: Date: Revision:

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

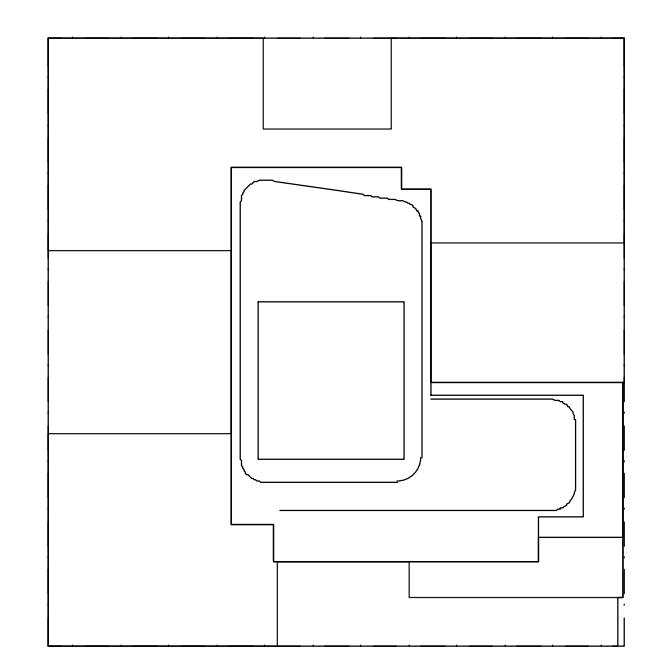
Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211  
**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL,  
New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:  
**KITCHEN PLANS AND ELEVATIONS**

SEAL & SIGNATURE:  
REGISTERED ARCHITECT  
PROJECT #  
DATE: 10/06/2017  
PROJECT # 15412  
SCALE: AS NOTED  
A-653.00  
DWG NO.





NOTES:

NOT FOR CONSTRUCTION

10/08/2017	ISSUED FOR DOB
09/10/2017	90% CD SET AND #3
08/02/2017	60% CD SET
02/02/2017	90% CD SET
03/30/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/03/2017	ISSUED FOR DOB
11/07/2016	FACIAL PHASE SET
10/10/2016	100% CD FOR WORKING SET
10/12/2016	ISSUED FOR DOB
02/05/2016	DOB FILING SET

Number:	Date:	Revision:
---------	-------	-----------

Project:  
**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:  
**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

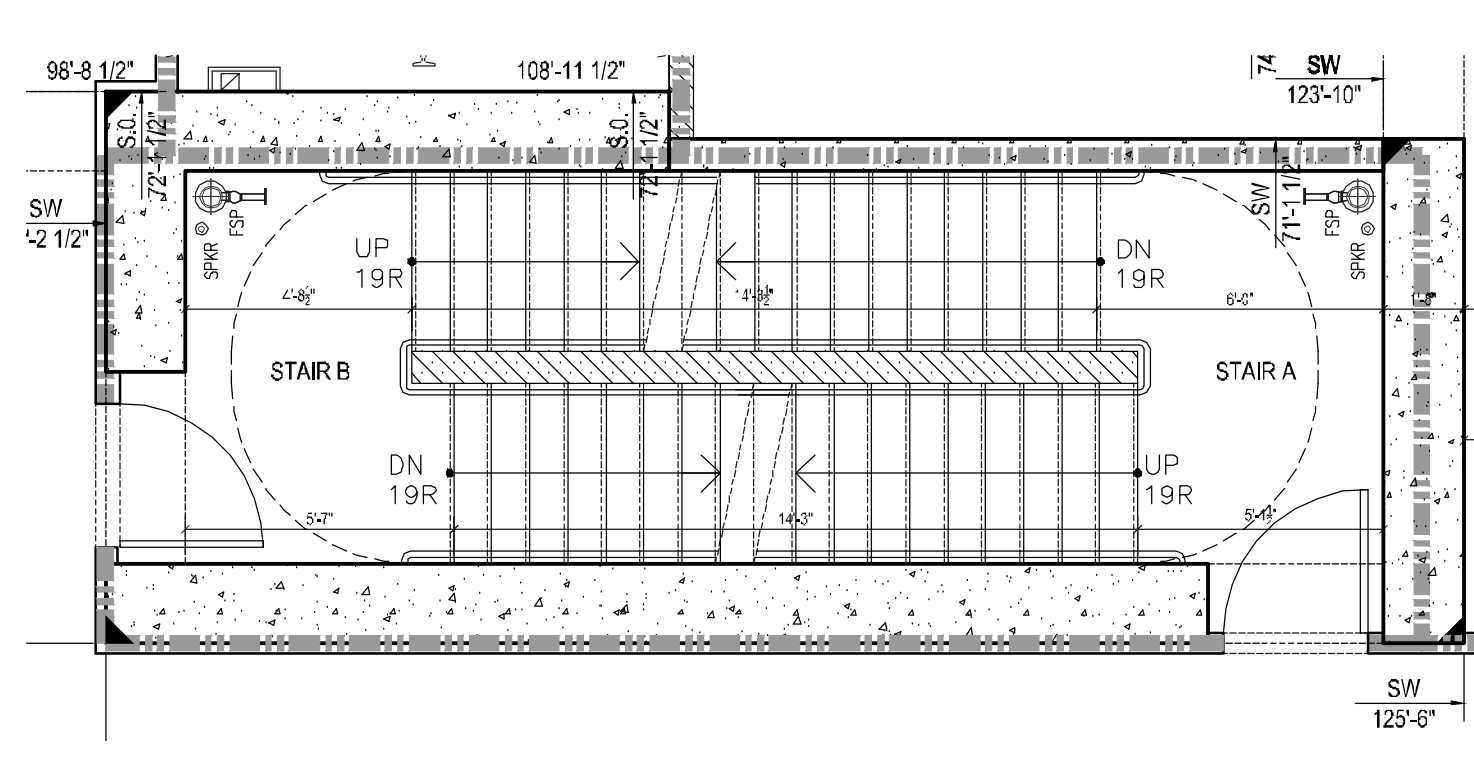
Architect:  
**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:  
**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
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New York, NY 10121  
(212) 615-3600  
**Whitehall**  
11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

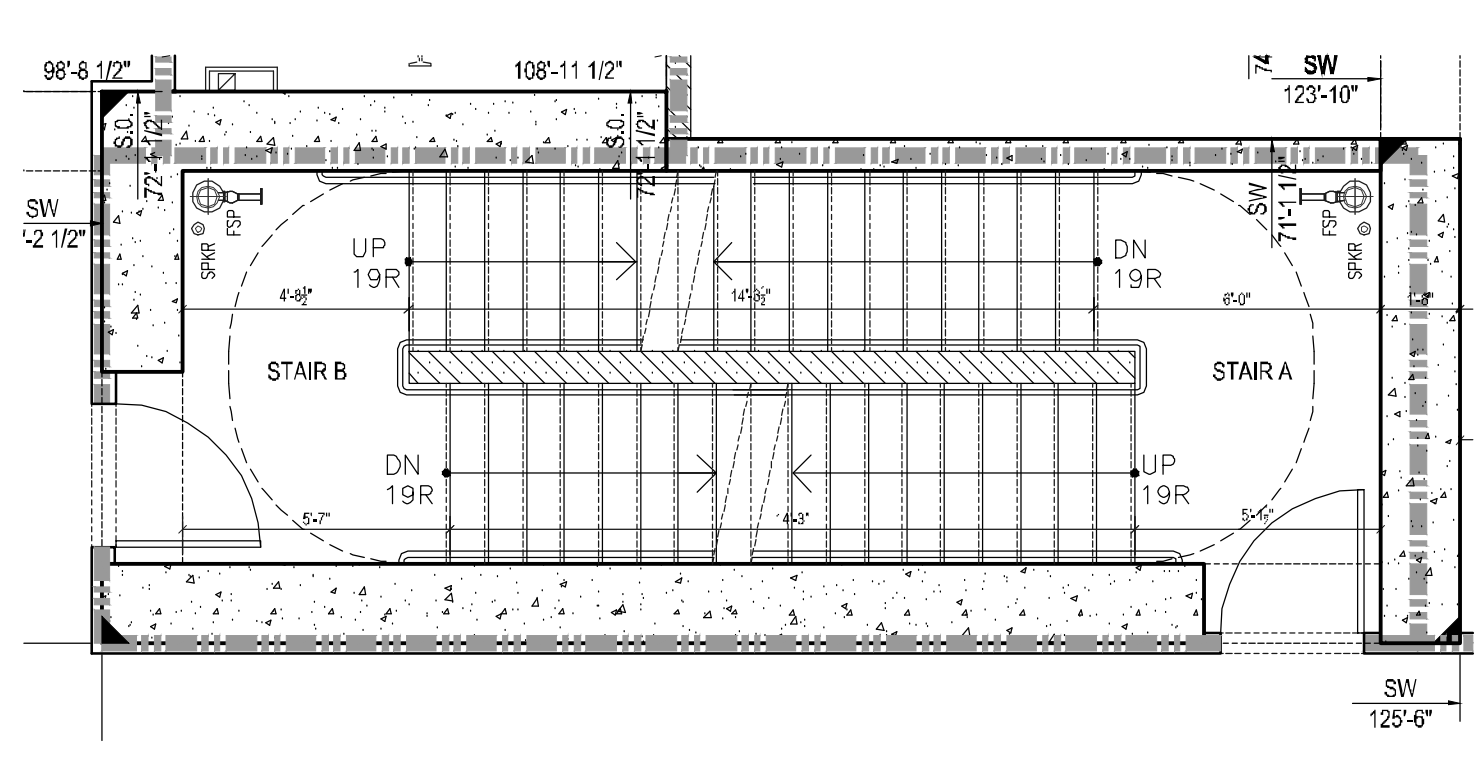
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DWG TITLE:  
STAIR A & STAIR B PLAN

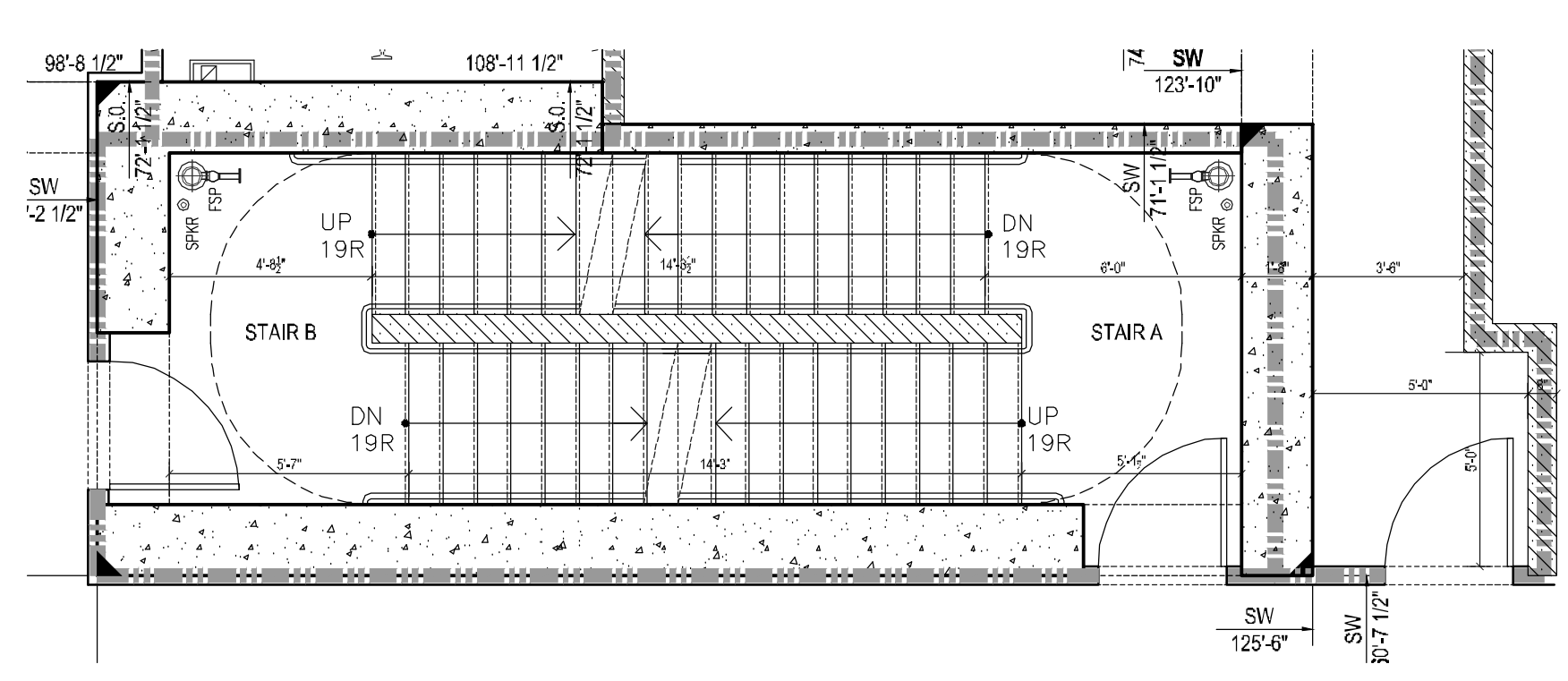
SEAL & SIGNATURE: REGISTERED ARCHITECT  
DATE: 10/08/2017  
PROJECT # 15412  
SCALE: AS NOTED  
DWG NO. A-700.00  
101 OF 105



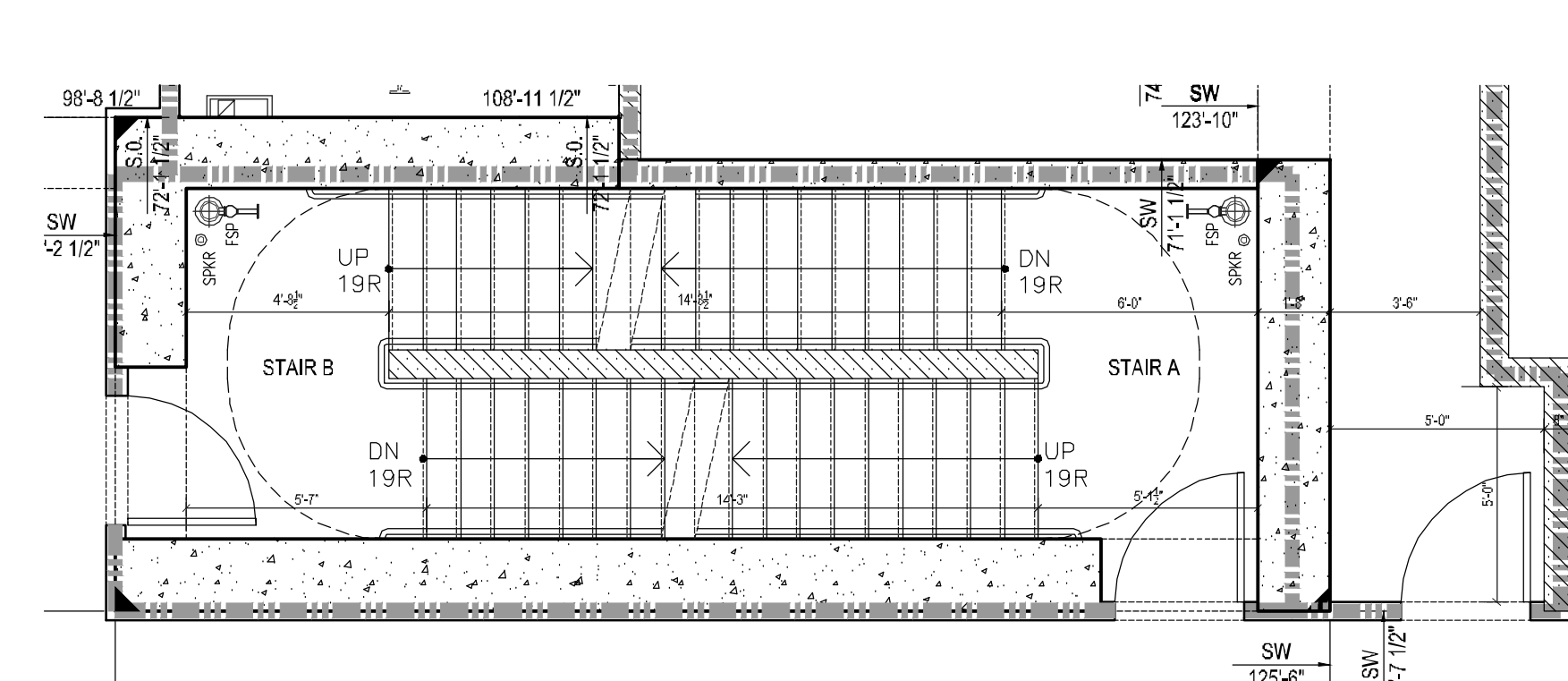
24 63RD THRU 65TH FLOOR PLAN  
1/4" = 1'-0"



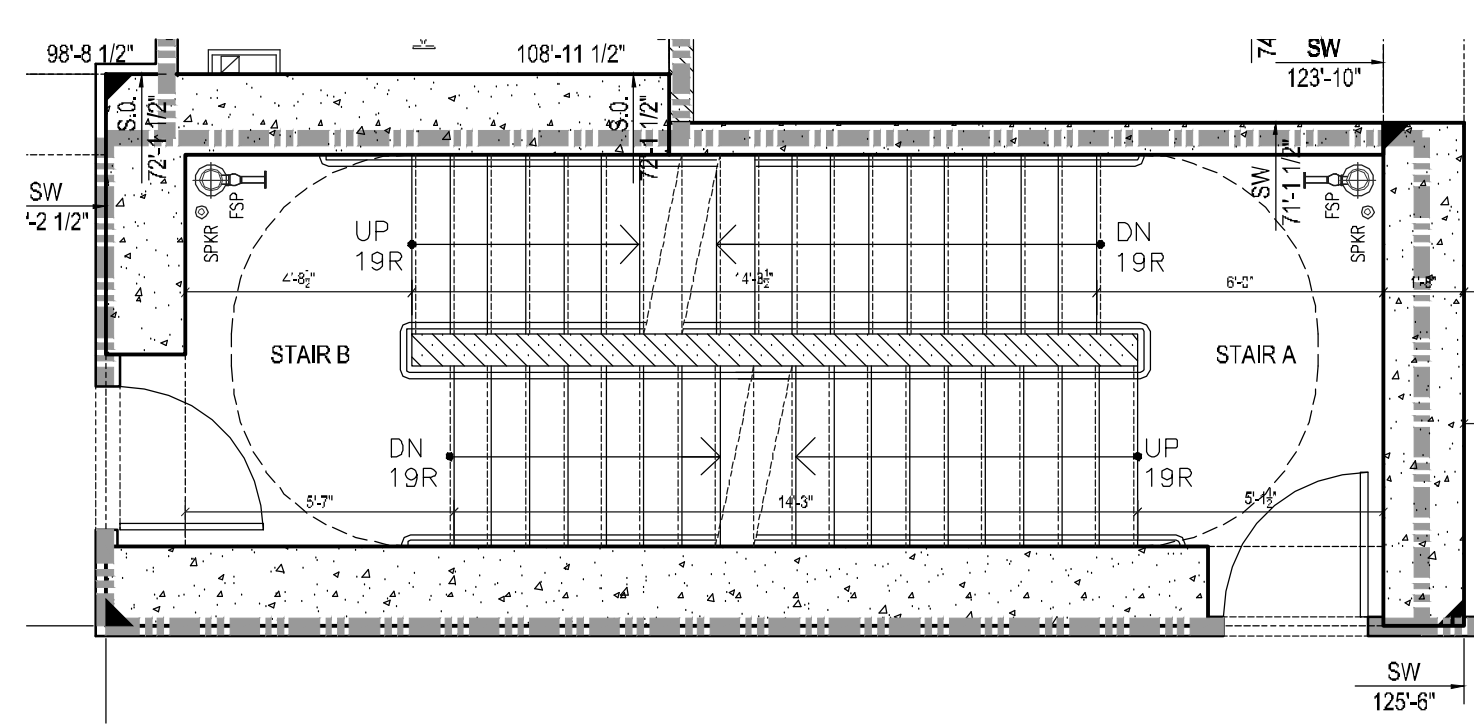
18 39TH THRU 44TH FLOOR PLAN  
1/4" = 1'-0"



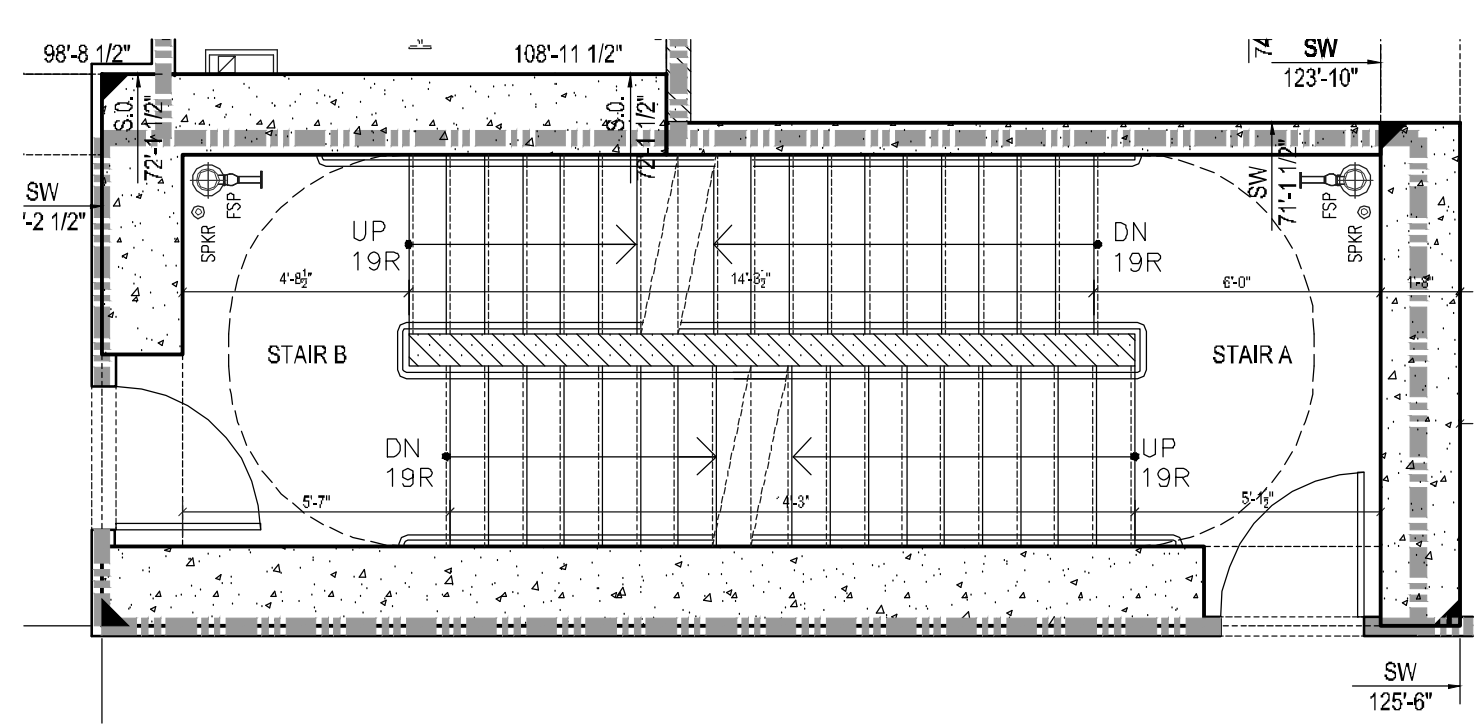
12 23RD FLOOR PLAN  
1/4" = 1'-0"



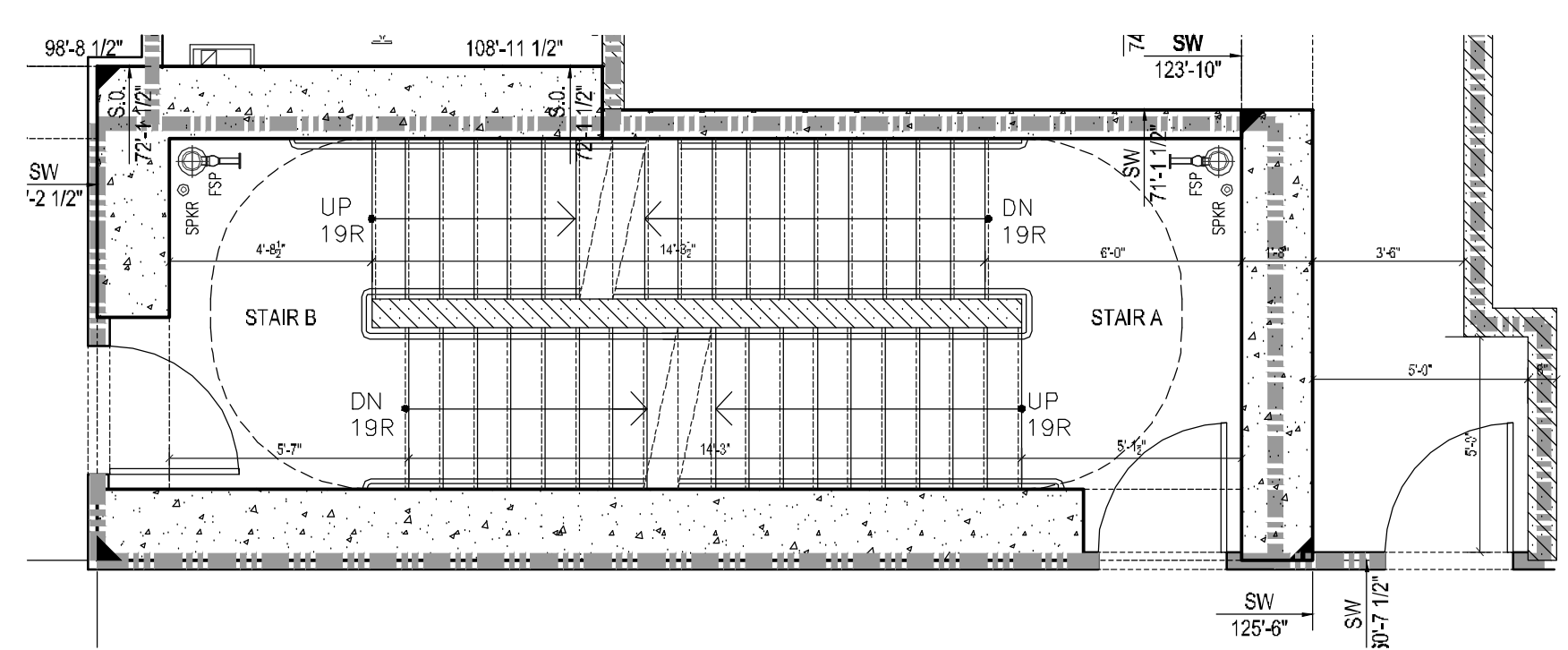
6 5TH FLOOR PLAN  
1/4" = 1'-0"



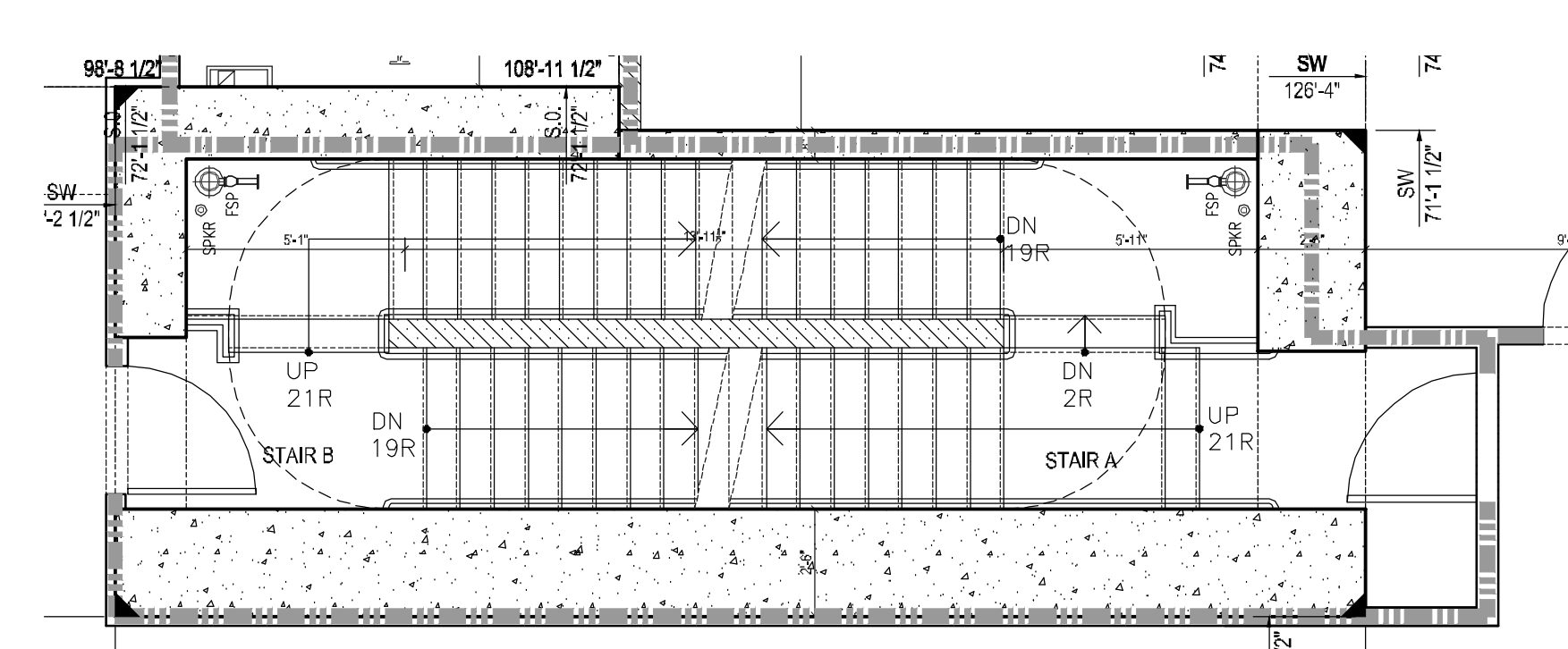
23 62ND FLOOR PLAN  
1/4" = 1'-0"



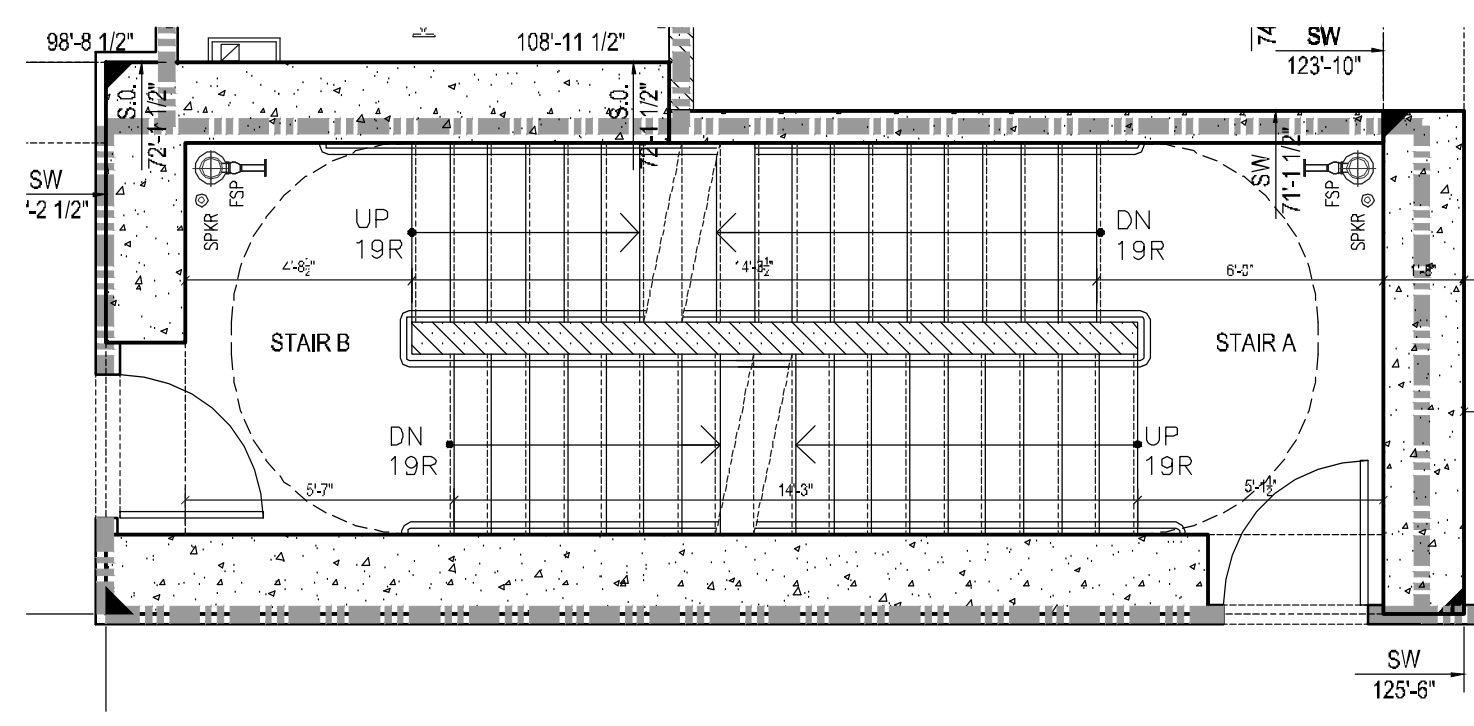
17 38TH FLOOR PLAN  
1/4" = 1'-0"



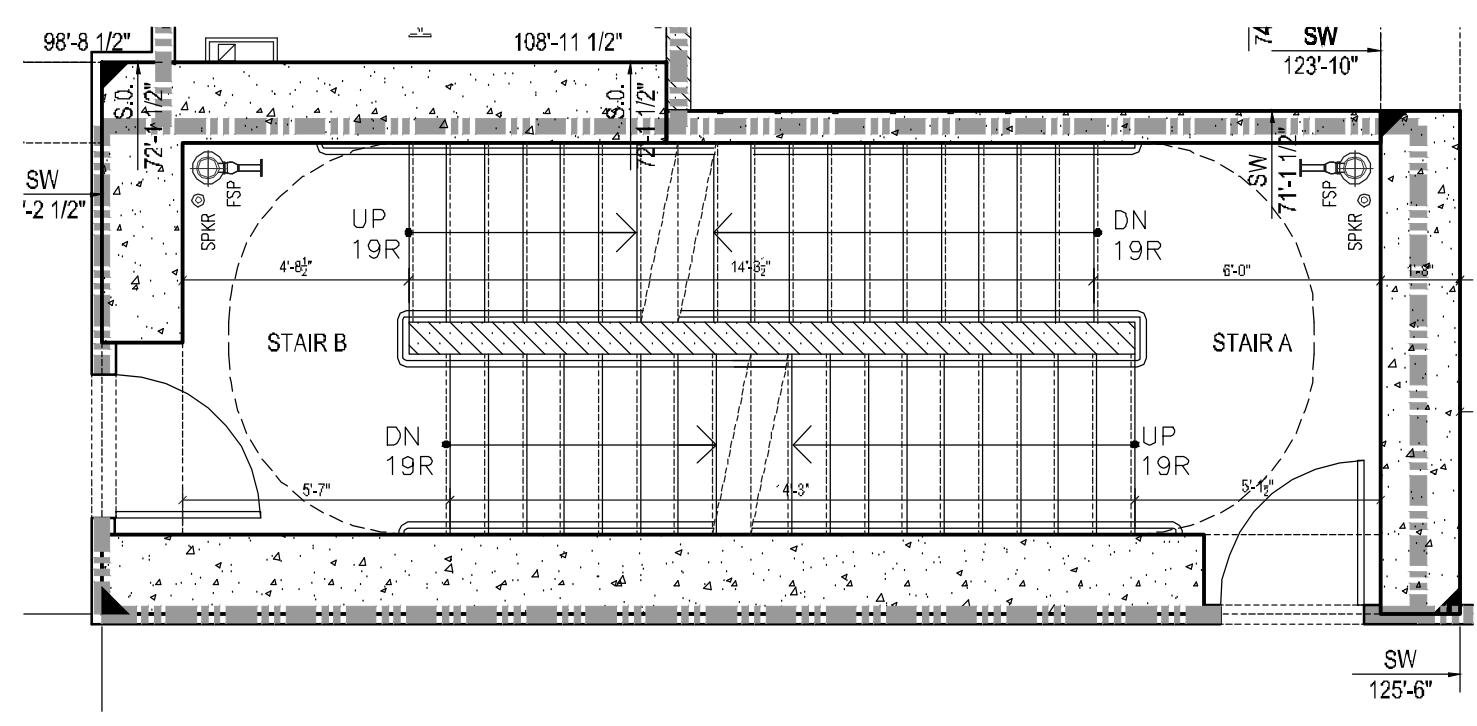
11 22ND FLOOR PLAN  
1/4" = 1'-0"



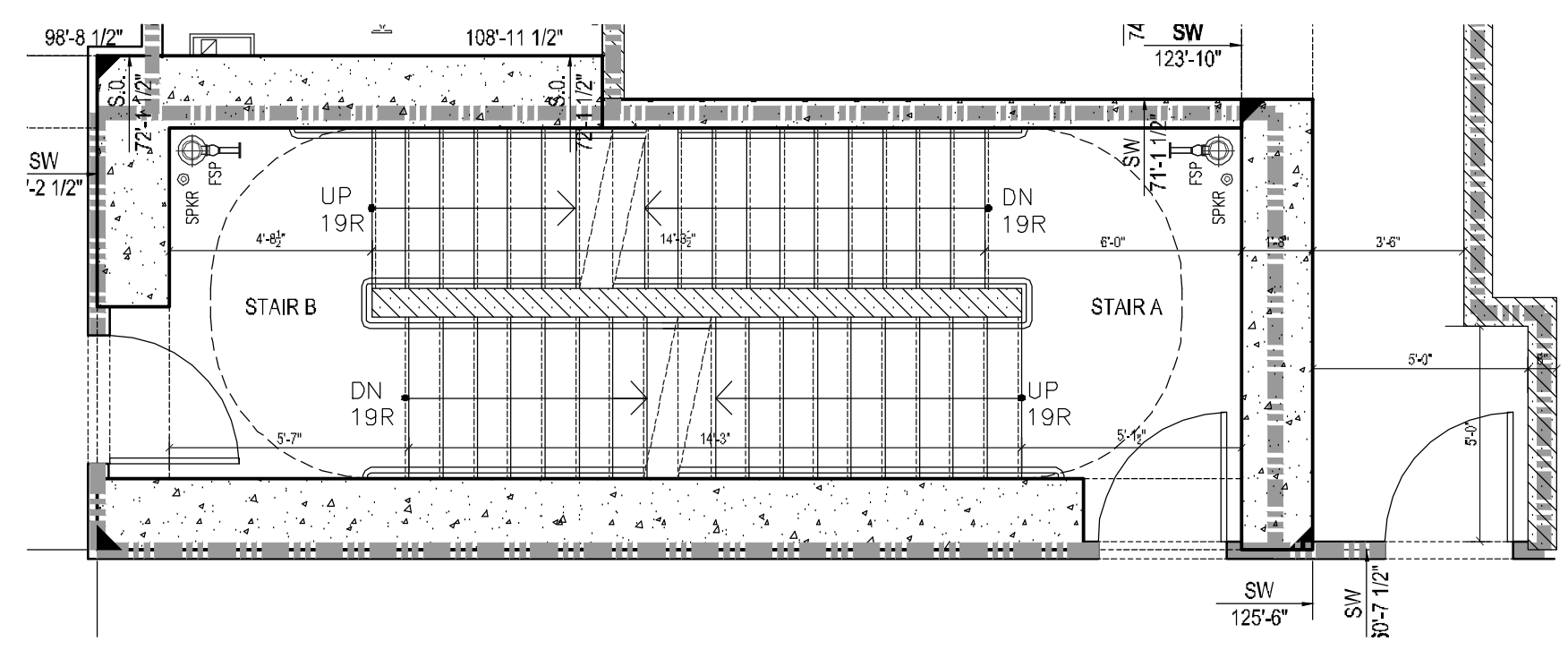
5 4TH FLOOR PLAN  
1/4" = 1'-0"



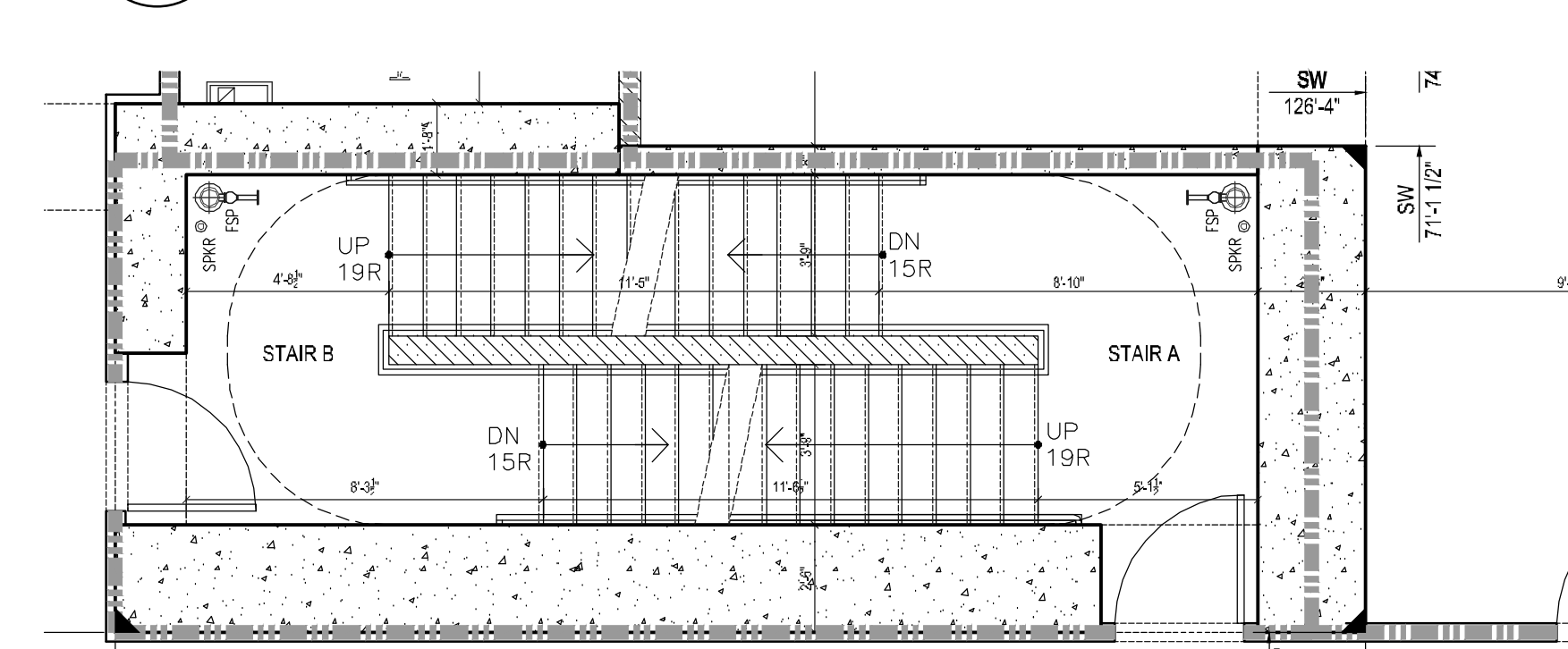
22 61ST FLOOR PLAN  
1/4" = 1'-0"



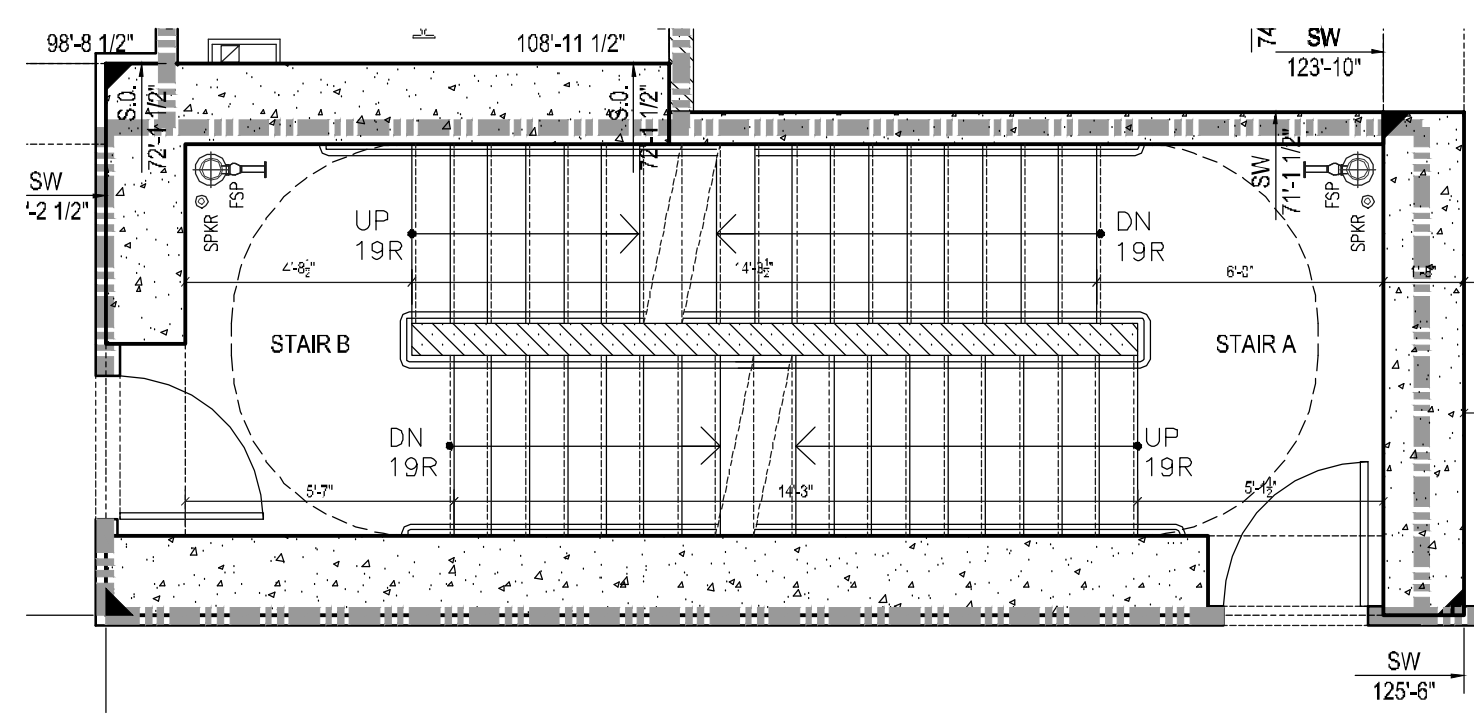
16 37TH FLOOR PLAN  
1/4" = 1'-0"



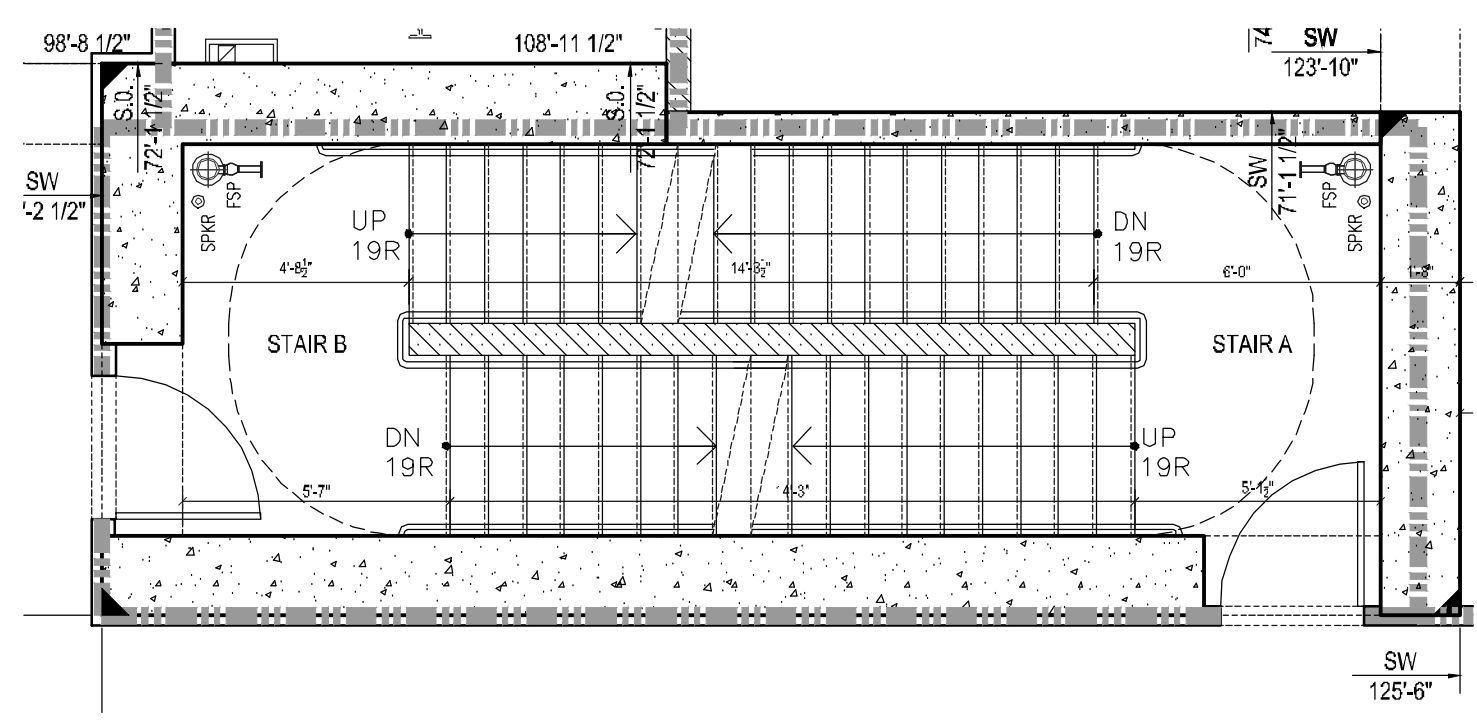
10 9TH THRU 21ST FLOOR PLAN  
1/4" = 1'-0"



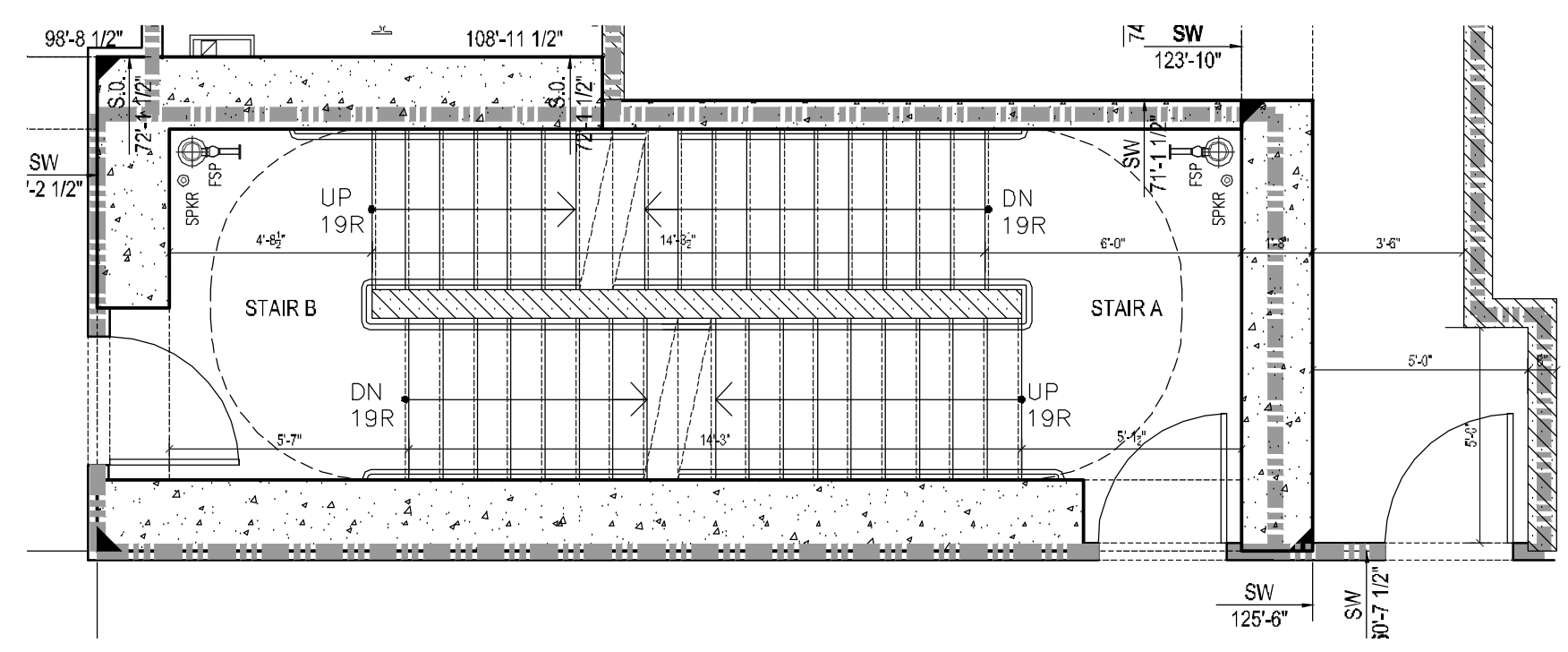
4 3RD FLOOR PLAN  
1/4" = 1'-0"



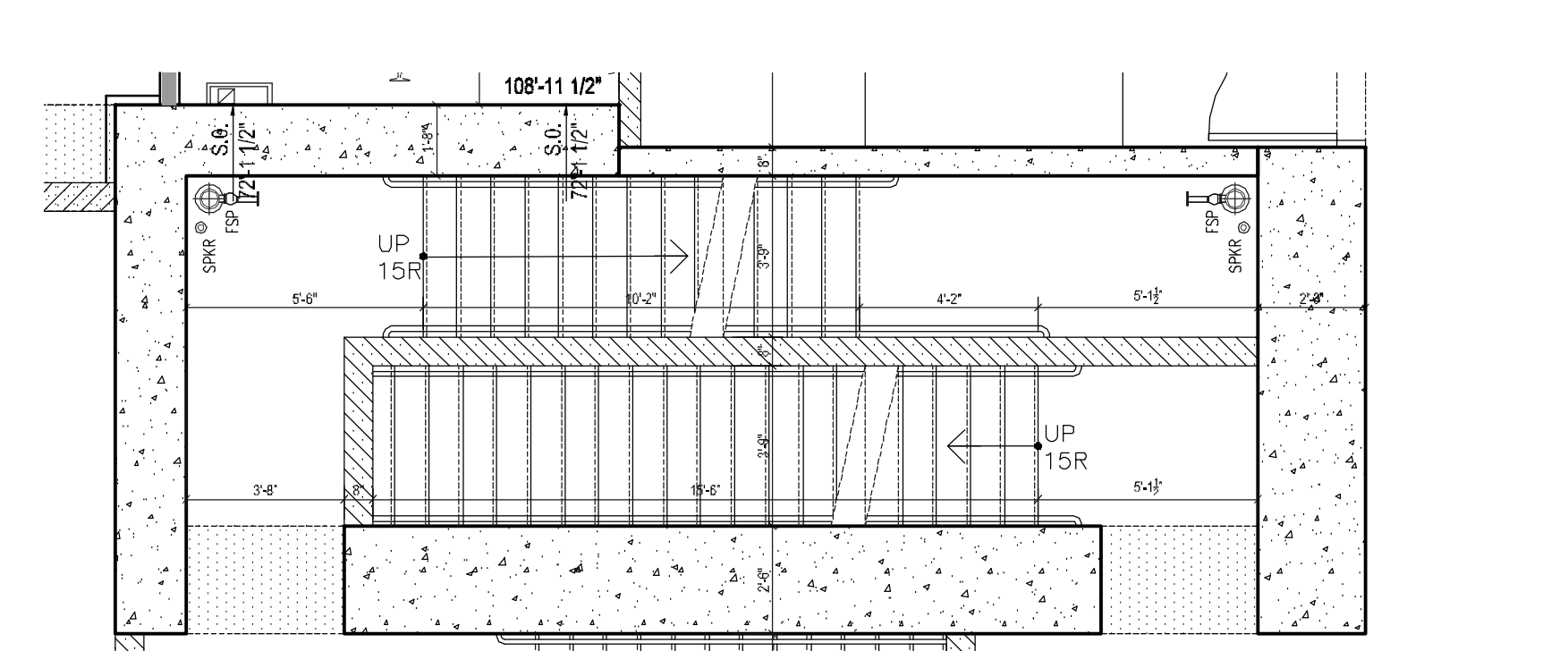
21 47TH THUR 60TH FLOOR PLAN  
1/4" = 1'-0"



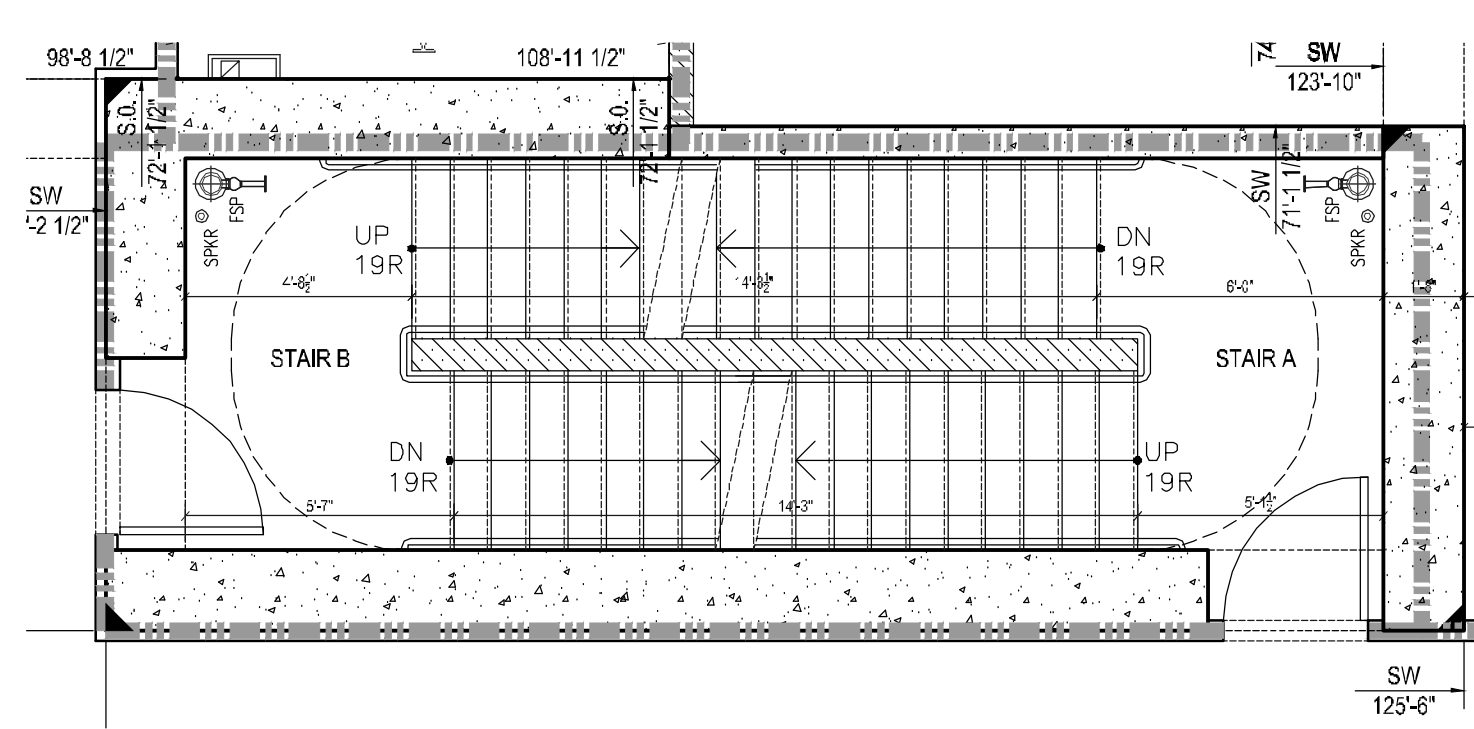
15 36TH FLOOR PLAN  
1/4" = 1'-0"



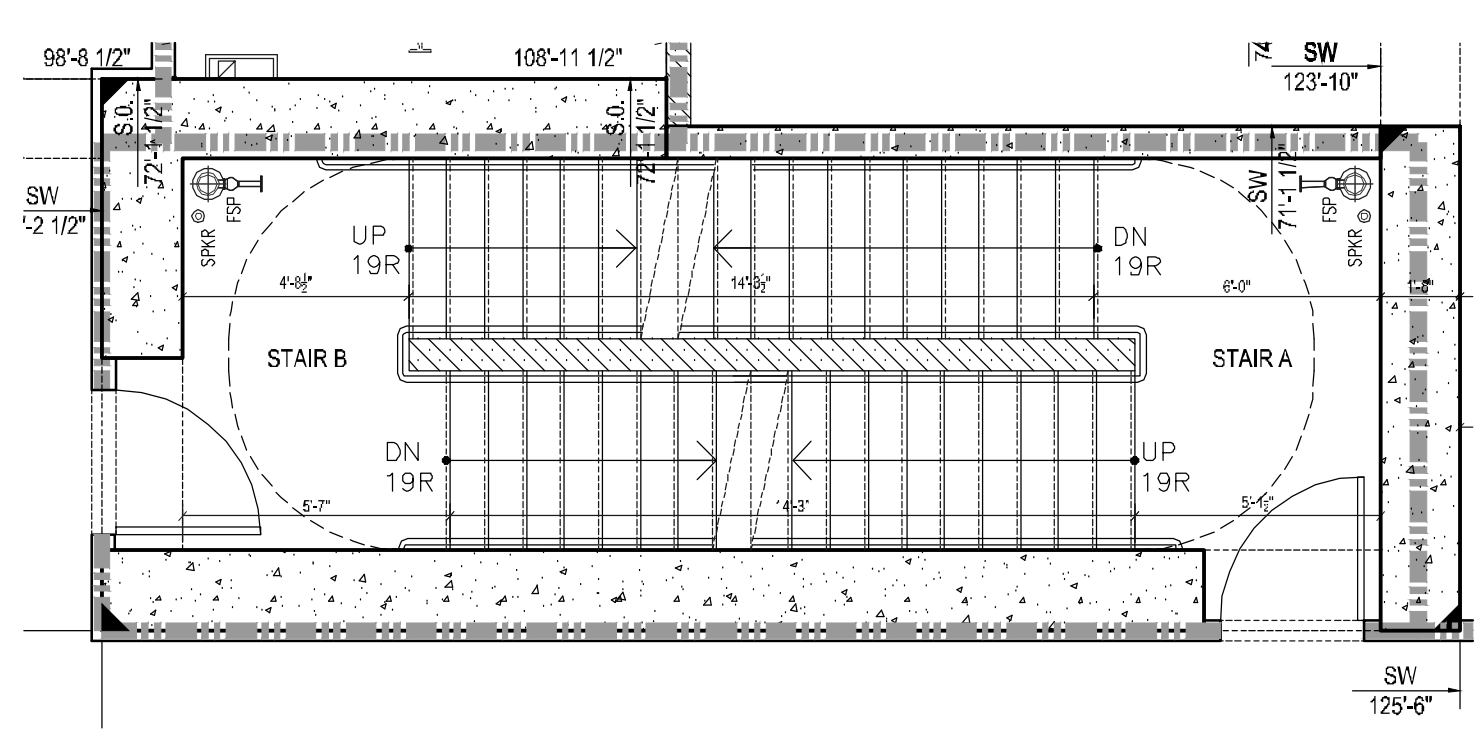
9 8TH FLOOR PLAN  
1/4" = 1'-0"



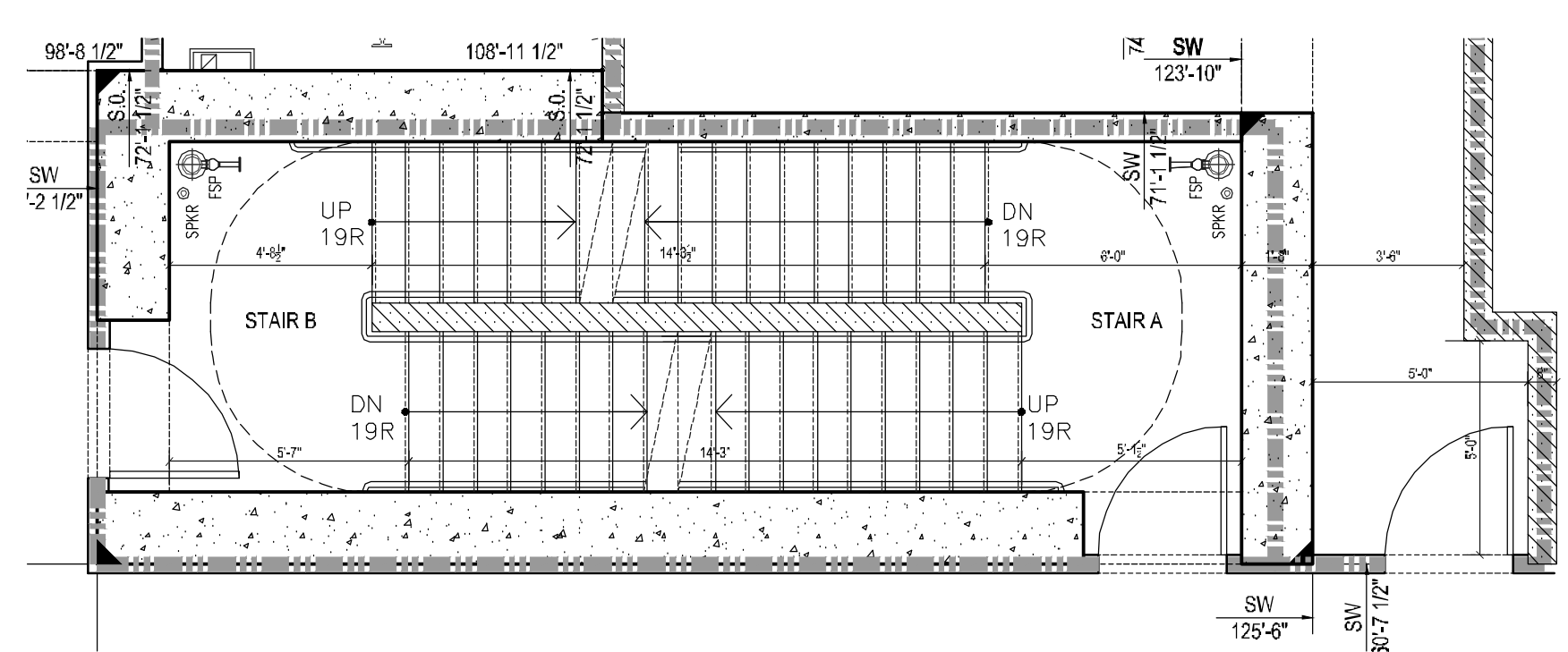
3 2ND FLOOR PLAN  
1/4" = 1'-0"



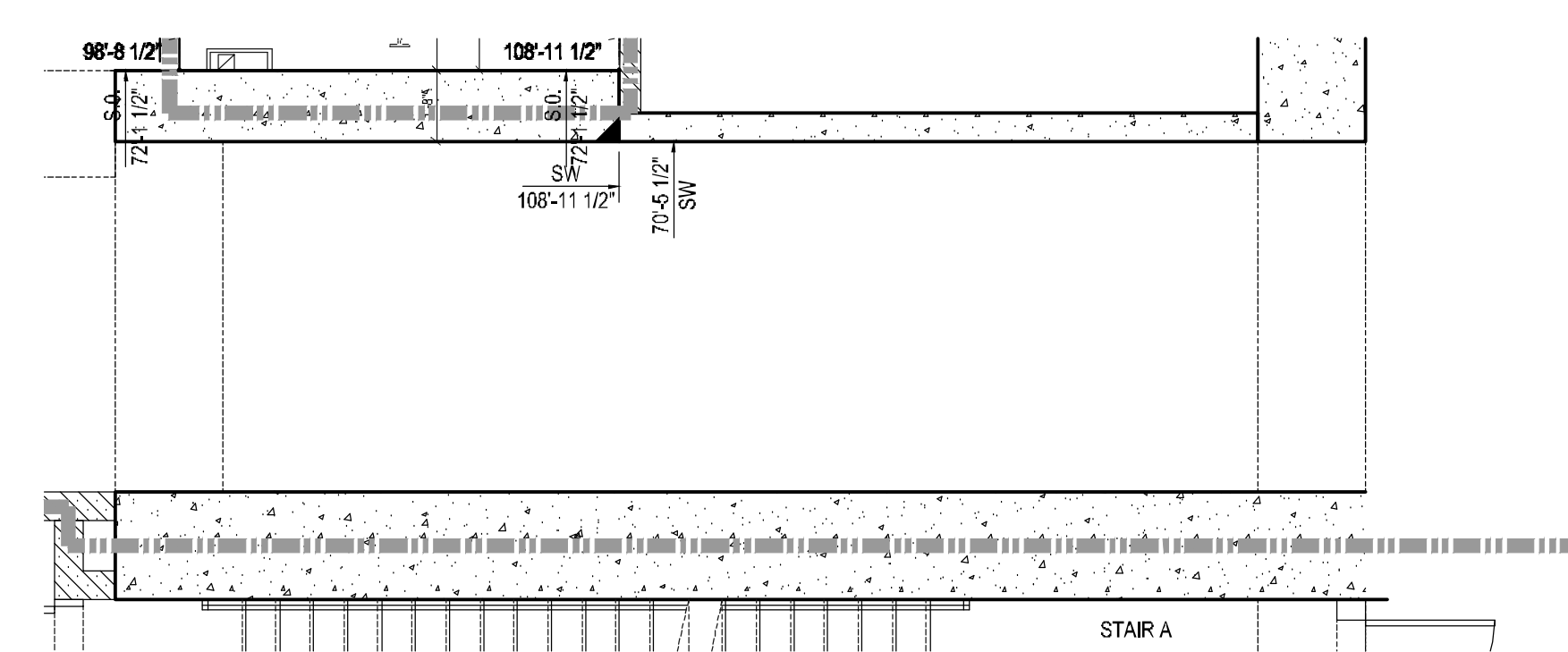
20 46TH FLOOR PLAN  
1/4" = 1'-0"



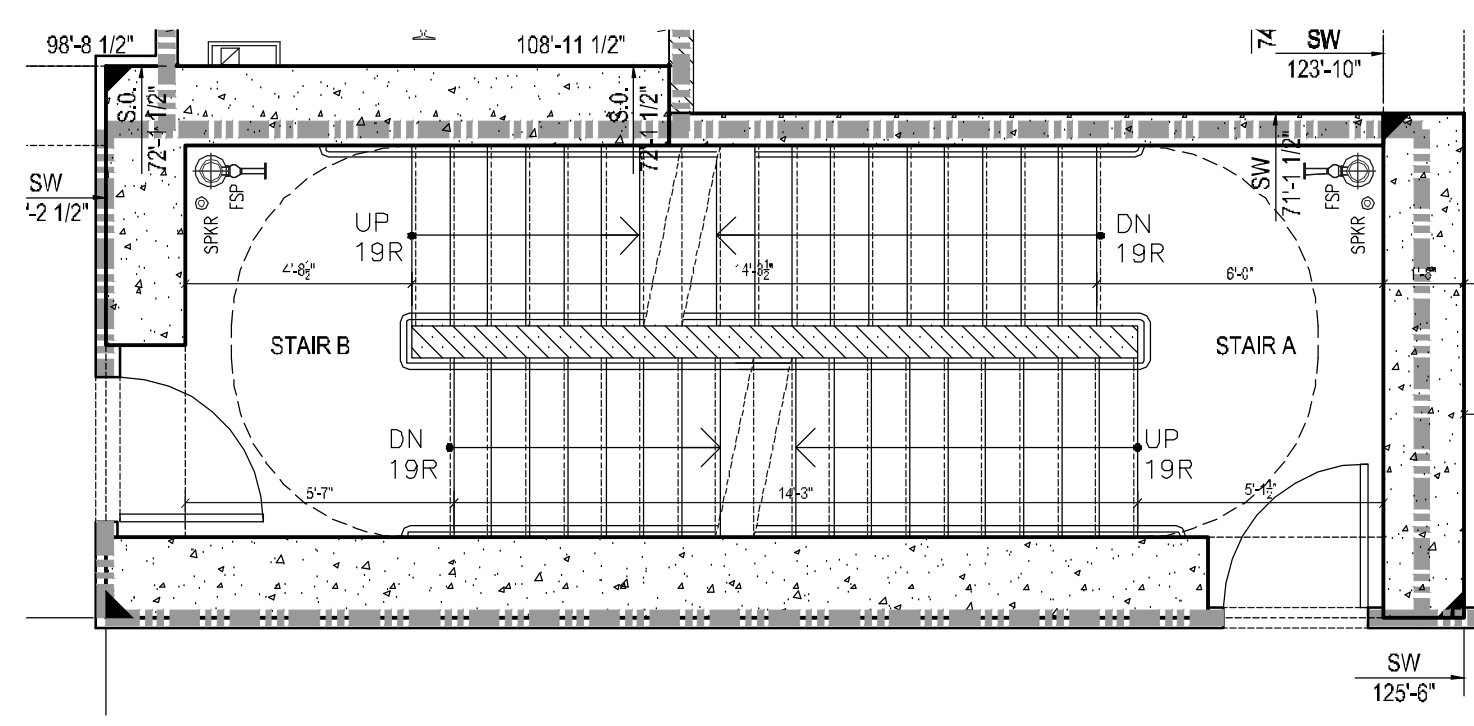
14 35TH FLOOR PLAN  
1/4" = 1'-0"



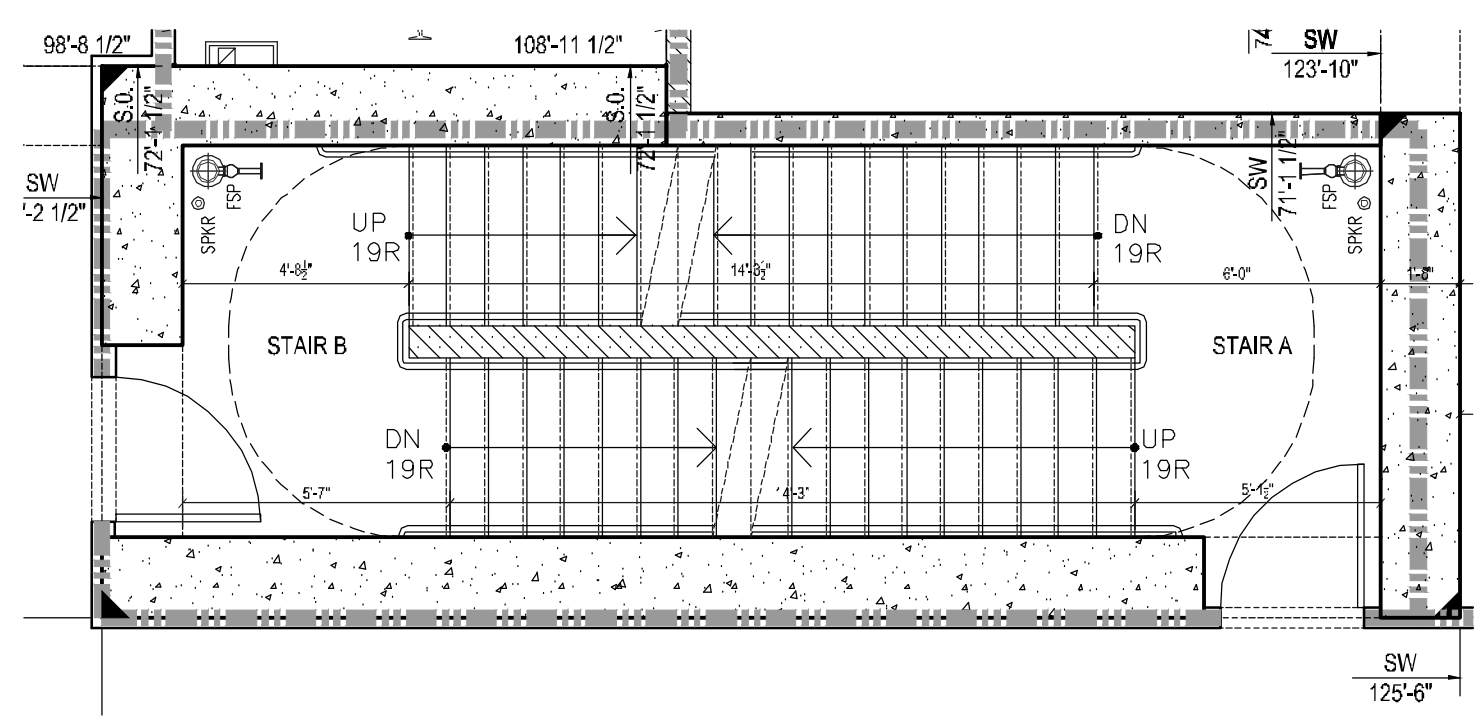
8 7TH FLOOR PLAN  
1/4" = 1'-0"



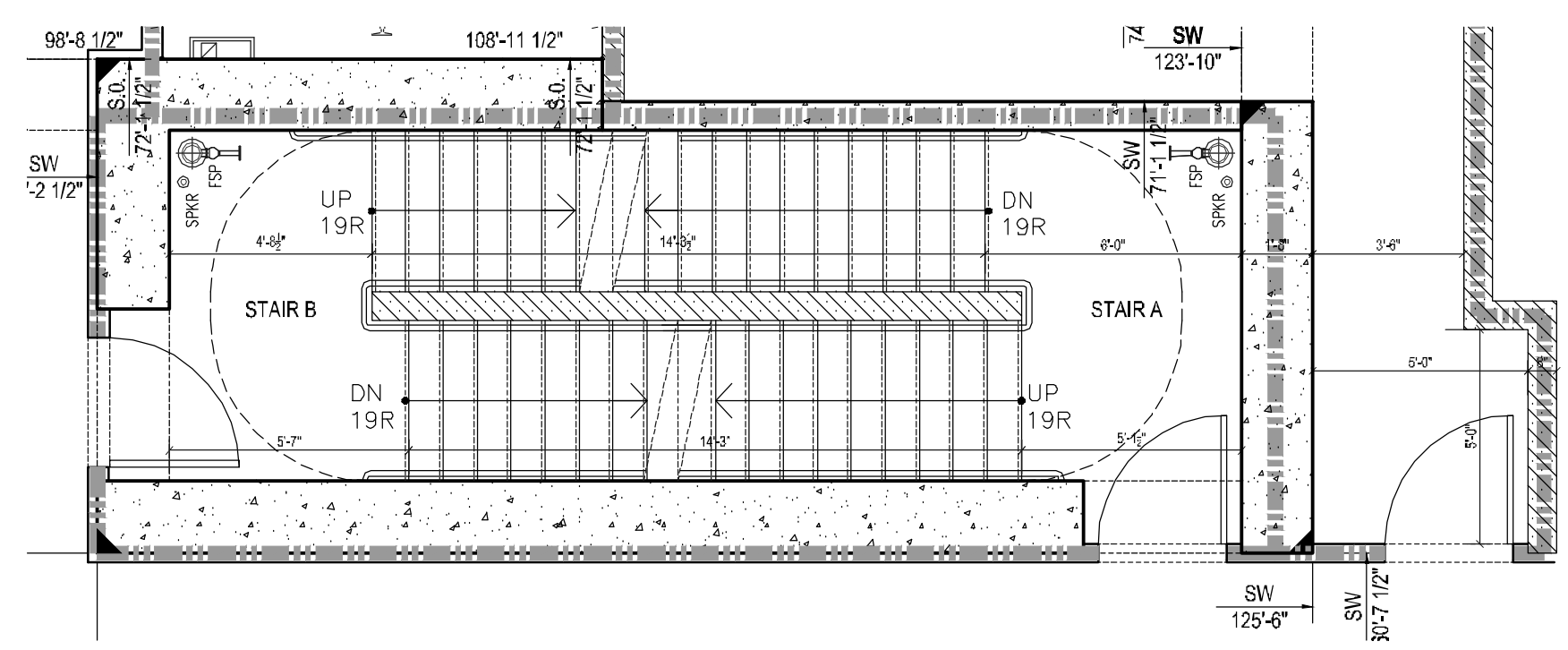
2 1ST FLOOR PLAN  
1/4" = 1'-0"



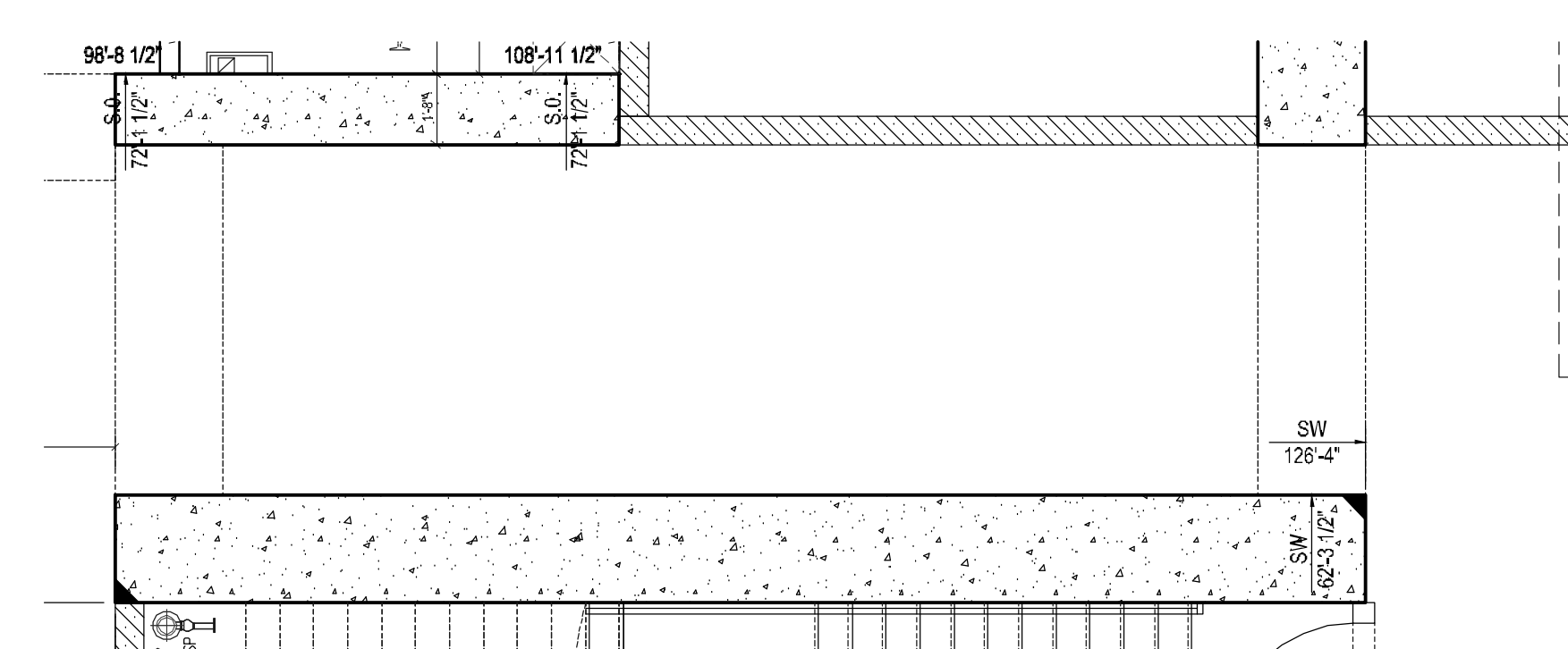
19 45TH FLOOR PLAN  
1/4" = 1'-0"



13 24TH THRU 34TH FLOOR PLAN  
1/4" = 1'-0"



7 6TH FLOOR PLAN  
1/4" = 1'-0"

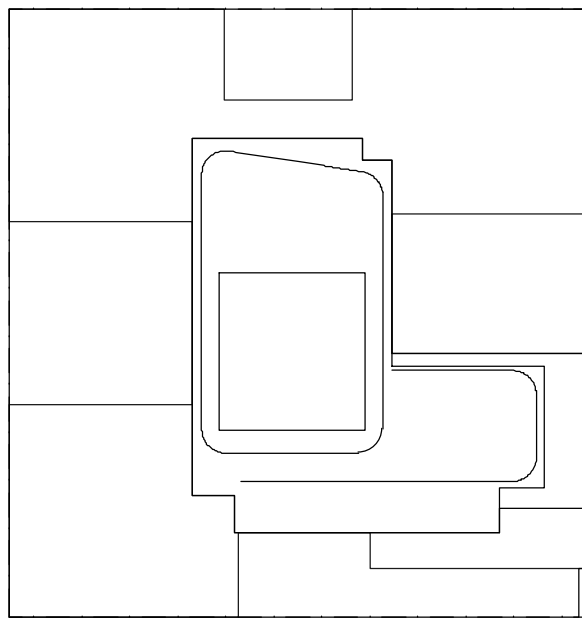


1 CELLAR FLOOR PLAN  
1/4" = 1'-0"









NOTES:

NOT FOR CONSTRUCTION

10/08/2017	ISSUED FOR DOB
09/10/2017	90% CD SET AND #3
08/02/2017	60% CD SET
02/02/2017	90% CD SET
03/02/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/07/2017	SUPPLEMENTAL SET
01/05/2017	ISSUED FOR DOB
11/17/2016	FACE PLUMB SET
11/11/2016	100% ELEVATION AND SET
10/12/2016	ISSUED FOR DOB

DOB PLUMB SET

Number: Date: Revision:

Project:

**City View Tower at Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

Client:

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

Architect:

**HILL | WEST**  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
NEW YORK, NY 10004  
T. 212 213 8007

Consultant:

**DESIMONE CONSULTING ENGINEERS**  
140 Broadway 25th Floor  
New York, NY, 10005  
(212) 532-2211

**Cosentini Associates**  
Two Pennsylvania Plaza, 3rd FL.  
New York, NY 10121  
(212) 615-3600

**Whitehall**

11 Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

DOB STAMPS & SIGNATURES:

DWG TITLE:

STAIR SECTION

SEAL & SIGNATURE:

REGISTERED ARCHITECT

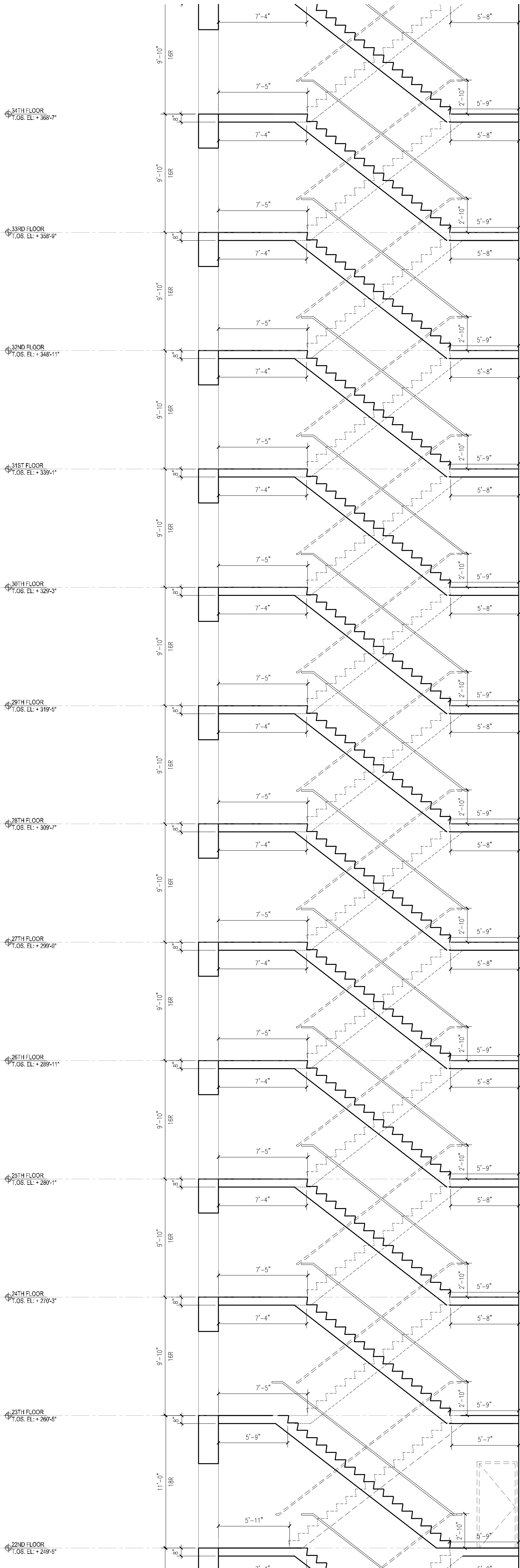
DATE: 10/08/2017

PROJECT # 15412

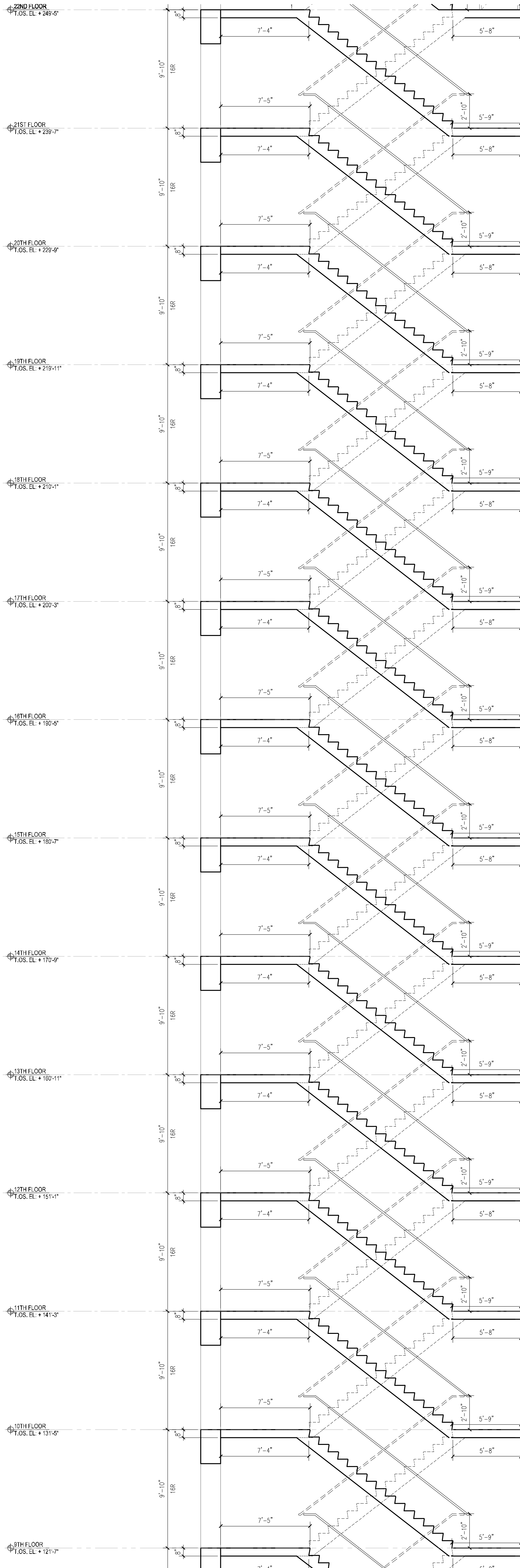
SCALE: AS NOTED

DWG NO. A-703.00

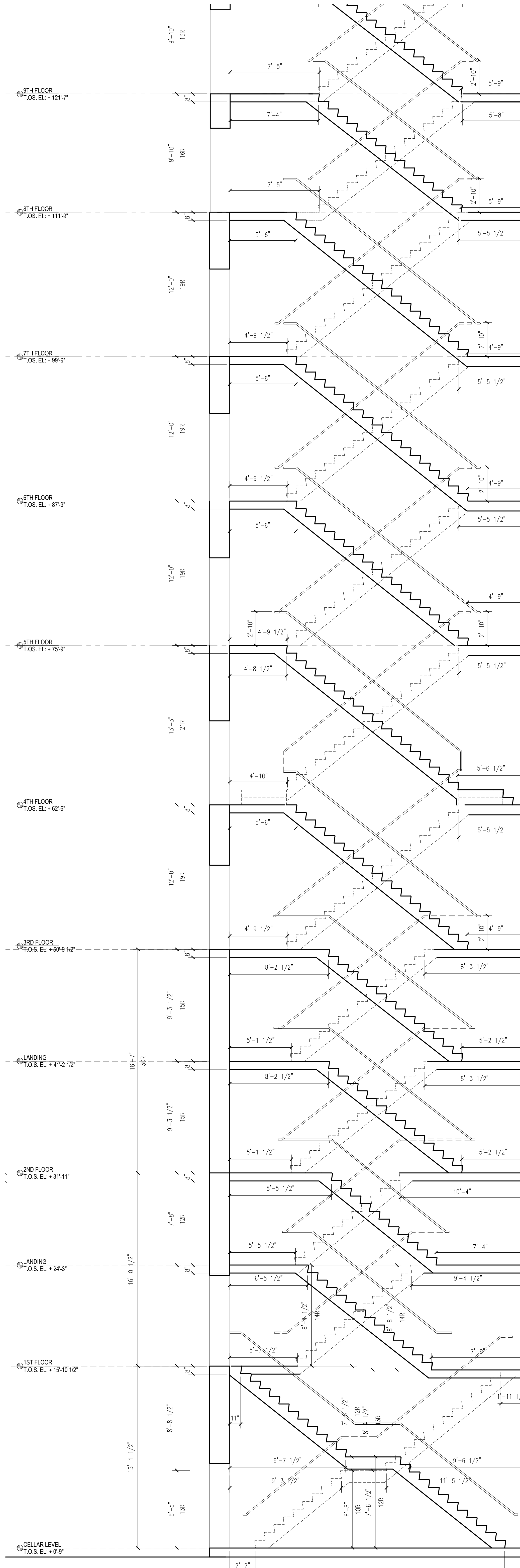
103 OF 105



3 STAIR A & B SECTION  
1/4" = 1'-0"

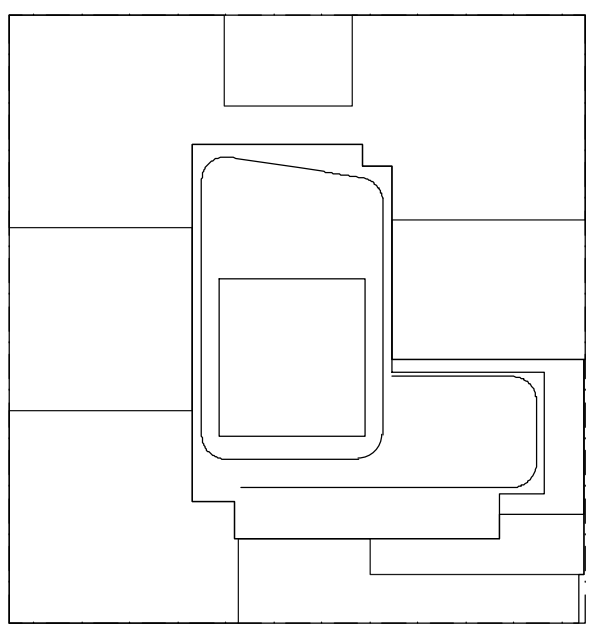


2 STAIR A & B SECTION  
1/4" = 1'-0"



1 STAIR A & B SECTION  
1/4" = 1'-0"





**NOTES:**

NOT	FOR	CONSTRUCTION
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10/06/2017	ISSUED FOR DOB
09/15/2017	50% CD SET /ADD # 3
06/02/2017	60% CD SET
03/24/2017	50% CD SET
03/10/2017	ISSUED FOR DOB
03/01/2017	ISSUED FOR DOB
02/14/2017	ISSUED FOR DOB
01/27/2017	SUPERSTRUCTURE SET
01/25/2017	ISSUED FOR DOB
11/17/2016	FACADE FINISHING SET
11/11/2016	DO NOT TOUCH ANY END SET
10/12/2016	ISSUED FOR DOB

02/05/2016 DOB FILING SET

er:	Date:	Revision:
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**City View Tower at  
Court Square**  
23-15 44th Drive  
Long Island City, NY 11101

**Cityview Tower LLC**  
112-15 NORTHERN BLVD, CF-2  
CORONA, NY 11368  
(718) 321-8652

HILL | WEST  
ARCHITECTS  
11 BROADWAY  
17TH FLOOR  
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T. 212 213 8007

consultant:


**ESIMONE  
ONSULTING ENGINEERS**  
10 Broadway, 25th Floor  
New York, NY, 10005  
(212) 532-2211

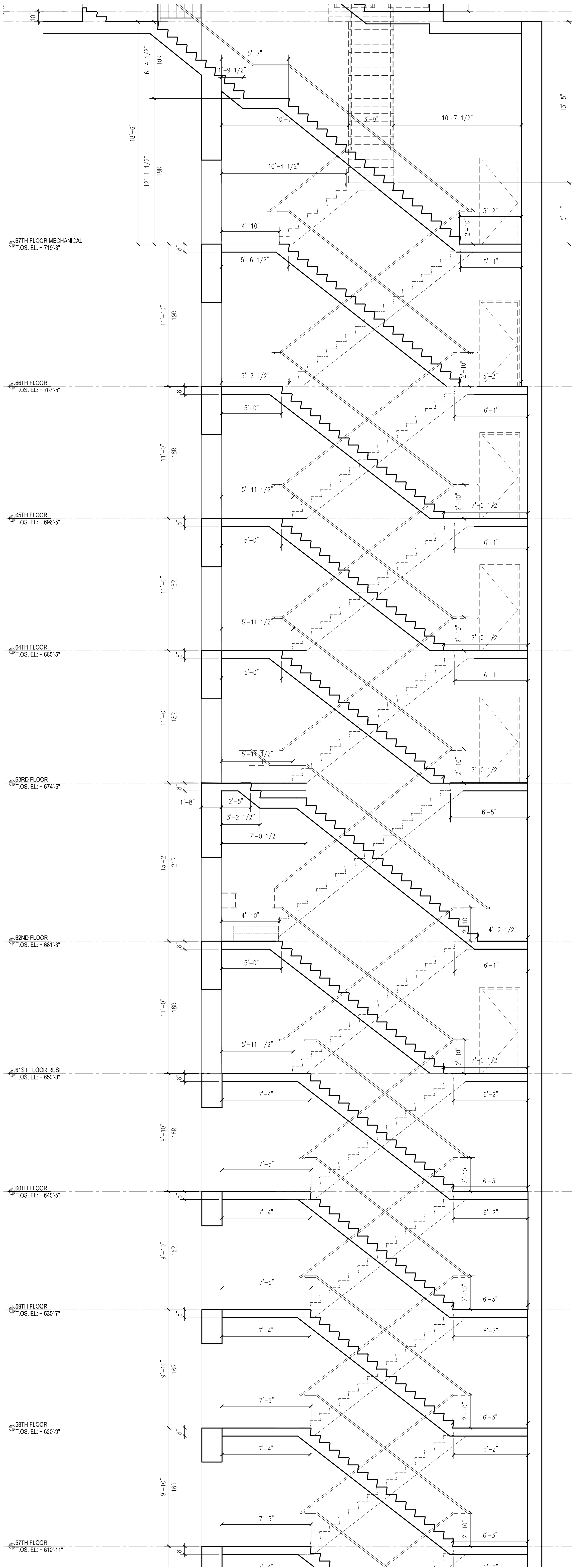
**osentini Associates**  
100 Pennsylvania Plaza, 3rd FL.,  
New York, NY 10121  
(212) 615-3600

**Whitehall**  
Broadway, 17th Floor  
New York, NY 10004  
(212) 908-4940

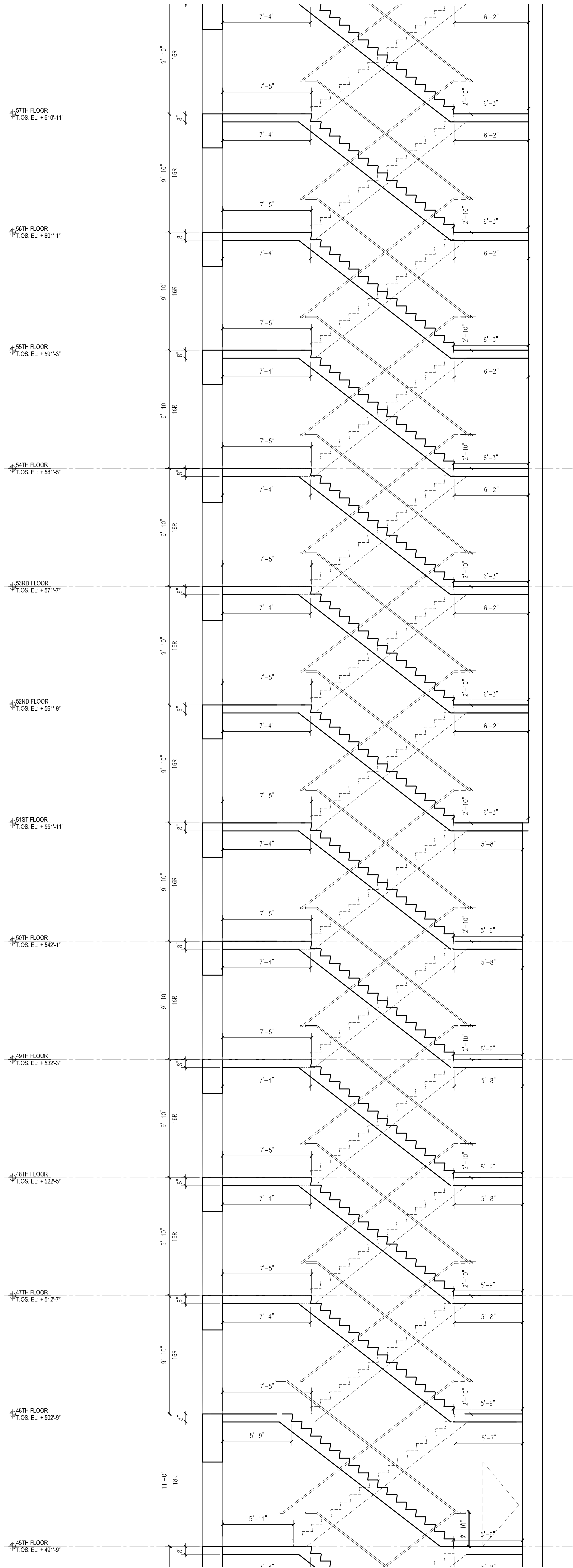
STAMPS &amp; SIGNATURES:

TITLE: STAIR SECTION

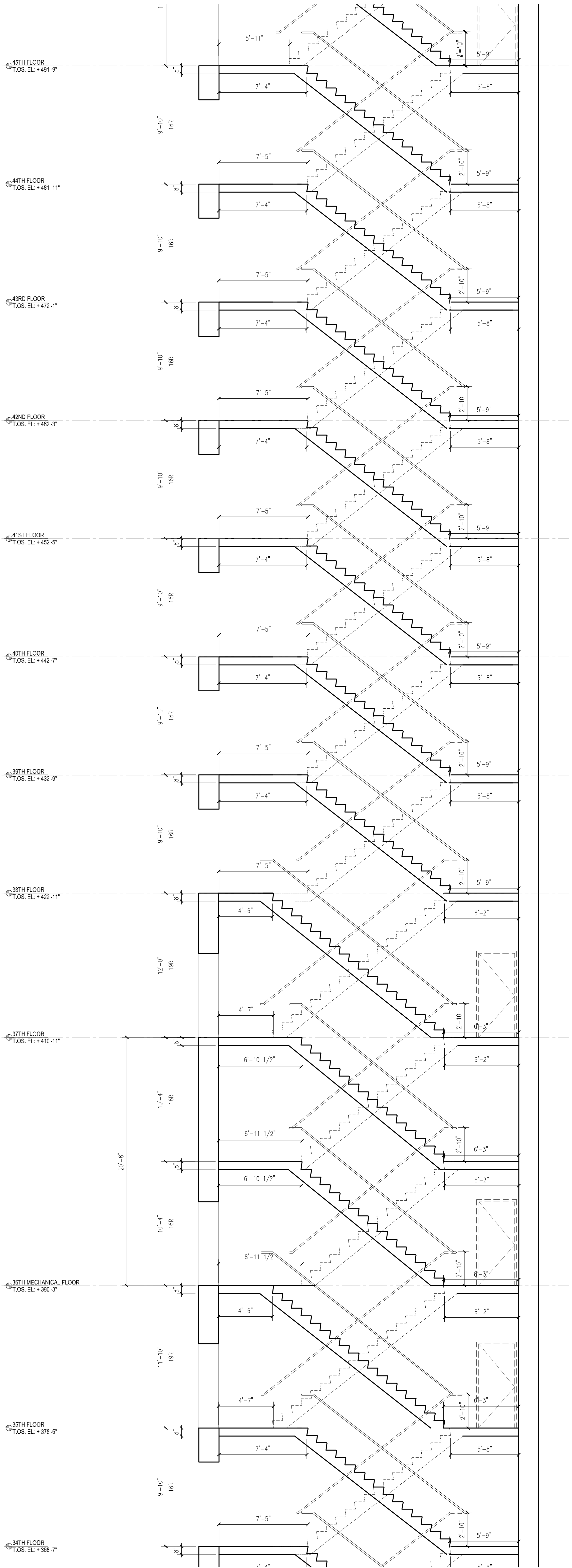
	DATE:	10/06/2013
	PROJECT #:	15412
	SCALE:	AS NOTED
	<div style="font-size: 2em; font-weight: bold;">A-704.00</div>	
DWG NO.		



3 STAIR A & B SECTION  
1/4" = 1'-0"



2 STAIR A & B SECTION  
1/4" = 1'-0"



1 STAIR A & B SECTION  
1/4" = 1'-0"



